

Planning and Economic Development Commission Agenda

Wednesday, May 14, 2025, 9:00 a.m. 437 Old Mammoth Road, Suite Z, Mammoth Lakes

Members of the Planning and Economic Development Commission

Commissioner Billy Deaver, Commissioner Cynthia Fleming, Commissioner Lana Grand, Vice Chair Dawn Vereuck, Chair Michael Vanderhurst

NOTE: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Town Clerk at (760) 965-3602. Notification 48 hours prior to the meeting will enable the Town to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 13.102-35.104 ADA Title II)

NOTE: Materials related to an item on this agenda submitted after distribution of the agenda packet are available for public inspection in the Town Offices located at 437 Old Mammoth Road, Suite 230 during normal business hours. Such documents are also available on the Town of Mammoth Lakes website at www.townofmammothlakes.ca.gov subject to staff's ability to post the documents before the meeting.

NOTE: You may watch the Planning and Economic Development Commission meetings on the Town of Mammoth Lakes' website at www.townofmammothlakes.ca.gov, on the local government cable channel 18, via Zoom or in person. Public comments can be submitted to the Town Clerk at clerk@townofmammothlakes.ca.gov before and during the meeting, via Zoom or in person.

NOTE: All comments will be limited to a speaking time of five minutes.

ZOOM INFORMATION

Join from a PC, Mac, iPad, iPhone, or Android device: Please click this URL to join. https://monocounty.zoom.us/s/94467884456 Or join by phone: Dial (for higher quality, dial a number based on your current location): US: +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799 or +1 312 626 6799 or +1 646 876 9923 or +1 301 715 8592 Callers - To Raise your hand press *9, To Unmute/Mute press *6 Webinar ID: 944 6788 4456 International numbers available: https://monocounty.zoom.us/u/aeHBYOcpOu

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. PUBLIC COMMENTS

The Public Comment portion of the agenda provides the public with an opportunity to address the Planning and Economic Development Commission on matters not otherwise listed on the agenda. Under California law the Planning and Economic Development Commission is prohibited from generally discussing or taking action on items not included in the agenda; however, the Commission may briefly respond to comments or questions from members of the public. Therefore, the Commission will listen to all public comment, but will not generally discuss the matter or take action on it. Requests for service from the Town may also be made at the Town offices during regular business hours. Members of the public desiring to speak on a matter appearing on the agenda should ask the Chair for the opportunity to be heard when the item comes up for Commission consideration.

4. CORRESPONDENCE

- 4.1 Annual Planning Reports
- 4.2 Town of Mammoth Lakes Year in Review

5. PRESENTATION

5.1 Receive a presentation from the MLFPD on the updates to the State Fire Hazard Severity Maps

6. PUBLIC HEARINGS

Public Hearing Procedure: The Chair will open the public hearing and then: Statement and presentation by staff. Statement and presentation by property owner or appellant. Questions from the Planning and Economic Development Commission. Call for testimony from those persons wishing to speak. Rebuttal to previous testimony by property owner or appellant. Close the public hearing, terminating public testimony. The Commission will deliberate the matter and arrive at a decision.

6.1 Consideration of Variance 25-001 for a reduction of one required exterior parking space and a 20% reduction of the 5-foot front setback and the 10-foot south side yard setback requirement, for the construction of a new single-family residence with with attached two-car garage and covered access stairway located at 307 John Muir Road. The project is categorically exempt pursuant to CEQA Guidelines §15303, New Construction or conversion of Small Structures.

7. BUSINESS MATTERS

7.1 Consideration of Design Review 24-004 for the revised Mammoth Arts and Cultural Center (MACC) project located in the Public/Quasi-Public zoning district. The project consists of the addition of an approximately 7,482 square foot performing arts theatre

attached to the east side of the existing Edison Hall building located at 100 College Parkway. Pursuant to the California Environmental Quality Act (CEQA), the project was found to be consistent with the scope of development analyzed in the November 2023, Addendum to the Mammoth Arts and Cultural Center Initial Study/Mitigated Negative Declaration (State Clearinghouse No. 2019012023) which determined the revised project design would not result in any new environmental impacts that were not previously analyzed in the approved IS/MND.

7.2 Consideration of an amendment to the approved Major Design Review 24-001 for the "Rockspring" resort condominium development project located in the "Resort General" zone of the North Village Specific Plan at the northeast corner of Main Street and

Minaret Road. The proposed amendment is to allow for revised building design and site design elements that that were not previously considered by the PEDC on April 10, 2024. A CEQA conformance analysis was prepared for the "Rockspring" project which finds the project to be in conformance with the certified 1999 North Village Specific Plan Subsequent Program Environmental Impact Report.

8. CONSENT AGENDA

8.1 Approve the minutes of the regular meeting of April 9, 2025.

9. COMMISSIONER REPORTS

Informational reports from Commissioner representatives on committees, commissions, and organizations; general reports on Commission activities. Opportunity to add urgency items pursuant to Government Code Section 54954.2(b)2, if necessary; and to remove items from consent for separate discussion.

Design Committee - Dawn Vereuck and Cynthia Fleming

Mobility Committee - To be appointed

10. DIRECTORS REPORT

The Director's Report portion of the agenda provides the Director with an opportunity to address the Planning and Economic Development Commission on Community and Economic Development work items.

11. ADJOURNMENT

The Planning and Economic Development Commission will adjourn to a regular meeting to be held on Wednesday, June 11, 2025 at 9:00 a.m.



TOWN OF MAMMOTH LAKES

ANNUAL PLANNING REPORT

January 1 – December 31, 2023

Prepared by: Town of Mammoth Lakes Community and Economic Development Department P.O. Box 1609 Mammoth Lakes, California 93546 (760) 934-3630 planning@townofmammothlakes.ca.gov

Approved by:

Rob Patterson Town Manager

Date: May 7, 2025

INTRODUCTION AND PURPOSE

California Government Code Section 65400(a) requires local planning agencies to: "Investigate and make recommendations to the legislative body regarding reasonable and practical means for implementing the general plan or element of the general plan, so that it will serve as an effective guide for orderly growth and development, preservation and conservation of open-space land and natural resources, and the efficient expenditure of public funds relating to the subjects addressed in the general plan."

An annual report including the following information is required to be prepared and submitted to the Mammoth Lakes Town Council, Governor's Office of Planning and Research (OPR), and the CA Department of Housing and Community Development (HCD) each year:

- 1. The status of the general plan and progress in its implementation;
- 2. The Town's progress in meeting its share of the regional housing needs;
- 3. Local efforts to remove governmental constraints to the maintenance, improvement, and development of housing; and
- 4. The degree to which the Town's approved general plan complies with the State General Plan Guidelines and the date of last revision to the general plan.

In addition to the above-listed required information, the Community and Economic Development Department has included additional content in this report that is locally relevant including planning activities, programs, and permits.

The purpose of this report is to inform the Town Council and the community of Mammoth Lakes about the status of implementing the General Plan, housing issues, and development in Mammoth Lakes. The report should be used to identify what necessary adjustments, if any, should be made to further implement the General Plan in the upcoming year.

This report summarizes the planning activities for the Town of Mammoth Lakes from January 1 to December 31, 2023.

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ATTACHMENTS

- 1. 2023 Mammoth Lakes Housing Element Annual Progress Report Table D
- 2. Detailed List of Planning Applications

EXECUTIVE SUMMARY

The Town of Mammoth Lakes 2023 Annual Planning Report was prepared by the Town of Mammoth Lakes Community and Economic Development Department in accordance with California Government Code Section 65400. This report was presented to and accepted by the Mammoth Lakes Town Council on May 7, 2025. The 2023 Annual Housing Element Progress Report (Attachment 1) was previously submitted to the State Department of Housing and Community Development (HCD) and the Governor's Office of Planning and Research (OPR) on April 1, 2024.

This report summarizes the measures and actions associated with the implementation of the Town's General Plan elements with specific reference to each of the individual elements required by State law. These elements include Land Use, Circulation, Conservation, Open Space, Noise, Safety, and Housing. The Town's General Plan addresses all the required elements and includes several optional elements that address specialized local objectives and priorities. The organization of the Town's General Plan elements differ slightly from the State's standard in how they are titled and organized.

During the 2023 planning period, the Town continued to make progress towards implementation of the General Plan through the completion of long-range planning projects that carried over from 2022, and work on both long-range and current projects that were initiated in 2023.

In mid-2022, the Town Council established updated Council strategic priorities and key objectives for the ensuing 18-month period.¹ The strategic priorities build off the 2007 General Plan Vision Statement and are intended to establish and guide staff work programs to further the implementation of that vision. The strategic priorities identified during the workshop formed the basis for strategic investment and allocation of limited time and financial resources during the 2023 planning period. The four primary Strategic Priorities that were adopted, based largely upon the values identified in the 2007 General Plan Community Vision Statement, are:

- 1. Expand availability and affordability of community housing.
- 2. Enhance a sustainable recreation economy with partnerships and investment.
- 3. Investment in infrastructure improvements and maintenance.
- 4. Implementation of enhanced and required municipal services.

Accompanying the four strategic priorities are focused objectives that could feasibly be accomplished within the projected 18-month period. Accomplishments for the 2023 planning year are discussed throughout this report.

¹ Prior 'Strategic Priority and Key Objective Statements' were approved by the Town Council in 2014, 2016, 2018, and 2021.

2007 GENERAL PLAN

State General Plan Guidelines

The Town of Mammoth Lakes General Plan was last comprehensively updated in 2007, and includes ten elements that guide development, conservation, and land uses within the Town. The elements of the General Plan encompass the seven elements required by State law, as well as several optional elements adopted by the Town to address issues of local importance and concern. The ten elements of the Town's General Plan are:

- Economy
- Arts, Culture, Heritage and Natural History
- Community Design
- Neighborhood and District Character
- Land Use
- Mobility
- Parks, Open Space and Recreation
- Resource Management and Conservation
- Public Health and Safety
- Housing

The 2007 Town of Mammoth Lakes General Plan did not include updates to the Housing, Parks and Recreation, or Noise Elements. The status of those elements are described below:

- The Parks and Recreation Master Plan (PRMP) was comprehensively updated in 2012, thereby replacing the previous 1990 Parks and Recreation Element.
- The Mobility Element was comprehensively updated in 2016, thereby replacing the 2007 Mobility Element.
- The Housing Element is comprehensively updated on a schedule established by the State and the following updates have occurred since 2007 covering the specified planning periods:
 - 2007-2014 Housing Element (GPA 10-002)
 - 2014-2019 Housing Element (GPA 13-002)
 - o 2014-2019 Housing Element Amendment (GPA 15-001)
 - o 2019-2027 Housing Element (GPA 19-001)
- The Public Health and Safety Element was comprehensively updated in 2019 to address wildfire hazards and incorporate climate adaptation strategies.
- The Noise Element (1997) is still in effect and will be updated when feasible.

In addition to the above comprehensive updates, the Town Council has made several policy decisions regarding implementation and resulting in minor amendments to the General Plan. These include the 2009 PAOT/PIEC Policy, the 2014 Zoning Code Update, the 2014 elimination of the CBIZ Policy, and the 2016 updates to the General Plan and Zoning Code to implement a floor area ratio (FAR) standard and update the General Plan Mobility Element. A General Plan Amendment was approved in 2017 to increase the allowed uses in the Institutional Public (IP) land use designation, requiring changes to the Land Use Element and the Buildout Table. The purpose of the amendment was to

allow for a wider range of housing uses to support the allowed institutional uses (e.g., schools, college, hospital, government agencies, etc.) and to allow for the proposed Mammoth Arts and Cultural Center and Wounded Warrior Center projects to be located on properties owned by Mammoth Lakes Foundation, which are located on College Parkway within the IP zoning designation.

A summary of all the General Plan Amendments that have been approved since 2007 is available here: <u>https://www.townofmammothlakes.ca.gov/DocumentCenter/View/9571</u>.

Key Efforts and Challenges in Implementing the General Plan

The following key efforts were accomplished in 2023 to implement the General Plan:

- The Town Council adopted the 2024 Strategic Priorities and Key Objectives in December 2023 to identify the focus areas for the following year. The priorities and objectives build off of the General Plan Vision Statement and placed an emphasis on "Investing in our Community Quality of Life through Economic, Environmental, and Financial Sustainability."
- Since 2021, Town Council has allocated approximately \$19M (\$8.1M in 2021, \$5.7M in 2022, & \$5.3M in 2023) towards various workforce housing programs and projects, including the Parcel, small-site development (e.g., 60 Joaquin PUD), the Bridge Program, and partnership projects with MLH (e.g., Access Apartments, Homekey hotel conversion).
- Construction continued on Phase 1 of The Parcel in 2023. Phase 1 will consist of 81 units (80 affordable, 1 manager) of housing, childcare space for up to 34 children, community space, and a 0.8-acre park. Units are expected to be available for occupancy in 2024.
- Town staff continued to partner with Mammoth Lakes Housing (MLH) on the Bridge Program with the goal of increasing the number of affordable units within the Town through the acquisition of existing market-rate units that are then resold at a reduced affordable price (focus is on missing-middle income households [120%-150% AMI]). As of the end of 2023, six (6) units have been acquired since November 2021 and five (5) units have been resold to income eligible households with a deed-restriction in place.
- The conversion of the Innsbruck Lodge into a rental affordable housing development began in 2023. The project is largely funded through the State Project Homekey program and is intended to assist those who are experiencing homelessness. When complete, the project will provide 16 apartments (15 affordable and 1 manager's unit).
- Work on the Mammoth Disposal Transfer Station Expansion project was completed in 2023. The project allows for a large volume transfer station and relocation of the recycling center. The transfer station expansion was necessary to accommodate the closure of the Benton Crossing Landfill, and the need to transfer all locally generated solid waste onto lang-haul trucks that will be transported to a landfill outside of the region. The Town celebrated a ribbon cutting at the facility in November 2023.
- Work continued on the Main Lodge Redevelopment project which encompasses a complete redevelopment of the Main Lodge ski area facilities. This is anticipated to be a multi-year process. Work completed in 2023 focused on the environmental review (CEQA and NEPA) and drafting of the Specific Plan.

- The Community Recreation Center project continued. This project will provide an enclosed Olympic-sized ice facility in the winter (LA Kings Ice at Mammoth Lakes) and a multi-sport recreation facility in the summer (Mammoth RecZone). Crews continued to build out the Sprung components and operating amenities as well as paving the parking lot. The Town celebrated a ribbon cutting at the facility ("ICE Friday") in November 2023.
- Master planning of the Mammoth Lakes Foundation (MLF) property began in 2022. Land uses included in the initial concept plan for the site includes a dog park, childcare facility, performing arts center, parking, housing, and snow storage.
- The existing tennis courts at the Community Center were rehabbed with new sport court material and the prior outdoor ice rink was converted into six (6) pickleball courts. The Town celebrated a ribbon cutting at the two facilities in October 2023.
- Construction began on the Community Dog Park located on the MLF property. The 1-acre facility will provide a fenced area with separate big and small dog areas. Grading began in in fall 2023 and is expected to be completed in 2024.
- Mammoth Lakes experienced extreme and record-setting snow and weather conditions during the winter of 2022/23, leading the Town Manager to proclaim a state of emergency in March 2023. The extreme weather led to significant damage throughout the community to both private structures and public infrastructure.
- The rehabilitation of Laurel Mountain Rd was completed in 2023. The project addressed the existing condition of the roadway, lack of pedestrian safety, and forthcoming increases in pedestrian/community needs resulting from development of The Parcel.
- Town financially supported the Whitebark Institute of Interdisciplinary Environmental Sciences (Whitebark) to assist in the development and implementation of the initial phase of a 58,000+/- hazardous fuels reduction project referred to as the Eastern Sierra Climate and Communities Resilience Project (ESCCRP).
- An update of the Airport Layout Plan (ALP) was completed and approved by the Federal Aviation Administration (FAA) in February 2023. The ALP is a 20-year outlook on potential development at the airport.
- To address eBike safety, an Ordinance was introduced in December 2023 to govern MUPs, sidewalks, and trails and allows the Mammoth Lakes Police Department to issue citations and educate the public regarding the use of eBikes and other related modes of transportation.
- An ordinance was introduced in December 2023 to prohibit single-use plastic water bottles within the Town. The first phase will go into effect on January 1, 2025, and will prohibit the use, sales or distribution of single-use plastic water bottles of 500ml or less at Town-affiliated events. Phase 2 will go into effect a year later on January 1, 2026 and will prohibit any business from selling or distributing single-use plastic water bottles of 500ml or less of 500ml or less within the Town.
- An ordinance was introduced in July 2023 to ban Styrofoam food containers in response to AB 1276 (Single-Use Foodware Accessories and Standard Condiments). The ordinance will become effective on January 1, 2024.
- In October 2023, the Town Council adopted a moratorium on the issuance of new Short-Term Rental (STR) certificates in defined zoning areas within the Town. This action was in response to the significant and increasing shortage of housing that is accessible to the local workforce, along with the need to protect the health,

safety and welfare that results from the lack of available and affordable housing to the local workforce and residents. As a part of the work program to analyze the impacts of STRs, the Town Council appointed an STR Advisory Committee in November 2023 to provide recommendations to the Town Council intended to alleviate some of the housing issues caused by STRs.

The primary challenges encountered while furthering the goals of the General Plan include:

 Competing, necessary, and unanticipated priorities, as well as State mandates influence staff time spent on approved work programs, and do not always directly align with the General Plan Implementation Program items that are typically used to gauge progress towards implementing the General Plan. Funding limitations also make it necessary to prioritize specific projects and objectives for Town work programs.

Land Use Elements

Three elements in the 2007 General Plan address land use. These elements are Land Use, Community Design, and Neighborhood and District Character.

Land Use Element

The Land Use Element states: "An overarching principle of the community is to maintain the town's compact urban form, protect natural and outdoor recreation resources, and prevent sprawl."

Zoning Code Updates

The Town's Zoning Ordinance is consistent with the Land Use Element of the General Plan and it is implemented through the day-to-day application of the Zoning Ordinance. The Town's most recent comprehensive Zoning Code Update (ZCU) was adopted in 2014. Since that time, numerous Zoning Code Amendments have been processed. In 2023, the following Zoning Code Amendment was worked on and adopted:

ZCA 23-001 – ADU, Childcare, and Landscaping Ordinance: This amendment updated the following Zoning Code Sections: (1) 17.52.055 (Accessory Dwelling Units) to revise height limit and reduce front setback requirements for ADUs; (2) Section 17.52.100 (Child Day Care Facilities) to achieve compliance with State legislative requirements; and (3) Chapter 17.40 (Water Efficient Landscape Regulations) to incorporate wildfire mitigation landscape standards in accordance with General Plan Health and Safety Element Action Items. ZCA 23-001 was adopted by the Town Council in April 2023.

The Parcel

Land Use Element Goal L.2 directs the Town to "Substantially increase housing supply available to the workforce" and Action Item L.2.C.1 directs Town staff to develop a workforce housing strategy. Town Council adopted a Strategic Priority in December 2018, directing staff to focus work programs to "expand availability and affordability of community housing."

The purchase of the "Shady Rest" parcel was determined to be a near-term action strategy in the 2017 Mammoth Lakes Community Housing Action Plan (CHAP). In an effort to implement the Community Housing Action Plan and facilitate the development

of workforce housing as directed in General Plan Land Use Policy L.2.C, the Town purchased the +/- 25 acre "Shady Rest" parcel and escrow closed on the property in March 2018. The CHAP defined a near-term action strategy to pursue a community process of master planning the "Shady Rest" parcel (now referred to as The Parcel). In December 2019, Town Council accepted the Preferred Conceptual Land Use Plan that proposed up to 450 affordable workforce housing units. In January 2021, the Parcel Master Plan was approved by the Town Council, which established the regulatory framework for the build-out of the 25-acre site as an affordable housing development with up to 580 workforce housing units. Following the adoption of the Master Plan, a use permit authorizing double the site's base density (*allows up to 580 units*) pursuant to the Town's density bonus provisions and the Phase 1 design review entitlement were approved in February 2021. Tree removal and rough grading began in fall 2021.

The Parcel Phase 1 building permit was issued in 2022 with construction beginning shortly after. Significant progress was made on construction of The Parcel in 2023. By the end of the year, site improvements and building construction were substantially completed. Phase 1 (The Sawyer) includes 81 units (80 affordable and 1 manager's units) consisting of studio, 1-bedroom, 2-bedroom, and 3-bedroom units. Construction is anticipated to be completed in spring/summer 2024. In addition to the affordable units, The Sawyer will include a childcare facility for up to 34 children and a public park incorporating a new National Demonstration Site 5-12 year old playground, climbing dome, pavilion, picnic area, slack line, and a winterized restroom.

Phase 2 (The Kingfisher) consists of 148 units (146 affordable and 1-2 manager's), which will be separated into two phases. Kingfisher 2.1 will consist of 76 units while Kingfisher 2.2 will have 72 units. Tree removal was completed in fall 2023 in anticipation of site grading and construction beginning in spring 2024. In 2023, the Town and its development partner, Pacific West Communities, were successful in securing approximately \$30M from state and federal funding sources to begin construction of Kingfisher 2.1. The partners are hopeful to secure additional funding in 2024 to allow for construction of the second phase of the Kingfisher.

Phase 3 of The Parcel will be an ownership phase with approximately 50 units that will be available to households earning up to 200% Area Medium Income (AMI). Staff have been working with the developer in 2023 to refine their plans for Phase 3 and expect an entitlement application in 2024.

Main Lodge Redevelopment

Following the completion of the land exchange with the USFS in 2020, Mammoth Mountain Ski Area (MMSA) began the planning process for the future redevelopment of the Main Lodge property. The project consists of the redevelopment of approximately 35 acres of privately owned land at the base of the Mammoth Mountain Ski Area Main Lodge area (*land exchange parcels*) and the entitlements are expected to take multiple years to complete due to the scale and complexity of the Project. After a concept review took place in 2021, preparation of the required environmental documents (CEQA and NEPA) began in 2022 and a Notice of Preparation (NOP) for the Draft Environmental Impact Report (DEIR) / Environmental Impact Statement (EIS) was released in November 2022. Work on the joint EIR/EIS continued in 2023 and the draft EIR/EIS is expected to be released in late-2025. Staff continue to provide regular updates to the Town Council and Planning and Economic Development Commission on the status of the project.

Other Large Planning Projects Submitted, Completed, or Underway in 2023

- Sierra Nevada Redevelopment, Phase 1 (164, 202, and 248 Old Mammoth Road): Rehabilitation of the existing Sierra Nevada Lodge and the addition of 30 resort cabin units. The project also included an Alternate Housing Mitigation Plan (AHMP) to allow the project to satisfy its affordable housing mitigation requirements by converting an existing portion of the hotel into three affordable units with seven bedrooms that will be restricted to employees of the hotel making 80% or below AMI. The project required an amendment to the Clearwater Specific Plan (CSP) to allow the interim development of the site to occur while still preserving the allowances granted to the larger Old Mammoth Place project. *Entitlement submitted in November 2021 and approved in February 2022; Construction was underway in 2023*
- Limelight Hotel (Corner of Canyon Blvd and Lake Mary Rd): 151-room hotel and 15 for-sale residential units. *Concept Review submitted in November 2020 followed by entitlement application in February 2022; Approved in May 2022; Construction was underway in 2023*
- Villas III (101 Callahan Way): 33-unit planned unit development within the Lodestar at Mammoth Master Plan area. *Submitted in February 2021 and approved in May 2022: Construction was underway in 2023*
- 60 Joaquin (60 Joaquin Road): Deed-restricted four-unit multi-family planned unit development. *Submitted January 2023 and approved in June 2023.*
- The Outpost (126 Old Mammoth Road): Renovation of the existing 2-story Mammoth Mall building to improve the existing commercial building consisting of restaurant, retail and office uses. *Submitted November 2023*
- Town of Mammoth Lakes Civic Center (1344 Tavern Road): New administrative offices for the Town of Mammoth Lakes. *Submitted December 2023*
- Regal Peak (6060 Minaret Road): A 5-story Resort Condominium Development with a total of 198 rooms within 118 residential condominium units. *Submitted December 2023.*

Community Indicators Report

Land Use Element Action Item L.1.A.2 directs the Town to prepare an annual Community Indicators Report to monitor the pace of growth and to plan for changing conditions. The Community Indicators Report format was developed in 2013 with the assistance of the Planning and Economic Development Commission and various stakeholders in the community. The purpose of the report is to educate residents, inform planning and other public resource allocation decisions, and attract new private capital to the community. The report ties on-the-ground actions to previous visioning, planning, and high-level policies. The Town's Planning staff prepared a Community Indicators Report for the 2022 calendar year, which was accepted by Town Council in August 2023.

Urban Growth Boundary

Land Use Goal L.6 directs the Town to maintain its Urban Growth Boundary (UGB) to ensure a compact urban form, prevent sprawl, protect natural and outdoor recreational resources, and monitor development in terms of build-out in the General Plan. In Accordance with General Plan Land Use Policy L.6.E (*National Forest lands that are exchanged into private ownership will be included within the UGB whether or not they*

are contiguous with the UGB), the Town continues to monitor and coordinate with Mammoth Mountain Ski Area (MMSA) regarding its Land Exchange with the U.S. Forest Service which was completed in March 2020.

Community Design Element

The Community Design Element states: "Our community is set within the forest; trees and the natural landscape are prominent and create a sense of scale and strong aesthetic." The intent statement for this element states that Mammoth Lakes will develop as a village in the trees, and that development will be planned to visually connect with the natural surroundings by accentuating existing Jeffrey pine forest and manzanita/sage scrub and meadows. The Community Design Element also provides direction for the creation of public spaces and improvements to streetscapes.

Policy C.2.B. of the Community Design Element directs the Town to maximize opportunities for public spaces that support community interaction, including performance and arts spaces, and child activity centers through public-private partnerships.

One of the four Town Council Strategic Priorities for 2023 is "Enhance a sustainable recreation economy with partnerships and investment" and a specific objective identified under this priority is to complete the Community Recreation Center (CRC) project. The initial phase of work concluded in late-2023 on the CRC project and the Town celebrated the ribbon cutting at the facility ("ICE Friday") in November 2023. The CRC is a Sprung Performance Arena containing an Olympic size ice rink in the winter and the 20,000 square foot Mammoth RecZone sport court in the summer. The CRC is the major recreation amenity at Mammoth Creek Park West that includes a new mobility hub with parking for up to 118 vehicles along with electric vehicle charging stations and access to the Town's trail and transit systems. Mammoth Creek Park West will also include a future natural play area and a 7,700 square foot inclusive playground.

Goal C.3. of the Community Design Element calls for the Town to provide safe and attractive public spaces, including sidewalks, trails, parks and streets. To implement the policies and actions of this Element, the Town continues to work on projects that will create significant public spaces and incorporates the oversight of an Advisory Design Panel (ADP) and/or Planning and Economic Development Commission Design Committee to review site design, building massing and architecture of proposed development projects. In 2023, the Design Committee met one (1) time and reviewed one (1) project.

Neighborhood and District Character Element

The Neighborhood and District Character Element states: "To enhance the unique character of Mammoth Lakes, development of individual sites and districts must be carefully planned...the community's overall mix and composition of land uses, housing, employment, lodging and amenities should be considered in the planning of each district."

In 2023, the Town continued to apply the Town wide Neighborhood District Planning document, which integrates all the neighborhood district plans into a single comprehensive document. The Town wide document continues to facilitate the overall planning and implementation of specific policies and actions contained in the individual

district plans. The comprehensive 2014 Zoning Code Update codified the recommendations of the Neighborhood District Plans into development and land use standards to facilitate implementation.

Circulation Element – Mobility Element

An update to the Mobility Element of the 2007 General Plan was adopted by Town Council in December 2016. The intent statement for the Element states, "The Mobility Element establishes the Town's goals, policies, and actions necessary to achieve a progressive and comprehensive multi-modal transportation system that serves the needs of residents, employees, and visitors in a way that is connected, accessible and safe." Public Works projects underway in 2023 that implement the Mobility Element are described below.

The Public Works and Engineering Work program for 2023 aligned with the July 2022 Town Council Strategic Priority of "Investment in infrastructure, improvements, and maintenance." The Council's objectives included the following:

- Invest in community infrastructure planning, maintenance, replacement and improvements (Roads, MUPs, Parks, Town Office, and Equipment).
- Ongoing update of prioritized 5-year Capital Improvement Plan (CIP) and defined funding for annual implementation, including DIF update.
- Define and initiate mobility program including micro-mobility solutions, enhanced EV capacity, and transit improvements.

Streets

In 2023 Governor Newsom signed SB 606 which became law on January 1, 2024. SB 606 amends Section 503 of the Streets and Highways Code, granting the California Transportation Commission (CTC) the authority to relinquish all or a portion of Caltrans State Route (SR) 203 to the Town of Mammoth Lakes. The process for consideration by Town to consider accepting all, a portion, or none of SR 203 in Mammoth Lakes is to request a Relinquishment Assessment Report (RAR) be completed by Caltrans. The Town made this request in December. At this time, staff is waiting on a response from Caltrans and continues to evaluate this opportunity.

While designing the Minaret Multi-use-path (MUP) staff and Kimley-Horn discussed the possibility of a roundabout at the intersection of Minaret and Meridian. The design would eliminate the generally unnecessary traffic signal and improve safety for pedestrians and golfers and will better incorporate the future MUP. Staff completed programming documents and is allocating STIP funding towards the design of this intersection.

The winter storms of 2023 broke nearly all records and, in the process, caused significant damage to Town street and pedestrian infrastructure. Using the emergency declarations of the Town, County, State and Federal entities, the Town was able to contract to have emergency repairs completed. The initial scope included Sierra Nevada Road, Commerce Drive, Old Mammoth Road, Meridian Boulevard, and Minaret Road, with types of repairs including 2" mill and patch, 3" mill and patch, and full depth pulverization, regrade and repaving. The final cost of the project was \$598,359.30.

The Town road crew provided stop gap and seasonal maintenance of the Town's streets, signs, and drainage systems. This included restriping all the Town's streets, replacement

of damaged signs, and clearing the Town's culverts and dry wells. Additionally, the Town continued replacing all street name signs with MUTCD compliant signs. The winter storms of 2023 caused more damage than usual, and the late snow reduced the construction season significantly.

During 2023, Pacific West Builders nearly completed the connector streets to the Parcel affordable housing project. The new Inyo Street and an extension of Tavern Road converge in the center of the parcel and support the 81 units under construction and the future phases in the development. This work is being managed by Pacific West Builders and funded by a State Infill Infrastructure Grant (IIG) the Town and Pacific are co-applicants on. Work should be complete in 2024.

The following street project contracts were awarded in 2022 and nearly completed in 2023.

- Chaparral Road Extension Project consists of the construction of a new complete street on a "greenfield" forested site, that includes the installation of underground utilities, curb and gutter, sidewalk, multi-use path, bus shelters, street lighting, landscaping, signage, and striping.
- Laurel Mountain Road Project includes the construction of a new sidewalk, curb and gutter, storm drain, sewer, street lighting, RRFB pedestrian beacon, and reconstruction of the existing pavement on Laurel Mountain Road between Main Street/CA Hwy 203 and Sierra Nevada Road.

The Reds Meadow Road project was bid in late 2022 and awarded in January 2023 to Herback General Engineering. Due to the large winter in 2022/2023, the contractor was not able to begin working on the project until July and it is anticipated that there will be access restrictions during summer 2024 to allow the contractor to catch up for time lost in 2023. The project is anticipated to be completed in 2025.

Mobility Projects

In 2023 the Town opened the Community Recreation Center and associated mobility hub. The Mobility Hub includes a new bus shelter and turnout, 12 Tesla Superchargers, 4 universal J-1772 chargers, and free community parking.

The Town bid and awarded a contract to construct a new community dog park. An important aspect of this facility is a parking lot that supports the new dog park along with the adjacent trail head and community facilities. The free parking includes a public restroom and access to transit.

Pedestrian Facilities and Trails

Trails accomplishments for the summer of 2023 included the deployment of Host Program staff to key public access nodes, construction of new trail segments in the Lakes Basin with volunteers and staff, the Lower Rock Creek Trail repairs, new signage, tree removal, and public communications.

The Town was awarded a Highway Safety Improvement Program (HSIP) grant to replace the flashing beacons on SR203 Main Street at the intersections of Laurel Mountain and the Mammoth Lakes Post Office. The improvements include new overhead rapid flash

beacons, advance warning signage, and push buttons that confirm for the user that the system is operating. Work was completed in late 2023.

Kimley-Horn, under contract by the Town, completed plans and specifications for a new MUP along the entire length of Minaret Rd. The separated 12-foot wide asphalt path will traverse Town north to south and connect existing MUP infrastructure on Lake Mary Rd and Old Mammoth Rd. The Town advanced the project by programming \$3M in STIP funding to finance the construction of the project.

Mammoth Lakes Recreation (MLR) was awarded a grant to complete the trail head on Sherwin Creek Rd. MLR is partnering with the Town to manage the construction contract. Plans and specifications were effectively shovel ready and staff will finalize the plans and bid the project in 2024.

Staff worked with California Consulting to apply for a \$1M grant to reconstruct nearly 3 miles of existing MUP's. If successful, the work would be bid in 2024 with the existing road rehabilitation project.

A few years ago, staff began working with Caltrans on a continuation of the Lakes Basin Trail along Main Street. The new segment coined the South Main MUP would connect to the existing MUP's at the Main Street intersections of Minaret and Callahan. Staff programmed the design of this facility using STIP funds. Once designed and approved by the State, staff will seek construction funding.

Air Service

Advanced Airlines provided flights to Mammoth Yosemite Airport (MMH) from Burbank (BUR), Carlsbad (CLD), and Hawthorne - LA (HHR) during winter months and to CLD and HHR during summer months. United Airlines provided flights to Eastern Sierra Regional Airport (BIH) in Bishop from San Francisco (SFO) during winter and summer months and from Denver (DEN) in winter months. Mammoth Yosemite Airport supported other aviation flights and training such as firefighting, medivac, search and rescue, military, utility company inspections, and general aviation.

During 2023, there were two capital improvement projects constructed at the airport. The first project was the Automated Weather Observation System (AWOS) Relocation and Upgrade project. Construction began in July 2023 and will be completed in spring of 2024. The scope of work includes relocating the AWOS from its exiting location to a new location further west near the segmented circle and upgrading the equipment. The second project was an emergency fence project to fix the damaged chain link fence surrounding the airfield that was significantly damaged during the 2022/2023 winter season. The main terminal building was remodeled by airport employees and the room that used to house TSA equipment was remodeled into a café. Starting during the 2022/2023 winter season, Advanced Air passengers were checked in at the Airport's main terminal rather than the Fixed Based Operator terminal.

Staff worked with consultants to design the Aircraft Rescue Firefighting Vehicle (ARFF)/Snow Removal Equipment Building project. Design is still underway in 2024, and the project was renamed as the Multipurpose Building to include ARFF and SRE. Design work will continue throughout 2024 with construction anticipated in 2025.

A Request for Qualifications was published for on-call engineering and architectural services for the airport. Statements of qualifications were received, interviews were conducted, and two firms were selected to provide on-call engineering and architectural services to the airport over the next five years.

The Airport Layout Plan (ALP) was completed and accepted by the Federal Aviation Administration (FAA) in February 2023. The ALP is intended to serve as a guide for the future development of the airport and reflects current conditions and the potential growth and expandability of the facility. The ALP identifies future development projects and further categorizes those projects into short-term (0-5 years), mid-term (6-10 years), and long-term (11-20 years) projects.

Staff continues to work with Inyo County, Mono County, Eastern Sierra Council of Governments, Mammoth Lakes Tourism, Caltrans, Federal Aviation Administration, and Hot Creek Aviation, the Airport's Fixed Based Operator (FBO), to enhance regional air service and transportation and the Mammoth Yosemite Airport's amenities and services.

Public Transit

The Town continues to contract with Eastern Sierra Transit Authority (ESTA) to provide community transit services, which are funded with committed Transient Occupancy Tax revenues and dedicated transit funding. These services provide over 15,000 service hours annually. ESTA and the town met many times in 2023 to discuss how transit could better serve the Old Mammoth neighborhood, the future residents of the Parcel, the Community Recreation Center and better route transit for coverage and simplicity. Staff and ESTA developed a new set of routes modifying the existing purple line and establishing a new teal line. The new route was implemented in late 2023 with the teal line using the recently constructed Woodmen turnaround.

At the request of Mammoth Mountain Ski Area, ESTA conducted a micro-transit study to analyze the possibility of adding a micro transit program. In short, the program would more than likely work in Town. However, it would cost upwards of \$1M/year to operate and provide service to significantly less riders than existing fixed route options. At this time there is no direction to advance such a program.

Open Space Elements

Two elements in the 2007 General Plan address open space. These elements are Parks, Open Space and Recreation, and Resource Management and Conservation. The Parks, Open Space and Recreation Element states: "Parks, open space, and our recreational opportunities in Mammoth Lakes are critical to our residents and to the success of our tourism-based economy."

Adopted by Town Council in February 2012, the Parks and Recreation Master Plan (PRMP) assists in implementing the Parks and Recreation element and guides the development and improvement of a system of parks and recreation facilities to serve the recreational needs of Mammoth Lakes' residents and visitors. As stated in the PRMP, the parks and recreation vision is to "provide multi-purpose, year-round, indoor and outdoor recreation opportunities accessible to all residents and visitors."

The fundamental purpose of the Parks and Recreation Department is to deliver residents and visitors with high-quality recreation facilities and diverse programming that promotes

excitement, individual expression, exploration, pleasure, challenge and accomplishment that can lead to an improved quality of life. By providing opportunities for these interactions and connections to occur, the department is directly contributing to the development of strong families, social equity, an enriched quality of life and most importantly, a healthy and vibrant community.

Parks and Recreation Strategic Workplan

Accepted by the Recreation Commission in December 2022, the annual workplan was developed to strategically guide the department and Recreation Commission in fulfilling the shared vision and mission for community recreation. The strategies for 2023 are aligned with the Town Council 18-Month Strategic Priorities and the Parks and Recreation Master Plan.

The four core strategies and goals that were accepted by the Recreation Commission are as follows:

- 1. Maintain and Enhance the Town's Recreation Infrastructure
 - a. Open and operate the Community Recreation Center (CRC), which consists of LA Kings Ice at Mammoth Lakes and the Mammoth RecZone.
 - b. Lead and support efforts to provide multi-purpose, year-round, indoor and outdoor recreation amenities in Mammoth Lakes. CIP projects include: Community Dog Park, Park at the Parcel, MACC/Edison Theatre, Outdoor courts (tennis/pickleball), Bike Park/pump track, Bouldering Park, and Mammoth Creek Park West play area.
 - c. Enhance recreation infrastructure to improve user safety, operations, and overall guest experience through: (1) Maintenance Best and NEXT practices, (2) Deferred Maintenance Program, (3) Amenities Enhancement Program.
- 2. Deliver High-Quality, Innovative and Affordable Recreation Programming
 - a. Create and deliver scalable, sustainable and DEI Core Community Programs aligned with the resource capacity and capabilities of the Department.
 - b. Core Program Areas: (1) Youth/Teen camps and programs, (2) Adult activities, (3) CRC programs, (4) Facility operations/maintenance, (5) Community events.
 - c. Provide enhanced recreation programming by partnering with local organizations, fund local non-profit youth sporting groups (YSF), hire skilled instructors, or contract with recreation entities.
- 3. Strengthen Organizational Systems, Structures and Operations
 - a. Realign the Department's organizational structure to further the growth, quality, and efficient delivery of the Core Program Areas.
 - b. Continually improve the delivery of Core Program Areas by constantly measuring performance, utilize a data-driven approach, and implement a NEW community recreation management platform: (1) Recreation and Facility Satisfaction Survey, (2) DaySmart Recreation, (3) PlayCore Data Services Lab.

- c. Implement a Communication Plan that effectively and in a cost-effective manner, disseminates inclusive information and encourages participation in the Core Program Areas: (1) New Parks and Recreation Department website, (2) Recreation This Week newsletter, (3) social media, (4) Brochures, flyers, and print ads.
- 4. Build Capacity, Teamwork and Recruit & Retain the Best
 - Build capacity by aligning positions (responsibilities) and desired outcomes with professional, prepared, and passionate people through: (1) Workforce Development, (2) Professional Development, (3) Education and Networking, (4) Customer Service Training.
 - b. Build a high-performing Team by integrating the 5 C's into daily operations to achieve extraordinary results: (1) Communicate, (2) Connect, (3) Collaborate, (4) Commit, and (5) Celebrate!
 - c. Strategically recruit, retain and recognize our employees: (1) Recruitment Plan, (2) Recognition Plan.

Recreation Programming

Parks and recreation provide essential services and infrastructure critical for the physical and mental well-being and resilience of our community. It is well documented that having access to quality parks and recreation services improves physical and mental health, reduces crime and violence, increases access to healthy foods, drives community connection and boosts economic activity. It is the mission of the Parks and Recreation Department to provide multi-purpose, year-round, indoor and outdoor recreation opportunities accessible to all residents and visitors.

2023 saw a full return to pre-COVID programming, with over 1,400 youth participants (+171 from 2022) and over 800 adult participants (+149 from 2022). Our popular summer camps included several new additions: Advanced Bike Camp, Advanced Backpacking Camp, Gymnastics Camp, Wilderness Camp and Camp Mammoth. After-school programming included Spring & Fall Bike Squads, Spring & Fall Skate Squads, Hot Shots Basketball, Little Wreckers and Cooking Classes. Instructional programs included Gymnastics, Swimming, and Ice-Skating lessons. 2023 also saw the return of all adult leagues – curling, hockey, indoor soccer, volleyball, and softball.

Recreation Facilities

The physical and mental health benefits of outdoor recreation are well known. Visitation at our admission-based facilities was strong, with the final season of the Mammoth Outdoor Ice Rink hosting 8,651 visitors during the 2022/23 season, and the Whitmore Pool receiving 7,236 swimmers in Summer 2023.

Deferred Maintenance

The Town continues to operate and maintain all Town owned and managed parks and recreation facilities, including Mammoth Creek Park, Community Center Park and Tennis Courts, Shady Rest Park, Trails End Park and Little Brothers Skate Park, and Whitmore Recreation Area. In 2023, a total of \$585,202 of deferred maintenance work was undertaken. Allocation by facility is highlighted below in the graph.

Deferred maintenance continued at the Whitmore Recreation Area, with the completion of extensive rehabilitation of Softball Field 2. This included the removal of lips at the

turf/infield interface, resizing of the infield and replacement of infield mix, and perimeter fencing. At the Community Center Park and Tennis Courts, Courts 5 and 6 were leveled and power washed, prior to the installation of a Sports Court Modular Overlay Surface. New net posts were also installed, in addition to a new basketball hoop and backboard on Court 1.

Community Recreation Center

In November 2023, the new Community Recreation Center and LA Kings Ice at Mammoth Lakes celebrated its grand opening with over 700 community skaters. The CRC is a Sprung Performance Arena enclosing an Olympic size ice rink that will operate in the winter and in the summer, durable sport tiles will cover the rink area creating a 20,000 square foot Mammoth RecZone. Combined with community-driven and professionally branded programming, the new year-round facility operated by the Parks and Recreation Department will be a game-changer for recreation in Mammoth Lakes.

Mammoth Pickleball Complex

Following the decommission of the Mammoth Outdoor Ice Rink, six (6) regulation Pickleball Courts were installed on the site. This included the installation of a Cushion Extreme surface, and Pickleball lines and nets. The complex opened in mid-September and saw heavy use through Fall and early Winter.

Special Use Taxes

The "Mammoth Lakes Recreation, Trails and Parks Investment Initiative" (aka Measure R) was adopted by the Mammoth Lakes Town Council in February 2008 and was approved by the voters of Mammoth Lakes in June 2008. The Ordinance imposed a Transactions and Use Tax in the amount of one-half percent for the purpose of funding Recreation, Trails and Parks. Measure R is a special fund designated for use by the Town of Mammoth Lakes only for the planning, construction, operation, maintenance, programming and administration of all trails, parks and recreation facilities managed by the Town of Mammoth Lakes without supplanting existing parks and recreation facility maintenance funds. Recommendations for the use of Measure R funds are determined by Mammoth Lakes Recreation and presented to Town Council for approval.

Measure R projects completed in 2023 include:

- Measure R audit
- Whitmore Track/Trails End Park maintenance
- Recreation Equipment/Supplies
- Mammoth Lakes Recreation administration
- Trails administration and projects

The "Mammoth Lakes Mobility, Recreation and Arts & Culture Utility Users Tax Ordinance" (aka Measure U) was adopted by the Mammoth Lakes Town Council in March 2010 and approved by the voters of the Town of Mammoth Lakes in June 2010. The Ordinance states: "On or after July 1, 2011 all proceeds of the tax and imposed hereunder shall be accounted for and paid into a special fund designated for use by the Town of Mammoth Lakes, and used only for the following purposes: Planning, construction, operation, maintenance, programming and administration of facilities and projects for Mobility, Recreation and Arts & Culture. Such tax proceeds shall not supplant existing funds used

for the purposes set forth above." Recommendations for the use of Measure U funds are determined by Mammoth Lakes Recreation and presented to Town Council for approval.

Measure U projects completed in 2023 include:

- Special event transit services
- Arts and cultural programming and special projects
- Contract administration
- Measure U audit
- Special event equipment
- Mammoth Lakes Recreation administration

Conservation Elements

Two elements in the 2007 General Plan address conservation. These elements are Resource Management and Conservation and Arts, Culture, Heritage and Natural History.

Resource Management and Conservation Element

The Resource Management and Conservation Element states: "Mammoth Lakes is valued for its majestic setting, the forest and trees, the smell of the pines, wildlife, clean air and water. The goals and policies of this Element address the community of Mammoth Lakes being a leader in managing and conserving these resources."

The Town continues to support the preservation of Mammoth Creek, which runs through town, by prohibiting development that does not maintain established setbacks and by managing Town-owned properties along Mammoth Creek for open space, habitat preservation, and passive recreation.

In accordance with the Town Council's Strategic Priority to "enhance our recreational based economy through amenity investment," the following items were accomplished in 2023:

Summer Trails and Programs

The Mammoth Lakes Trail System Trail crew worked over the summer clearing fallen trees, maintaining system trails, installing new signage and continued construction of the new Lakes Basin trail – Black Bear Run. The Trail Crew assessed infrastructure damaged from the large 2022/2023 winter and completed repairs as needed to keep the Trail system standards. The summer Trail Host program continues to provide information, collect data, and help residents and visitors have fun safely. From June 1 – September 4 the host team reported 19,155 interactions with users, observed 79% of dogs on leash, cleaned up over 1,253 pounds of trash, and 246 pounds of pet waste. Mammoth Lakes Trail System Summer of Stewardship began with an in-person stewardship event in June 2023, in celebration of 'National Trails Days'. This event hosted over 70 volunteers at the Sherwins Trailhead cleaning up trash, shoveling snow off trails, staining wood directional signs, and removing over 150 pounds of trash. Weekly volunteer opportunities were available through September, which allowed the public to volunteer for Trail Crew (44.5 volunteer hours), Trail Host (18 volunteer hours), and the Water Host (33 volunteer hours) programs. Bi-weekly Wednesday Worknights is a new volunteer program added to the Summer of Stewardship. Volunteers worked over multiple Wednesdays volunteering a collective 92 hours constructing a new trail, Black Bear Run. The season

ended with the Lakes Basin clean up event that had 75 participants. Volunteers collected over 115 pounds of trash, 150+ feet of fishing line, and sanded and painted 8 USFS picnic tables. Other Town cleanup programs include town cleanup day in June and weekly "Trashy Thursday" events from June – September. Trashy Thursdays reported 199 volunteer hours and the removal of 629.5 pounds of trash and 20.5 pounds of dog waste. The Eastern Sierra Adopt a Trail program grew over the 2023 summer hosting a total of 13 new volunteer adopters (33 total volunteers) and 27 sponsors. This program is a partnership between Mammoth Lakes Recreation, Mono County and the USFS.

Winter Trails and Programs

Winter multi-use trails were groomed and open to the public through May 8 for a total of 6 months of winter grooming. The Shady Rest Winter Trails continued to be a highly used facility for Nordic skiers, walkers, fat-bike riders, snowshoers, and dog play. The Sherwins Winter Trail was groomed as conditions allowed. During the winter season, the Host team was stationed at Shady Rest Park, Sherwins Trailhead, Lake Mary Road closure, and the Village. The host team reported 2,809 interactions from January to April 2023 assisting visitors and locals with wayfinding, directions, parking, regulations, and etiquette information.

These accomplishments made progress towards meeting the Town Council's objectives for this Strategic Priority, which includes enhancing the public's experience with improved access points to the natural environment and utilizing partnerships with Mammoth Lakes Recreation, Mono County, U.S. Forest Service, and the Eastern Sierra Sustainable Recreation Partnership to identify grant funded projects and programs that should be pursued.

Climate Change Vulnerability Assessment

As part of the SB1 Climate Adaptation Planning Grant awarded to the Town in 2017, The Town contracted Placeworks, Inc., to prepare a Climate Change Vulnerability Assessment. The Vulnerability Assessment identifies and analyzes the impacts climate change poses to the Town and the specific geographic areas at risk from certain impacts. The Vulnerability Assessment informed the preparation of climate adaptation goals, policies, and objectives, as well as the development of feasible implementation measures. The adaptation strategies were adopted as part of the 2019 Public Health and Safety Element update.

This project furthers Resource Management and Conservation Element Goal R.1. of the Element, which directs the Town to "Be stewards of habitat, wildlife, fisheries, forests and vegetation resources of significant biological, ecological, aesthetic and recreational value." The tourism-based economy of Mammoth Lakes relies on its scenic qualities and world-class recreational opportunities, and some of these assets were considered in the Vulnerability Assessment, and the Town adopted recommended adaptation strategies in order to lessen identified impacts to these resources.

Stormwater Resource Plan

The Town is an active member of the Inyo-Mono Integrated Regional Water Management Plan (IRWMP) and has a Stormwater Resource Plan (SWRP). The SWRP provides a regional prioritization of stormwater management projects that qualifies agencies for participation in Prop 1 Funding.

Waste Management/ Recycling

In 2020, Town Council approved a new Solid Waste Franchise Agreement between the Town and Mammoth Disposal Company. The Agreement allows Mammoth Disposal to provide all solid waste collection and processing services on behalf of the Town for 20 years. This includes addressing the disposal of solid waste after the Benton Crossing Landfill closed at the end of 2022. The new Agreement provides for increased solid waste disposal services and improved recycling services for customers in Mammoth Lakes. To accommodate current and future solid waste disposal needs, Mammoth Disposal constructed a new transfer station for solid waste and a Materials Recovery Facility (MRF) for recyclables in 2023. Additional elements of the project included the reconfiguration and renovation of the existing site to accommodate the new facilities and improve circulation.

Work continued on a feasibility study for a potential biomass facility which was facilitated through a U.S. Forest Service Wood Innovations Grant.

The Town held its annual Town Clean-Up Day in June 2023. The Town provided a dropoff station for the collection of large/bulky items, metal objects, green waste, food waste, hazardous household waste, and recyclable materials. In total, 70.99 tons of waste was collected, which was a decrease from the 76.91 tons of waste material collected when Town Clean-Up Day was held in 2022.

Tree Removal Permits

Planning staff continues to implement the Town's Tree Removal and Protection Ordinance by requiring property owners obtain a Tree Removal Permit for the removal of live trees that are 12 inches or greater in diameter at breast height. In 2023, 47 tree removal permits were processed with a small number of those permits being denied because the minimum criteria for removal was not met. The top three reasons specified on the tree removal permit requests include the removal of hazard trees, trees causing property damage, and tree removal for wildfire fuel reduction purposes.

Air Quality

The Town monitors air quality in coordination with the Great Basin Unified Air Pollution Control District (GBUAPCD). This monitoring effort focuses on particulate matter (PM_{10}), which is primarily caused by wood burning and cinders spread on roads to increase traction during icy conditions. During the period of November 15th to March 15th, the Town monitors the air quality and when PM_{10} reaches certain levels in town, "no-burn" days are called, meaning that the use of fireplaces and wood stoves are prohibited for that time period.

The GBUAPCD provides the Town an annual report in May of each year that summarizes the air quality measurements recorded by the district during the monitoring period (Mid-March through Mid-March of the following year) and identifies any exceedances of the State and Federal PM_{10} standards. During the Mid-March 2022 through Mid-March 2023 reporting period, the Federal PM_{10} standard was exceeded on zero (0) days and the State PM_{10} standard was exceeded on eleven (11) days. All eleven of the monitored State exceedances in 2022-23 were due to local sources. There were no wildfire events in 2022-23 which resulted in a State exceedance. The local sources causing State exceedances were determined to be construction related between June and October (2), followed by residential woodburning between December and March (9).

An update to the Air Quality Management Plan (AQMP) was completed in 2013, and the Town continues to implement the goals and policies of that Plan. As part of the AQMP update process, the Town and the GBUAPCD requested the EPA re-designate the Town as in attainment for the federal air quality standard for particulate matter less than 10 microns (PM_{10}). The Town had been designated non-attainment for PM_{10} since 1987. EPA found that the Town has met the federal standard since 2009 and the EPA formally redesignated the Town as in compliance in 2015.

In 2023, GBUAPCD completed the Second 10-year Maintenance Plan for the Town of Mammoth Lakes. The federal Clean Air Act (CAA) requires that an area redesignated attainment from nonattainment status must submit a maintenance plan ensuring the Nation Ambient Air Quality Standards (NAAQS) will be met for a 10-year period following redesignation. The CAA required redesignated areas to submit a second maintenance plan to the United Stations Environmental Protection Agency eight years after the first plan has been approved in order to demonstrate continued maintenance of the NAAQS for the subsequent 10-year period.

Outdoor Lighting

Mammoth Lakes' dark night skies are an important resource to the community and local wildlife. These starry skies continue to be preserved through the Town's Outdoor Lighting Ordinance, which requires exterior lighting to be downward directed and shielded. This requirement significantly reduces dangerous glare for drivers and pedestrians and helps preserve the dark skies for wildlife and residents. The Town continues to require all development projects to be consistent with these lighting requirements and continues code compliance efforts to bring non-conforming fixtures into compliance with the Town's Lighting Ordinance.

Arts, Culture, Heritage, and Natural History Element

The Arts, Culture, Heritage and Natural History Element states: "It is important that arts, culture, heritage and natural history are encouraged throughout the community."

One of the Town Council's Strategic Priorities directs various work programs and funding to "Enhance our recreational based economy through amenity investment." A specific objective associated with accomplishing this priority include finalizing an agreement with the Mammoth Lakes Foundation for the Mammoth Arts & Cultural Center (MACC), which the Town will construct and operate with funding to be provided through Measure U.

Measure U funds are specifically dedicated for recreation, mobility, and arts and culture. CEQA requires a cultural resource analysis for all proposed projects. Mitigation measures are identified for each project to reduce impacts to cultural resources. The Town also complies with Senate Bill 18 and Assembly Bill 52 regarding Native American Tribal consultation.

Noise Elements

Noise is addressed in two elements of the 2007 General Plan. These elements are Noise (1997) and Community Design.

Noise Element

A goal of the Noise Element is "To protect the citizens of the Town from the harmful and annoying effects of exposure to excessive noise."

The Town continues to enforce the noise limits stated in Municipal Code §8.16 *Noise Regulation*. An update of the Noise Element and the Noise Ordinance is included on the Community and Economic Development Work Program, but a start date and funding source has not been established.

Community Design Element

A goal of the Community Design Element states, "Enhance community character by minimizing noise."

The California Environmental Quality Act (CEQA) requires a noise analysis for all proposed development projects that are not exempt from CEQA review. Mitigation measures are identified for each project to reduce noise impacts. The Town includes these project specific mitigation measures as conditions of approval for the project to reduce noise impacts. Nuisance complaints related to noise are handled by continued enforcement through the Mammoth Lakes Police Department and the Town Code Compliance staff.

Safety Element – Public Health and Safety Element

The Public Health and Safety Element states: "The community will be comfortable and safe. Facilities that are important to a livable community will be supported, provided, and encouraged."

In 2023, the Mammoth Lakes Police Department was awarded a grant of \$51,680 from the California Off-Highway Motor Vehicle Division. The grant provides funding for winter Over Snow Vehicle patrol including the purchase of a new snowmobile and trailer.

The proliferation of e-Bikes and other modes of transportation has resulted in congestion and dangerous conditions on Town Multi-Use Pathways (MUPs), sidewalks, and trails. In December 2023, the Town introduced an ordinance to govern MUPs, sidewalks, and trails with the Mammoth Lakes Police Department issuing citations and educating the public regarding the use of e-Bikes and other related modes of transportation. This ordinance will help to ensure a safer environment on MUPs, sidewalks, and trails along with providing better opportunities to educate our locals and visitors on the use of these amenities.

The Town continues to enforce building code requirements to minimize loss of life, injury, and property damage from snow, earthquakes, and fire. The Town also continues to work closely with the Mammoth Lakes Fire Protection District to review proposed development projects to ensure adequate emergency access and fire equipment access. The Town continues to respond to code compliance complaints including those related to potential safety issues. Additionally, the Town's snow removal operations are essential to the safety, wellbeing, and daily operations of the Community. The Town's Public Works Department prioritizes streets for snow clearing to maintain safe routes during snowstorms.

Staff continues to enforce the Quality-of-Life Ordinance, adopted in 2015, to ensure that transient rental uses do not create adverse impacts to neighboring properties due to excessive traffic, noise, trash, and similar issues and to ensure that the number of occupants within such rental units do not exceed the design capacity of the structure or cause health and safety concerns. This ordinance requires any new transient use within a residential structure to be inspected prior to the commencement of the transient use. The inspection verifies compliance with the standards and conditions of operation outlined in the Ordinance and ensures compliance with all applicable safety requirements.

All development project applicants are required to submit a Hazardous Waste Acknowledgement Form to disclose any hazardous materials information prior to project review and approval. In addition, the Town maintains an Emergency Operations Plan (EOP) that outlines how the Town will organize to respond to emergencies within the Town's jurisdiction. In 2023, EOP training continued for all Town staff who have a designated roll in EOP operations.

Economy Element

The Economy Element in the 2007 General Plan is an optional Element (not required by California State Law) that states: "Mammoth Lakes' economy is tourismbased...Mammoth Lakes' economic sustainability is dependent upon the mountain resort, expanded employment opportunities, shoulder season and midweek occupancy, air service and many other components of the community."

The Town Council's Strategic Priority objective related to the economy calls for "Investment in Capital infrastructure, new investment, improvements, and maintenance." The Town continues to track economic indicators for changes that may affect community land resources, tax base, including Transient Occupancy Tax (TOT), and employment base. In 2023, the total TOT revenue increased approximately 4.5% with record breaking TOT revenue collected during the months of January, February, March, April, May, August, September, and October. To augment TOT collections and to ensure a level playing field for TOT operators, the Town continued its TOT enforcement program and initiated 49 TOT compliance cases. Revenue collected through enforcement efforts in 2023 totaled over \$397,513.

As part of the implementation of the Town Council's Strategic Priority mentioned above, a portion of the excess TOT revenue was allocated to ensure the long-term health and resiliency of the Town by investing in the Town's reserve funds.

- The Operating Reserve (OR) Fund target is 5% of the Baseline Revenue established in the Reserve Policy at \$30,000,000 (\$1,500,000). The status of the fund is 100% funded to target.
- The Reserve for Economic Uncertainty (REU) target is 20% of the Baseline Revenue established in the Reserve Policy at \$30,000,000 (\$6,000,000). Status of this fund is 100% funded to target.

The Mammoth Lakes Tourism Business Improvement District (TBID) is a benefit assessment district that was developed to help fund marketing and sales promotion efforts for Mammoth Lakes tourism businesses. In 2023, TBID was renewed. The term of the renewed TBID will be in place for five (5) years from September 1, 2023 through August 31, 2028.

A Commercial Cannabis Tax Ballot item was approved by Town Council on February 21, 2018, to include a measure on the June 5, 2018, General Municipal Election ballot. The approved measure read, "To fund general Town core services such as police, recreation, and road maintenance, shall an ordinance be adopted to impose a business license tax of up to 8% for cannabis retail businesses and up to 4% for all other cannabis businesses (cultivation, manufacturing, distribution, testing), to raise an estimated \$99,550-\$261,708 per year, levied until voters change or repeal it." This measure passed in 2018. A total of \$131,183.00 was collected from this tax in 2023, which was an approximately 14% decrease from 2022 (<\$21,241).

The Economy Element includes several implementation items that relate to Mammoth Yosemite Airport (MMH) operations, including seeking Federal funding for airport improvements, upgrading the airport terminal, updating the Airport Master Plan and working with the Federal Aviation Administration (FAA) to evaluate the development of Mammoth Yosemite Airport.

During 2023, there were two capital improvement projects constructed at the airport. The first project was the Automated Weather Observation System (AWOS) Relocation and Upgrade project. Construction began in July 2023 and will be completed in spring of 2024. The scope of work includes relocating the AWOS from its exiting location to a new location further west near the segmented circle and upgrading the equipment. The second project was an emergency fence project to fix the damaged chain link fence surrounding the airfield that was significantly damaged during the 2022/2023 winter season. The main terminal building was remodeled by airport employees and the room that used to house TSA equipment was remodeled into a café. Starting during the 2022/2023 winter season, Advanced Air passengers were checked in at the Airport's main terminal rather than the Fixed Based Operator terminal.

Staff worked with consultants to design the Aircraft Rescue Firefighting Vehicle (ARFF)/Snow Removal Equipment Building project. Design is still underway in 2024, and the project was renamed as the Multipurpose Building to include ARFF and SRE. Design work will continue throughout 2024 with construction anticipated in 2025.

A Request for Qualifications was published for on-call engineering and architectural services for the airport. Statements of qualifications were received, interviews were conducted, and two firms were selected to provide on-call engineering and architectural services to the airport over the next five years.

The Airport Layout Plan (ALP) was completed and accepted by the Federal Aviation Administration (FAA) on February 13, 2023. Staff continues to work with Inyo County, Mono County, Eastern Sierra Council of Governments, Mammoth Lakes Tourism, Caltrans, Federal Aviation Administration, and Hot Creek Aviation, the Airport's Fixed Based Operator (FBO), to enhance regional air service and transportation and the Mammoth Yosemite Airport's amenities and services.

Housing Element

Housing element law requires local governments to adequately plan to meet the existing and projected housing needs of all economic segments of the community and requires all Housing Elements meet the requirements of the California Government Code sections

65583 and 65584. The Town's 6th cycle Housing Element was adopted in 2019 and covers the 8-year planning period of 2019-2027.²

The following summarizes the Town's progress to achieving the programs identified in the adopted Housing Element. A complete summary of the Town's progress for each Action Item identified in the adopted Housing Element is included as Attachment 1, 2023 Mammoth Lakes Hosing Element Annual Progress Report (Table D).

Alignment with Town Council Strategic Priorities

The top Town Council Strategic Priority for 2023 directs staff to, "Expand availability and affordability of community housing." Progress made in 2023 towards this priority and the identified objectives are summarized below:

- Complete construction on Phase 1 (81 units), complete core infrastructure and support development plans for Phase 2 and funding participation (148 units) of the Parcel.
 - Due to weather delays resulting from the historic 2022/23 winter, completion of Phase 1 (The Sawyer) of the Parcel was delayed and will be completed in 2024. Significant progress on the infrastructure was made in 2023 and will be completed in 2024. In December 2023, the developer was successful in obtaining tax credit financing for the initial 76 units of Phase 2 (Kingfisher I) and construction is expected to begin in 2024.
- Implement Housing Now! Initiatives to deliver diverse housing solutions working with private sector and other agencies locally and regionally.
 - Town staff continued to partner with Mammoth Lakes Housing (MLH) on the Bridge Program with the goal of increasing the number of affordable units within the Town through the acquisition of existing market-rate units that are then resold at a reduced affordable price (focus is on missing-middle income households [120%-150% AMI]). As of the end of 2023, six (6) units have been acquired since November 2021 and five (5) units have been resold to income eligible households with a deed-restriction in place.
 - The conversion of the Innsbruck Lodge into a rental affordable housing development began in 2023. The project is largely funded through the State Project Homekey program and is intended to assist those who are experiencing homelessness. When complete, the project will provide 16 apartments (15 affordable and 1 manager's unit).
- Pursue implementation of sustainable funding source(s) for community housing including potential EIFD and in-lieu housing fee increases.
 - As a part of the moratorium on the issuance of new STR certificates, the STR Advisory Committee gave direction to pursue an increase in TOT tax that will be dedicated to housing projects and programs. The ballot measure for the TOT increase would be on the November 2024 ballot.

² The change in the Housing Element update cycle from a 5-year cycle to an 8-year cycle was implemented by <u>CA</u> <u>Senate Bill 375 (SB-375)</u> and is intended to align land use planning for housing with land use planning for greenhouse gas reduction. The RHNA sets local housing and zoning goals to support future growth and these local goals are in turn aggregated into a region-wide Sustainable Community Strategy (SCS) to fairly allocate greenhouse gas emission reduction targets across the region. SB-375 requires consistency between the RHNA and the region-wide SCS, and the consistency is achieved through the implementation of the Regional Transportation Plan (RTP). The <u>Mono County</u> <u>RTP</u> was last updated in 2019, shortly after the adoption of the Town's Housing Element.

- Since 2021, Town Council has allocated approximately \$19M (\$8.1M in 2021, \$5.7M in 2022, & \$5.3M in 2023) towards various workforce housing programs and projects, including the Parcel, small-site development (e.g., 60 Joaquin PUD), the Bridge Program, and partnership projects with MLH (e.g., Access Apartments, Homekey hotel conversion).
- Collect and analyze data on short-term rental compliance with Town codes and impact on local housing market and review Town code for updates.
 - In October 2023, the Town Council adopted a moratorium on the issuance of new Short-Term Rental (STR) certificates in defined zoning areas within the Town. This action was in response to the significant and increasing shortage of housing that is accessible to the local workforce, along with the need to protect the health, safety and welfare that results from the lack of available and affordable housing to the local workforce and residents. As a part of the work program to analyze the impacts of STRs, the Town Council appointed an STR Advisory Committee in November 2023 to provide recommendations to the Town Council intended to alleviate some of the housing issues caused by STRs.

Progress on General Plan Action Items

- Initial planning for "The Parcel" shall be complete and ready to proceed to development and funding through the development of a community-based master plan. (*Action H.1.F.1*)
 - The Parcel Master Plan was adopted by Town Council in January 2021. The updated Master Plan provides the framework for development.
 - The Town Council made a determination that the Parcel was 'exempt surplus land' pursuant to Government Code §54221(f)(1)(A) in April 2021, thereby allowing the Town to enter into a Disposition and Development Agreement (DDA) with the Town's development partner for the project, Pacific West Companies, Inc (PWC).
 - The building permit for Phase 1 (80 affordable units and 1 manager's unit) was issued in May 2022.
 - The parking podium and placement of the Phase 1 modular units was completed in November 2022. Additional work to weather-proof the units and complete the interior and exterior of the units continued throughout 2023 and occupancy of Phase 1 is expected in 2024.
 - The initial 76 units of Phase 2 (Kingfisher I) was awarded tax credit financing in late 2023. Construction is expected to begin in summer 2024.

The Town continued to dedicate funding (including allocation of Transient Occupancy Tax monies) in support of affordable and workforce housing programs (*Action H.2.A.1*). In 2023, the following programs and entities were funded:

- Mammoth Lakes Housing, Inc. (MLH), operating under a contract with the Town, continued to receive funding from the Town to support their work. MLH was established by the Town in 2003 to acquire and develop reasonably priced housing for the resident worker population of Mammoth Lakes, and to manage and facilitate the ownership and rental of such housing. MLH has successfully rehabilitated and preserved numerous income-restricted housing units in coordination with the Town and other organizations such as IMACA.
- The Town has committed approximately \$19M of General Fund dollars towards

housing over the past three years to the following programs and projects:

- Parcel Phases 1 (the Sawyer) and 2 (the Kingfisher)
- Bridge Program (conversion of market-rate to affordable)
- Creative housing solutions (i.e., public/private partnerships, acquisition of employee housing units)
- Small-site affordable housing development projects (i.e., 60 Joaquin Rd)
- MLH's 238 Sierra Manor Road affordable housing project (11 affordable units) and Innsbruck Lodge affordable housing project (15 affordable units / 1 manager's unit)

To assist in the inadvertent loss of deed-restricted units (*Policy H.2.G*), the Town and MLH achieved the following:

- The Town and MLH monitors approximately 65 deed restricted properties on an annual basis.
- The Town continues to maintains a Revolving Loan Fund (RLF) funded at \$1M to assist in buying back existing deed restricted units in an effort to maintain these units and ensure no existing deed restricted units are lost.

The Town and MLH continue to pursue grant funds to support housing programs (*Action H.2.A.2*) and the following grant-related work was completed in 2023:

- The Town and MLH were awarded a \$4.56M Homekey grant for the Innsbruck Lodge Affordable Housing project in 2022 to convert the existing hotel into 16 residential rental units, of which 15 will be affordable to households earning at or below 80% AMI. Construction began in winter 2022 and occupancy is expected in 2024.
- The Town was awarded a \$3M CDBG housing rehabilitation grant and MLH was awarded a \$3.4M HOME grant for the Access Apartments project. This adaptive reuse project will convert two existing commercial buildings into 11 residential rental units affordable to households earning at or below 80% AMI. MLH continued to work on value engineering efforts throughout 2023 to reduce the overall project cost and is hopeful to begin construction in 2024.
- The Town was awarded \$317,184 in CDBG funding allocated by the CARES Act in 2021. The Town initially intended to use the funds for a subsistence payment program (e.g., rental, mortgage, and utility payment assistance) for those financially impacted by COVID-19; however, due to low interest in the program, the Town amended the scope of work to allow for the remaining \$290,000 in funding to go towards the new public park in the Parcel. The park equipment was ordered in 2023 and will be installed in 2024.
- The Town applied for \$500,000 in CDBG grant funding for downpayment assistance in 2022 and received notification of the grant award in 2023. MLH, working as the Town's subrecipient, launched the program in late-2023. The program term is for three years.
- The Town applied for \$490,000 in Permanent Local Housing Allocation (PLHA) grant funding for mortgage assistance to households earning up to 120% AMI in 2022 and received notification of the grant award in 2023. The Town, working together with MLH, will launch the program in 2024.

• Mortgage assistance continues to be provided through the reinvestment of repaid BEGIN, CDBG, and HOME program funds.

In 2023, progress was made on the following work program items intended to increase the supply of workforce housing:

- Construction of the initial 81 units (80 of the units will qualify as affordable housing w/ AMI levels no higher than 80%) for Phase 1 of The Parcel continued in 2023 with occupancy expected in 2024. The developer was successful in being awarded tax credit financing in late-2023 for the initial 76 units in Phase 2 and will begin construction in summer 2024. Future phases will be dependent on acquisition of additional funding.
- Through the Town's Bridge program, six (6) units have been acquired since November 2021 and five (5) units have been resold to income eligible households with a deed-restriction in place. The income restrictions on these units range from 120% -150% AMI and require occupancy by a local workforce household.
- The Town continues to encourage use of SB-35 streamlining (*ministerial approval* of certain housing projects), SB-9 allowances (allowance for residential property owners to split a single-family lot into two lots and/or place up to two units on each residential lot), and State ADU provisions.

In order to ensure accessibility and the provision of equal housing opportunities for all persons, the following was implemented and/or continued in 2023:

- MLH has established a relationship with Bishop Indian Legal Aid services to assist tenants and respond to substandard housing complaints and has setup a legal aid remote workstation in the MLH office. The Town's Code Compliance Officer aids in investigating substandard housing complaints. (*Action H.2.E.1; Action H.5.C.1*)
- The Town continues to process applications at no cost to the applicants for Reasonable Accommodation to provide appropriate relief from development standards to might create a barrier to providing housing for a disabled or special needs person. (*Action H.1.E.3*)
- The Town requires that all new developments and rehabilitations of housing units meet the requirements of Title 24 of the California Code of Regulations (Building Code). (*Action H.6.B.1*)
- MLH and the Town continue to maintain information regarding fair housing practices on their websites and in the offices. (*Action H.5.B.1*)

Additional 2023 housing related highlights:

- The Town continues to implement the mitigation requirements of the Housing Ordinance and the Town collected approximately \$195,000 in Housing Impact Mitigation Fees from the issuance of building permits for 21 residential units, 6 lodging rooms, and 2 service/retail permits.
- The Town and MLH continue to monitor the annual apartment vacancy rate and enforce its condominium-conversion requirements pursuant to Municipal Code Section 17.52.110. Due to the ongoing low apartment vacancy rate (less than 1%), no condominium conversions have taken place in at least the last five years.

REGIONAL HOUSING NEEDS

Table 1 summarizes the Town's progress towards meeting the Town's share of the Regional Housing Needs Allocation (RHNA) for the 2019-2027 Housing Element period.

Year Constructed/Restricted	Extremely Low	Very Low	Low	Moderate	Above Moderate		
RHNA 2019-2027	13	13	30	34	65		
2019	0	0	0	0	23 ²		
2020	0	0	0	0	61 ²		
2021	0	0	0	0	42 ²		
2022	8	8	64	0	46 ²		
2023	2	0	13	0	26 ²		
Total	10	8	77	0	198		
Total Remaining by	3	7	0	34	0		
Income Level			(47 units over the		(133 units over the		
			allocation)		allocation)		

Table 1: 2019-2027 Progress to Meeting RHNA ¹

 1 The State relies on the number of building permits issued, rather than the number of permits completed, to demonstrate progress in meeting the jurisdiction's share of the RHNA for the planning period.

² In years 2019-2023, all of the Above Moderate units permitted were non-deed restricted market rate units.

Over the course of 2022 and 2023, the Town made substantial progress towards meeting the Town's share of the RHNA for the lower income levels with building permits being issued for the first phase of the Parcel development (80 affordable rental units) and the Innsbruck Lodge Homekey project (15 affordable rental units). The units in both of those projects will target households earning between the extremely-low to low AMI levels However, additional efforts will need to focus on the production of housing for moderateincome residents, in order to achieve the Town's fair share of the regional housing needs.

GOVERNMENTAL CONSTRAINTS TO AFFORDABLE HOUSING

The Housing Element is required to analyze and identify potential government constraints to the production of affordable housing, and where possible, identify programs that will help to lessen these constraints. Examples of such constraints are government-imposed fees that contribute to the overall cost of housing production, development standards that make it more difficult or costly to develop, or review processes that add time and cost to housing development proposals.

Although some development standards, such as those for on-site parking, lot coverage, and setbacks may be more stringent than in other communities, they are appropriate in the town's local context, particularly the need to deal with large amounts of snowfall.

The analysis of government constraints found that the Town's permitting, development review, and fees represent actual staff costs and time to process applications and are not unduly restrictive to new residential development. The Town undertook a review of its development impact fees, including housing mitigation in-lieu fees, and as a result lowered fees substantially in 2015. Work began in 2021 on a new Housing Nexus Study and Development Impact Fee study and is expected to be completed in 2024.

The Town of Mammoth Lakes has a Reasonable Accommodation ordinance to help facilitate the construction of special facilities or features for persons with disabilities. The Community and Economic Development Division is committed to reviewing and processing applications for Reasonable Accommodation, at no cost, to provide appropriate relief from development standards that might create a barrier to providing housing for a disabled or special needs person.

Related to the elimination or reduction of government constraints to the production of affordable housing, the Town has completed the following zoning code amendments in recent years aimed at achieving this objective:

- The Town Council adopted an urgency ordinance in 2019 making amendments to the Municipal Code standards for Secondary Dwelling Units ("accessory dwelling units" or "ADUs") to bring the Zoning Code into compliance with the State ADU laws. This amendment to the Zoning Code reduced governmental constraints applicable to building ADUs by further limiting certain development standards and approval requirements. Staff initiated a subsequent amendment in 2020 to the Town's ADUs regulations with the goal of further reducing governmental constraints and improving the clarity and usability of the ADU regulations. This amendment was completed in 2021.
- Town staff completed an update to the Town Density Bonus Program in 2020, which included modifications to the General Plan and Zoning Code. Amendments to the Zoning Code regulations included implementing the revised Town Density Bonus Program and allowing for multi-family residential projects to obtain proportionately greater density bonuses in exchange for deed restricting a greater percentage of the base density units, up to a maximum of twice the base density. This program update reduces governmental constraints by allowing for greater flexibility in the use of the Town density bonus and an allowance for smaller projects to qualify for the program. The minimum project size prior to the update

required a base density of at least five-units and the updated minimum project size allows for projects with a base density of at least two-units to qualify.

The Town initiated a zoning code amendment to implement Senate Bill 9 (SB 9) in December 2021. SB 9 requires local agencies consider certain proposed two-unit projects and lot splits ministerially and allows residential property owners to split a single-family lot into two lots and place up to two units on each resulting lot. SB 9 was signed into law in September 2021 and became effective on January 1, 2022. The Town adopted an urgency ordinance in January 2022 to implement development standards related to SB 9. This amendment to implement SB 9 standards is intended to reduce governmental constraints applicable to building residential units by eliminating and/or reducing certain development standards (e.g., setbacks, density, parking, lot coverage, and height) and approval requirements (e.g., ministerial approval of urban lot splits).

Programs identified in the 2019-2027 Housing Element to reduce governmental constraints to housing production include:

- **Policy H.4.A.** Periodically review and update permit and development fees to ensure that they appropriately reflect the cost of processing applications and providing services to new development, without unduly increasing costs to build housing. The Town is required to conduct annual reviews of development impact fee expenditures, and has a goal of updating the development impact fees every five years.
- **Policy H.4.B.** Consider reduction or waiver of permit and development impact fees for projects that dedicate some or all of their units to affordable housing. Consider waiving development impact fees only when significant impacts (e.g. circulation) can be avoided.
 - Action H.4.B.1. Consider changes to the Development Impact Fee schedule to reduce or eliminate fees for developments in which at least five percent of units are affordable to extremely low-income households. To be eligible for reduced or waived fee, the units shall be affordable by affordability covenant. The waiving or reduction of service mitigation fees may also be considered when an alternative funding source is identified to pay these fees.
- **Policy H.4.C.** Ensure that the Zoning Code continues to meet State Law requirements and does not unduly restrict certain types of housing to be developed. The Town regularly reviews and updates to the Zoning Code to incorporate mandates and other appropriate revisions.
- **Policy H.4.D.** Continue to allow accessory dwelling units by right in all residential zones.
 - Action H.4.D.1. Accessory dwelling units (ADU) can be an affordable housing option and can help meet the needs of many residents in the Town. To ensure consistency with state law (Assembly Bill 2299/Senate Bill 1069 and Assembly Bill 494/Senate Bill 229) and implement community goals, the Town shall review standards and revise as necessary to facilitate the development of ADUs.
 - Action H.4.D.2. Promote development of accessory dwelling units (ADU) by increasing awareness regarding the ability to create accessory dwelling units on single-family residential properties, exploring variances (e.g. side

yard setbacks) to make it easier to fit ADUs on some lots, and establishing a goal for a desired number of ADUs to be built. The Town will also offer incentives to develop ADUs in exchange for long-term rental contracts.

- **Policy H.4.E.** *Periodically review and update Town codes, ordinances, fee programs and procedures to ensure that they do not unduly constrain housing development, while ensuring development impacts are adequately mitigated through development impact fees and/or other appropriate measure(s).*
 - Action H.4.E.1. Continue to monitor the Town's DIF ordinance to assure that impact fees do not create an economic impediment that deters construction of housing needed to meet the Town's Regional Housing Needs Allocation or workforce housing objectives. If an economic impediment is discovered, Council will take appropriate actions to mitigate it.
 - Action H.4.E.2. To address constraints to the availability of long-term rental housing associated with short-term rentals the Town will establish a program identifying methods to mitigate the issue. Components of the program may include waiving fees for illegal short-term rentals owners who commit to restricting their properties as long-term rentals, creating an impact fee levied on short-term rentals that would go towards preserving or creating long-term rental housing, and conducting a nexus study to further study how short-term rentals are impacting the rest of the housing market.
- **Policy H.4.F.** *Prioritize workforce and affordable housing when considering future development proposals relative to Town policies that limit overall population growth.*

Additional information on the Town's progress towards implementing the above-described policies and actions related to governmental constraints to affordable housing is included in Attachment 1, *2023 Mammoth Lakes Hosing Element Annual Progress Report*.

PLANNING APPLICATIONS

The following table summarizes the status of planning applications as of December 31, 2023. A detailed list of application requests is attached to this report (Attachment 2).

Table 2: 2023 Planning Applications

Table 1					
Application Types	Requests	Approved ³	Denied	In Process	
General Plan Amendments (GPA)	0	0	0	1	
District Zoning Amendments (DZA)	0	0	0	1	
Zoning Code Amendments (ZCA)	3	1	0	2	
Use Permit Applications (UPA)	2	1	0	1	
Tentative Tract Maps (TTM)	3	1	0	2	
Tentative Parcel Maps (TPM)	0	0	0	0	
Variances (VAR)	1	0	0	1	
Design Reviews (DR)	6	5	0	4	
Administrative Design Review (ADR)	4	5	0	1	
Lot Line Adjustments (LLA)	1	1	0	0	
Concept Reviews (CR)	1	NA	NA	0	
Adjustments (ADJ)	4	5	0	1	
Administrative Permits (AP)	3	3	0	0	
Time Extension Requests (TER)	0	0	0	0	
Land Donations	0	0	0	0	
Building Permits (BP)	950	922	NA	NA	
Code Compliance Cases (CC)	171	NA	NA	NA	
TOT Compliance Cases	49	NA	NA	NA	
Sign Permits (SP)	16	16	0	0	
Master Sign Plans (MSP)	1	0	0	1	
Tree Removal Permits (TRP)	47	47	0	0	
Outdoor Sales Permit (OS)	0	0	0	0	
Business Tax Certificates (BTC)	337	326	NA	NA	
Film Permits (FP)	7	7	0	0	

³ Approved list includes projects from previous years approved in 2023 by the Director, Planning and Economic Development Commission, or Town Council

LOOK AHEAD - MAJOR PROJECTS IN 2024

The Town of Mammoth Lakes anticipates a busy 2024 completing significant work programs and projects that will further implement the 2007 General Plan and anticipated projects include:

- Process entitlements and the environmental review for the Main Lodge redevelopment project. This multi-year effort will continue in 2024.
- Various hotel entitlement projects within the Commercial zones and North Village Specific Plan (NVSP) area.
- Complete the Parcel Phase 1, which will include 81 units (80 affordable, 1 manager) of housing, childcare space for up to 34 children, community space, and a 0.8-acre park, and begin development of the Parcel Phase II, which will include up to 148 units (*funding dependent*).
- Continue planning the Mammoth Lakes Foundation (MLF) site. Potential uses on the site include a snow pit, child-care facility, dog park, housing, a performing arts center, and parking.
- Continue to pursue the purchase of market-rate units through the Bridge program that will then be resold as affordable deed-restricted units.
- Begin construction on the four-unit residential project on the Town-owned 60 Joaquin Road site. These units will be sold at an affordable deed-restricted price.
- Completion of a Housing Nexus Study and DIF Fee Study update.
- Continued administration of existing housing grants (CDBG, HOME, PLHA, and BEGIN) in conjunction with MLH. The Town and MLH will continue to review and consider additional housing grant opportunities as funding becomes available.
- Launch the Certified Property Program to implement a new approach to the management of STRs that will provide enhanced oversight intended to address various quality of life issues related to STRs. The launch of this program and the associated code amendments will end the STR moratorium that was enacted in late-2023. Along with the new program, additional recommendations by the STR Advisory Committee to address the ongoing housing issues are expected to me made and implemented.
- Continued TOT Enforcement.
- Code Compliance.
- Permit Processing.
- Implementation of grant funded sidewalk and trails projects.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.1.A.1.	Maintain an up to date, GIS-based inventory of potential sites available for future housing development, and provide this information to Mammoth Lakes Housing, Inc. and prospective developers.	On-going	 Contracts w/ GIS coordinator that works for both the Town and Mono County to keep the GIS database functioning and up-to-date. The Town continues to maintain various housing related datasets (deed-restricted unit locations, existing apartments, transient rental locations, and vacant parcels) in a central GIS database and discuss what additional datasets are needed.
H.1.A.2	As part of the annual planning report to the Town Council (including the annual report to HCD on the Housing Element), provide an update on progress to meeting the Housing Element (including units for extremely low-income households), to ensure that adequate sites remain available to meet the RHNA.	On-going	 This table, included with the annual progress report is provided to the State Department of Housing and Community Development on an annual basis, and is the primary way in which the Town reports and tracks its progress towards RHNA. In 2023, the Town made progress towards satisfying our share of the RHNA in the Extremely Low category and issued a permit for additional units in the Low category, for which the Town has already satisfied our RHNA.
H.1.A.3.	Ensure that updates and amendments to existing and future Master Plans and Specific Plans provide development capacity and supporting policy to help meet the Town's housing needs.	On-going	 As master plans and specific plans and updates are processed, the Community and Economic Development Department, Planning and Economic Development Commission, and the Town Council will evaluate and ensure adequate development capacity and policy is included to meet housing needs.
H.1.B.1.	Encourage housing development as part of infill and mixed-use development within the Downtown, Old Mammoth Road, and Mixed Lodging/Residential Commercial Zones, which is allowed by right by the Zoning Code. Outreach to property owners, developers, and brokers to discuss infill and mixed-use development opportunities in these Commercial Zones. This outreach will include identifying, discussing and addressing barriers.	On-going	• The Town's commercial zoning districts allow mixed-use projects and workforce housing as permitted uses and as part of the Zoning Code Update work in 2017 (ZCA 15-002), the Town held numerous workshops and meetings to discuss the potential for mixed-use development and multi-family housing in the commercial zoning districts. The Town continues to discuss development opportunities with property owners and potential developers and encourage the inclusion of housing within commercial projects.
H.1.D.1.	Continue to implement the mitigation requirements of the Housing Ordinance including the requirements for developing Alternate Housing Mitigation Plans (AHMPs).	On-going	 The Housing Ordinance provides a menu of options for developers to choose from to mitigate his/her housing impact. Requirements are outlined for each of those options in the Housing Ordinance. Municipal Code Section 17.136.080 establishes application requirements and approval authority for Alternative Housing Mitigation Plans. In 2022, the Town collected approximately \$196,000 in Housing Impact Mitigation Fees from the issuance of 19 building permits. An additional 4 building permits for residential construction were issued in 2023; however, those permits were exempt from the housing mitigation fees (e.g., ADU construction, Affordable Deed-Restricted Housing).

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.1.E.1.	Continue to apply zoning standards that allow for special needs housing in Mammoth Lakes to ensure continued compliance with state law. These zoning standards and procedures include reasonable accommodation and allowing transitional and supportive housing, emergency shelters, and accessory dwelling units.	On-going	 The Town completed zoning amendments in 2014 to address compliance with state law for emergency shelters, transitional and supportive housing, assisted living facilities, and group living facilities and continue to monitor changes to state law to ensure on-going compliance. The Town is continuing to apply only the residential zoning standards that apply to other residential units in the same zoning district. Reasonable accommodations are made to development standards as requested for persons with disabilities.
H.1.E.2.	Continue to work with the Kern Regional Center to identify any outstanding housing needs for its clients within the Mammoth Lakes community, assist in identifying available housing that meets those criteria, and consider a rental assistance program to fill the gap between income levels and the cost of housing for persons with developmental disabilities. Collaborate with the Center to implement an outreach program that informs residents within Mammoth Lakes on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, posting information about available services on the Town's website, and providing housing- and services-related educational workshops for individuals and families.		 The Town will work with Mammoth Lakes Housing, Inc. (MLH) and Kern Regional Center to accomplish this goal. MLH previously worked with the Center to try and secure funding from the State Department of Developmental Services for their 238 Sierra Manor Road 13-unit low-income apartment conversion project (a non-residential to residential conversion project). They were not successful in obtaining that funding but will continue working with the Center as the project moves forward.
H.1.E.3.	The Town shall continue to ensure individuals with disabilities equal access to housing, pursuant to the rules, policies, and procedures in Chapter 17.80 (Reasonable Accommodation) of the Municipal Code.	On-going	 The Community & Economic Development Department is committed to reviewing and processing applications for Reasonable Accommodation to provide appropriate relief from development standards that might create a barrier to providing housing for a disabled or special needs person. These applications are processes at no cost to the applicants.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.1.E.4	The Town shall review its zoning code to ensure compliance with AB 2162 related to allowing supportive housing. The zoning code will be reviewed to assess whether supportive housing is allowed without discretionary review in all zones that allow multifamily housing or mixed-use development, including nonresidential zones as applicable. If it is determined that the allowed uses in the zoning codes are not in compliance with AB 2162 the Town will revise the allowed uses along with corresponding development standards as detailed in AB 2162.	Sep-2021	 The Town reviewed the Zoning Code requirements applicable to supportive housing, and determined that no changes to the zoning code are necessary to comply with the requirements of AB-2162 since multi-family and mixed-use developments are a permitted use in all of the zones that allow supportive housing type of uses (i.e., no use permit or other entitlement is required for the use) and Municipal Code §17.52.290 specifies that "supportive housing is a residential use and is subject only to those restrictions that apply to other residential uses of the same type in the same zoning district." Staff will develop an application to be used for the Supportive Housing Streamlined Approval process required by AB-2162 to demonstrate that the project meets the eligibility criteria specified in the legislation.
H.1.E.5.	The Town shall review its zoning code to determine whether updates to zoning are needed to comply with the state Employee Housing Act (Health and Safety Code Sections 17021.5 and 17021.6). The Act calls for the Zoning Ordinance to treat employee housing (including farm worker housing) that serves six or fewer persons as a single-family structure and permitted in the same manner as other single-family structures of the same type in the same zone (Section 17021.5). The Zoning Ordinance must also treat employee housing consisting of no more than 12 units or 36 beds as an agricultural use and permitted in the same manner as other agricultural uses in the same zone (Section 17021.6) in zones where agricultural uses are permitted.	Sep-2021	• The Town reviewed the Zoning Code requirements related to the State Employee Housing Act and determined that no changes to the zoning code are necessary to comply with the requirements of this legislation. The Employee Housing Act requires jurisdictions consider housing in an agriculture zone that serves six or fewer persons to be treated the same as a single-family residence (if permitted) and requires housing that consists of 12 units or less, or 36 beds, be considered an agriculture use and be permitted in the same manner (i.e., if a use permit is required for agriculture use, then a use permit is required for the housing use). The only zone that permits agriculture uses is the Open Space zone and a use permit is required for the agriculture use. Single-family residences are not a permitted use in this zone and therefore, the requirement to consider housing for six or fewer persons a single-family residence is not applicable. Housing consisting of 12 units or less, or 36 beds, would require a use permit since agriculture uses require a use permit and would be subject to the same requirements as the agriculture use since the use is considered to be the same. Therefore, no changes to the zoning code are necessary to comply with this requirement.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation										
H.1.F.1.	.1. Seek funding to continue the planning process for The Parcel site and process	. Seek funding to continue the planning	5		 Prior to 2023, the Town completed, or made substantial progress towards the completion of, the following Planning processes related to the Parcel: 								
	entitlements for the planned development. Continue to engage the community during		(1) Issued the building permits for Phase 1 of the project in May 2022, which includes 80 affordable units and 1 manager's unit.										
	the master planning process. Housing should be developed on The Parcel during the housing element planning period.		(2) Completed the parking podium and placement of the Phase 1 modular units in November 2022. Occupancy of Phase 1 is expected in fall 2023.										
			(3) Approval of a tentative map in May 2022 to subdivide the site into 14 lots for future affordable housing uses and 3 lots for open space, parks, and public street dedications										
			(4) Approval of the Phase 2 design review entitlement for 148 units (146-147 affordable units and 1-2 manager's units) in June 2022										
			In 2023, the Town completed, or made progress on, the following Planning and/or Building processes:										
			(1) Continued construction on Phase 1. The target occupancy date is mid-2024 for the initial 81 units.										
													(2) Were awarded tax credit financing for Phase 2.2 in December 2023. This will fund the construction of 76 units. The Town's development partner, PWC, continued to apply for funding for Phase 2.2 (72 units).
			The Town has been successful in the following grant applications specific to the Parcel:										
			(1) \$38.6 million in Housing Accelerator funding for construction costs (awarded January 2022).										
			(2) \$20.6 million in Infill Infrastructure Grant funding which is intended to fund infrastructure related to affordable housing production and will help fund the necessary infrastructure for the project.										
				(3) \$65,000 in Local Early Action Planning (LEAP) grant funding which will be used for costs related to the Master Plan update.									
			(4) \$290,000 in CDBG CARES Act funds which will be used for the Parcel Park.										
			(5) \$30M in tax credit funding for Phase 2.2 construction costs awarded in December 2023.										
			(6) \$32M in tax credit funding for Phase 1 (allows for the refinancing of the Housing Accelerator funds to be used for Phase 2.1) awarded in December 2023										
			• The Town will continue to seek additional funding sources for the project, including, but not limited to, grants, LIHTC, and tax exempt bonds, and loans.										
H.2.A.1.	H.2.A.1. Continue to dedicate appropriate funds to fund affordable and workforce housing programs, and the work of Mammoth Lakes Housing, Inc., the Town, and other groups to meet housing needs.	On-going	• The annual dedication of TOT revenues to fund housing programs is 0.85 points (of 13 points).										
			• In addition to the dedicated TOT revenues, the Town provided, or allocated, approximately \$30M over the past five years to the following housing projects and programs:										
			(1) Creative housing solutions (i.e., public/private partnerships, conversion of units);										
			(2) Small-site affordable housing development (i.e., 60 Joaquin Rd, 377 Manzanita Rd, 362 Chaparral Rd);										
			(3) MLH's 238 Sierra Manor Road 13-unit low-income apartment conversion project;										
			(4) Bridge program (conversion of market-rate to affordable units);										
			(5) Parcel phases 1 and 2; and										
			 Innsbruck Lodge Affordable Housing Homekey Project (conversion of the existing hotel into 15 affordable units and 1 manager's unit). 										

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.2.A.2.	Continue to pursue available grant funds, in cooperation with Mammoth Lakes Housing, Inc. and other partners, to support and facilitate the provision of workforce housing and housing affordable to lower income households. In particular, the Town will seek State and Federal funding specifically targeted for the development of housing affordable to extremely low-income households.	On-going	 The Town and MLH continue to pursue grant funds to support housing programs and regularly review and respond to NOFAs at they are released. The Town applied for, or were awarded, the following housing related grants in 2023: Awarded a CDBG Housing Rehabilitation grant for the Access Apartments project in the amount of \$3M in November 2022. MLH was successful in acquiring an additional \$4.2M from the HOME program for the project. Awarded a \$500K CDBG grant for mortgage assistance in July 2023. Awarded \$490K in Permanent Local Housing Allocation (PLHA) grant funds in June 2023 for mortgage assistance to households earning up to 120% AMI. Awarded approximately \$60M in tax credit bonds and tax exempt financing for the Parcel Phases 1 and 2.2 Repaid first-time homebuyer (FTHB) loans from various grant programs (e.g., BEGIN ReUse, HOME, CDBG) continue to be reinvested into new FTHB loans.
H.2.A.3.	The Town will work with MMSA on a pilot program to develop a model policy for employers to provide first and rental deposit which would be re-paid through payroll deduction. Outreach efforts will be made with employers to provide education and to gather information to help create the program.	12/1/2024	 Not yet started. Implementation of this pilot program is expected within the next 2-5 years. The Town will work with MLH and Mammoth Mountain Ski Area (MMSA) to accomplish this action.
H.2.A.4.	The Town will gather research and data to support a program that builds upon the existing Homebuyer Assistance program through Mammoth Lakes Housing, Inc. to assist moderate and middle-income households, up to 200% AMI with down payment assistance or assistance with second mortgages. The Town will also work with employers to assist employees and learn from existing employers with current programs (MMSA, Water District, MLH assistance).	Dec-2020; On-going	 The Town, with a recommendation from MLH, funded a missing-middle loan program in 2019 with \$101,000 to provide a minimum of two low-interest deferred payment loans to households earning between 81-120% AMI. This program has not been successful and is currently on-hold while the Town considers various options for how to best leverage the funds. One reason for this programs lack of success is the high price of market-rate housing. The high prices create a gap between what the local workforce can afford and the market-rate prices, and the gap is too large to be closed by the downpayment assistance program on its own. The Town's Bridge program aims to assist in closing the affordability gap by acquiring existing market-rate units and reducing the sales price to an affordable price for households earning 120%-150% AMI. Since the launch of the Bridge program, five units have been sold to eligible households, of which two have received downpayment assistance using BEGIN ReUse funds and Town funds for the purchase of the units. An additional unit was purchased in 2023 and will be marketed for sale to an eligible household in 2024.
H.2.A.5.	Continue to explore placing a dedicated local tax initiative on the ballot in Mammoth Lakes to fund affordable housing. If passed the tax would provide a dedicated local funding source for affordable housing.	Postponed due to COVID	 The Town was considering a ballot measure for the November 2020 general election to increase the TOT amount by 1% to be used specifically for affordable housing, but due to the unknown long-term economic impacts associated with COVID-19, the ballot measure was postponed. The Town imposed a moratorium on the issuance of new short-term rental (STRs) certificates in 2023 to provide an opportunity for staff to study the impacts of STRs on the community. An outcome of that research was the identification of the need for a dedicated local funding source for workforce housing and staff has been directed to place a ballot measure on the November 2024 general election ballot for an increase in the TOT amount by up to 2% that will be committed to workforce housing. However, the Town Council continues to commit unallocated TOT revenue towards housing.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation														
H.2.A.6.	The Town will work to maintain the affordability of mobile homes in Mammoth Lakes by looking for funding sources for improvement of mobile homes and mobile home parks. The Town will reach out to mobile home park owners to look for ways that they can work together to maintain mobile homes as an affordable housing type in Mammoth Lakes.	On-going	 The Town has previously been awarded grant funding intended for rehabilitation (\$700,000 In 2017 CDBG funds) but had limited success in finding eligible households and the grant expenditure period ended in 2021. The Town continues to work with MLH and mobile home park owners to maintain mobile homes as an affordable housing type and to look for additional funding sources for the rehabilitation of mobile homes. 														
H.2.D.1.	As part of implementing the Community Housing Action Plan, work with affordable	On-going	• Action strategies addressing the conversion of existing units to ownership or rental opportunities for the workforce were included in the Community Housing Action Plan: Live, Work, Thrive (CHAP).														
	housing developers to acquire and renovate units that can be added to the workforce housing inventory. Program creation will include an evaluation of program costs, benefits, and opportunities.		 In 2021, the Town and MLH launched the Bridge program aimed at acquiring existing market-rate units that are then resold to local workforce households at an affordable price (120%-150% AMI). The program was launched in November 2021 and has been successful in acquiring eight (8) units as of March 2024. Of those, five (5) have been sold to income qualified households and MLH continues to work on selling the other units. Staff continue to look for additional units for the program. 														
																	 MLH continues to make progress towards construction of their 238 Sierra Manor Road 13-unit low-income apartment conversion project. The Town and MLH were awarded \$7.2M in grant funding for the project from the HOME and CDBG programs and the Town and Mono County have committed an additional \$2.7M towards this project. MLH is hopeful to begin work on this project in 2024. The target occupancy date is spring 2025.
		ent be Cor • ML into	 The Town purchased a vacant 0.20-acre site in 2021 and completed the procurement process to bring on a design-build entity in 2022. The site is proposed to be developed with a 4-unit planned unit development (PUD) in which the units will be sold at an affordable price with a deed-restriction in place to ensure the long-term affordability of the units. Construction begin in 2023 and will be completed in 2024. 														
				 MLH and the Town were successful in a Homekey grant award for the acquisition and conversion of the Innsbruck Lodge into a 16-unit affordable rental project (15 affordable units and 1 manager's unit). Acquisition was completed in August 2022 and construction began in late-2022. The target occupancy date is spring 2024. 													
H.2.D.2.	As part of implementing the Community Housing Action Plan, explore the possibility of instituting a long-term rental housing inspection program to ensure proper maintenance and safety of tenants in long- term rentals in Mammoth Lakes.	TBD	• Not yet started. Implementation of the long-term housing inspection program is expected within the next 2-5 years.														

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.2.E.1.	As part of implementing the Community Housing Action Plan, which includes the Community Housing Action Plan and the Housing Needs Assessment completed in 2017, continue to implement potential strategies to incentivize and encourage upgrades of existing multi-family rental properties, and how code enforcement techniques may be improved and used to correct building violations that pose a threat to residents' safety or wellbeing.	On-going	 The Town and MLH are working to build relationships with multi-family rental property owners to encourage them to upgrade and maintain their rental properties. The Town's Code Compliance officer and MLH have been active in investigating substandard housing complaints and working with the property owners to remedy the situation. MLH has established a relationship with CA Indian Legal Aid service to assist tenants and has setup a legal aid remote workstation in the MLH office. MLH previously hosted a series of free landlord-tenants' rights workshops to assist in educating owners and tenants of their rights.
H.2.E.2.	Establish a landlord/tenant matching program to increase opportunities for seasonal employees to stay year-round. Could also include a job matching component.	7/1/2019; On-going	 In 2019, the Town committed \$149,000 to fund a pilot program with the Chamber of Commerce to establish a workforce housing program that aims to connect renters with rental owners / homeowners with rooms to provide housing. The Town and MLH serve on the Chamber's committee for this program and provide guidance as the program develops. The Town is reviewing a proposal from Placemate (previously Landing Locals) to facilitate this program on behalf of the Town and provide subsidies to landlords to lease to tenants. The proposal will be considered by the Town Council in 2024
H.2.G.1.	As part of implementation of the Community Housing Action Plan, work with Mammoth Lakes Housing, Inc., study and develop procedures that will avoid the inadvertent loss of deed-restricted units, including: Development of priorities for a rental deed restriction instrument. Development of a more effective monitoring program for existing deed restricted units, including a system of enforcement and penalties for illegal conversion of deed-restricted units.	Dec-2021; On-going	 The Town previously sent letters to the 25 deed-restricted properties that the Town is tasked with monitoring to determine whether the units are in compliance with the existing deed-restrictions. Through this outreach, the Town was made aware of seven properties (7) where the deed restrictions had been previously rescinded for various reasons and are continuing to work with the owners of the remaining properties to ensure compliance. In addition to the Town monitored units, MLH monitors approximately 40 additional deed-restricted units and annually monitor the occupancy. Other improvements related to the enforcement of deed-restricted units include: (1) An updated deed restriction instrument has been implemented that helps to alleviate some issues encountered with previous versions; and (2) a Revolving Loan Fund using a portion of the Town's Housing Mitigation Fee Fund has been successfully used to buy back deed restricted units.
H.2.G.2.	Continue to work with Mammoth Lakes Housing, Inc. and the Revolving Loan Fund (RLF) to assist in buying back existing deed restricted units in an effort to maintain these units. Explore the expansion of funding limits on the RLF and other appropriate funding sources in an effort to help ensure no existing deed restricted units are lost.	On-going	 The Revolving Loan Fund is used annually to buy back deed restricted units. One 200% AMI deed-restricted unit was purchased using the RLF in 2022 and was resold at a 150% AMI price in early-2023. The additional deed-restricted units created under the Bridge program are eligible for assistance from the RLF should there be a need to buy back the unit in the future to ensure it remains affordable.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.2.H.1.	Use the results of the 2017 Housing Needs Assessment conducted by Mammoth Lakes Housing, Inc. to create a program aimed at increasing the supply of housing for winter and summer seasonal employees, including cooperative efforts with MMSA and other major local employers to house their employees.	On-going	 In 2023, the Town made progress on increasing the supply of housing available to the workforce through the implementation of the following programs and projects: (1) continued work efforts for the development of the Parcel (occupancy of the initial 81-units representing the first phase of development is expected in spring 2024); (2) worked with developers to utilize the Town Density Bonus Program aimed at removing barriers to the development of workforce housing by allowing for more flexible development standards; (3) implemented the Bridge program in partnership with MLH aimed at increasing the supply of workforce housing by purchasing market-rate units that are then converted to affordable ownership units; (4) maintained the inventory of TOML employee housing units (six units); and (4) completed the program guidelines and development standards for SB-9 projects (two-lot subdivisions and duplex construction) which could create smaller, affordable-by-design units on residential lots throughout the community. MLH continued to work towards construction on their 238 Sierra Manor Road 13-unit low-income apartment conversion project and began construction on their 16-unit Homekey hotel-to-residential conversion project.
H.4.B.1.	Consider changes to the Development Impact Fee schedule to reduce or eliminate fees for developments in which at least five percent of units are affordable to extremely low-income households. To be eligible for reduced or waived fee, the units shall be affordable by affordability covenant. The waiving or reduction of service mitigation fees may also be considered when an alternative funding source is identified to pay these fees.	2024-2025	 Not yet started. The Town began work on the update to the DIF and Housing Fee Nexus Study in 2021 and expect to complete the update in 2024. After that work is completed, changes to the DIF schedule to reduce or eliminate fees for various affordable housing projects will be analyzed to determine the impact those changes would have.
H.4.D.1.	Accessory dwelling units (ADU) can be an affordable housing option and can help meet the needs of many residents in the Town. To ensure consistency with state law (Assembly Bill 2299/Senate Bill 1069 and Assembly Bill 494/Senate Bill 229) and implement community goals, the Town shall review standards and revise as necessary to facilitate the development of ADUS.	Dec-2019; On-going	 The Town updated its ADU ordinance to be consistent with the amendments to State law related to ADUs that were adopted as part of the State's 2019 housing bill package in late-2019 and completed a subsequent amendment in 2021 to clarify conflicting and/or confusing code language and improve the usability of the ADU regulations by clearly articulating the requirements for each type of ADU. The Town continues to monitor changes to state law to ensure on-going compliance and review the Town's regulations to ensure they are easy to understand and implement. A minor amendment to the ADU regulations was completed in 2023 to implement changes in State ADU laws that went into effect in January 2023.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.4.D.2.	Promote development of accessory dwelling units (ADU) by increasing awareness regarding the ability to create accessory dwelling units on single-family residential properties, exploring variances (e.g. side yard setbacks) to make it easier to fit ADUs on some lots, and establishing a goal for a desired number of ADUs to be built. The Town will also offer incentives to develop ADUs in exchange for long-term rental contracts.	Dec-2024; On-going	• These program components were included in the CHAP. The Town continues to work on the development of a program to incentivize ADU creation and implementation of the program is expected within the next 2-5 years.
H.4.E.1.	Continue to monitor the Town's DIF ordinance to assure that impact fees do not create an economic impediment that deters construction of housing needed to meet the Town's Regional Housing Needs Allocation or workforce housing objectives. If an economic impediment is discovered, Council will take appropriate actions to mitigate it.	On-going	• An updated DIF schedule was adopted in 2015, which resulted in lower fees for all projects and an update to the DIF ordinance was adopted in 2019, which reduced the DIF fees for small units by classifying studio and 1-bedroom units as a half unit for the purposes of calculating DIF fees. Additionally, DIF fees for ADUs are calculated in accordance with State law and ADUs that are less than 750 sq. ft. are exempt from DIF fees and ADUs that are equal to or greater than 750 sq. ft. are charged an amount proportionate to the square footage of the primary dwelling unit. Staff continues to monitor the DIF fees and began work on the update to the DIF and Housing Fee Nexus Study in 2021. The update is expected to be completed in 2024.
H.4.E.2.	To address constraints to the availability of long-term rental housing associated with short-term rentals the Town will establish a program identifying methods to mitigate the issue. Components of the program may include waiving fees for illegal short-term rentals owners who commit to restricting their properties as long-term rentals, creating an impact fee levied on short-term rentals that would go towards preserving or creating long-term rental housing, and conducting a nexus study to further study how short-term rentals are impacting the rest of the housing market.		• Not yet started. Implementation of the program is expected within the next 2-5 years.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.5.B.1.	Provide information regarding fair housing practices at the Town of Mammoth Lakes offices and website, the Mammoth Lakes Community Center and Library, and the Mono County offices located in Mammoth Lakes.	On-going	 This information continues to be provided and is available through both the Town and MLH websites and at the respective offices. MLH previously hosted a series of free legal aid clinics in 2019 which covered Fair Housing.
H.5.C.1.	Continue the process for addressing Fair Housing inquiries and complaints, including referral of complaints concerning deed- restricted units to Mammoth Lakes Housing, Inc. and other complaints to the California Department of Fair Housing and Equal Opportunity. As part of the process, the Town shall investigate potential partnerships with rural or other fair housing organizations that may be able to provide additional resources to the Town. The Town will ensure that information regarding the Town's process of addressing complaints is included in the public information distributed regarding fair housing practices (Action H.5.B.1).	On-going	 The Town and MLH established a process to address fair housing complaints and inquiries in 2014 and continue to implement this process. MLH has established a relationship with CA Indian Legal Aid service to assist tenants and has setup a legal aid remote workstation in the MLH office.
H.6.B.1.	The Town will continue to enforce the California Green Building Standards Code, Title 24, Part 11 of the California Code of Regulations (CALGreen).	On-going	The Town is enforcing the California Building Code requirements.
H.6.C.1.	Continue to coordinate with Inyo Mono Advocates for Community Action (IMACA) and Mammoth Lakes Housing, Inc. to increase the number of weatherization retrofits and other upgrades of owner occupied and non-transient rental housing units in Mammoth Lakes. The Town will work together with IMACA and Mammoth Lakes Housing, Inc. to apply for CDBG or other grant funding to conduct retrofits. Additional strategies to accomplish this may include development of an informational flyer or brochure, posting information on the Town's website, and direct outreach to property owners.	On-going	 The Town previously had CDBG grant money and loan funding available for the rehabilitation of income-eligible households (restricted to households earning 80% AMI or below); however, that grant ended in 2021. The Town will continue to work with IMACA and MLH to fund weatherization retrofits and other eligible improvements and apply for additional grant funding.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation				
GENERAL COM	MENTS						
The Town of Mar	nmoth Lakes continues to make progress towards	meeting the goals	and objectives identified in the Housing Element and highlights of 2023 include:				
and entirely restr	• The Town continued to dedicate extensive staff time and funding towards the development of "The Parcel." The "Parcel" site was purchased by the Town in 2018 and is a significant 25-acre property centrally located in the Town and entirely restricted for workforce housing uses. Ground-breaking on the initial 81 units (80 units affordable to households earning ≤80% AMI) occurred in November 2021 and significant work was completed in 2023 with a target occupancy date of spring 2024. Funding for Phase 2.2 (76 units) was awarded in December 2023 and construction is expected to begin in June 2024. The Town and its development partner continue to look for additional funding for the subsequent phases.						
The Town conti	• The Town continues to commit unallocated TOT funds towards affordable workforce housing program and projects, in addition to the annual dedication of 0.85 points (of 13 points) in TOT revenues towards housing programs.						
• Assuming all pr	Assuming all projects stay on schedule, the Town will have an additional 104 units of workforce housing by the end of 2024 with an additional 89 units under construction.						

Attachment 2: Detailed List of Application Requests

The following summarizes the status of applications that have been submitted or approved during the period of January 1, 2023 - December 31, 2023.

- A. Adjustments -
 - 1. ADJ 22-007: 262 Hillside Drive Allow vehicle parking the front yard setback and public right-of-way; Approved 1/25/2023
 - 2. ADJ 22-009: 111 North Street Allow vehicle parking in the front yard setback; Approved 5/8/2023
 - 3. ADJ 23-001: 60 Joaquin Road Allow vehicle parking in the front yard setback; Approved 6/14/2023
 - 4. ADJ 23-002: 428 Ridgecrest Drive Allow a 20% reduction of the front yard setback; Approved 6/22/2023
 - 5. ADJ 23-003: 11 Trails End Road Allow a 20% reduction of the street side yard setback; Approved 6/27/2023
 - 6. ADJ 23-004: 1344 Tavern Road Reduction to the front yard setback for new Town Civic Center; Ongoing at the end of 2023
- B. Administrative Design Reviews -
 - 1. ADR 22-003: 480 Fir Street New single-family residence in the Bluffs Subdivision; Approved 6/15/2023
 - 2. ADR 22-005: 64 Juniper Road New single-family residence in the Juniper Ridge Master Plan Area; Approved 3/17/2023
 - 3. ADR 23-001: 245 Le Verne Street New single-family residence in the Bluffs Subdivision; Approved 8/16/2023
 - 4. ADR 23-002: 145 Le Verne Street New single-family residence in the Bluffs Subdivision; Ongoing at the end of 2023
 - 5. ADR 23-003: 3293 Main Street Re-paint permit; Approved 10/24/2023
 - 6. ADR 23-004: 129 Center Street Re-paint permit; Approved 11/2/2023
- C. Administrative Permits
 - 1. AP 23-001: Café Crepe Mobile vendor permit; Approved 3/23/2023
 - 2. AP 23-002: 490 Commerce Circle Allow industrial storage use with a caretaker housing unit; Approved 8/7/2023
 - 3. AP 23-003: Mammoth Sauna Company Mobile vendor permit; Approved 12/13/2023
- D. Building Permits A total of 950 building permits were applied for in 2023 and 922 building permits were issued .
- E. Business Tax Certificates A total of 337 business tax certificates were applied for in 2023 and 326 were approved.

- F. Concept Reviews/Planning Services Review -
 - CR 23-001 6060 Minaret Road Development of a five-story, resort condominium use within the North Village Specific Plan area; Completed in 2023
- G. Design Review -
 - 1. DR 22-005: 185 Sierra Park Road Hospital parking lot improvements; Approved 2/8/2023
 - 2. DR 22-006: 156 Commerce Drive 1,500 square foot prefabricated structure utilized as a garage/warehouse; Approved 3/6/2023
 - 3. DR 22-007: 1300 Airport Road Mammoth Yosemite Airport Aircraft Rescue and Fire Fighting Equipment Building; Approved 1/10/2023
 - 4. DR 23-001: 60 Joaquin Road Design review of a 4-unit affordable housing project; Approved 6/14/2023
 - 5. DR 23-002: 185 Sierra Park Road Proposed 5,000 square foot prefabricated structure utilized as a garage/warehouse/storage space; Ongoing at the end of 2023
 - 6. DR 23-003: 490 Commerce Circle Design review of an industrial storage use with a caretaker housing unit; Approved 8/7/2023
 - 7. DR 23-004: 540 Old Mammoth Road Proposed commercial building; Ongoing at the end of 2023
 - 8. DR 23-005: 126 Old Mammoth Road Proposed renovation of existing Mammoth Mall; Ongoing at the end of 2023
 - 9. DR 23-006: 1344 Tavern Road Proposed Town Civic Center; Ongoing at the end of 2023
- H. District Zoning Amendments -
 - 1. DZA 22-001: Mammoth Mountain Main Lodge Redevelopment; Ongoing at the end of 2023
- I. Film Permits Seven (7) Film Permit applications were processed in 2023
- J. General Plan Amendments -
 - 1. GPA 22-001: Mammoth Mountain Main Lodge Redevelopment; Ongoing at the end of 2023
- K. Interpretation Requests No Interpretation Requests were processed in 2023
- L. Lot Line Adjustments
 - 1. LLA 21-006: 1573 and 1585 Majestic Pines Drive A lot line adjustment to merge two parcels in the Residential Single-Family Zone; Approved 12/1/2023
- M. Master Sign Plans -
 - 1. MSP 23-001: 164, 202, and 248 Old Mammoth Road Master Sign Program for the Outbound Hotel; Ongoing at the end of 2023

- N. Outdoor Sales Permits No Outdoor Sales Permits were processed in 2023
- O. Sign Permits –16 sign permits were processed in 2023
- P. Tentative Tract Maps
 - 1. TTM 23-001: 60 Joaquin Road 4-unit affordable housing development; Approved 6/14/2023
 - TTM 23-002: 1 Fairway Drive Proposed condominium subdivision for lots 1-3 of final map for Snowcreek VIII; Ongoing at the end of 2023
 - 3. TTM 23-003: 6060 Minaret Road Development of a five-story, resort condominium use within the North Village Specific Plan area; Ongoing at the end of 2023
- Q. TOT Compliance Cases- 171 TOT compliance cases were initiated in 2023
- R. Tree Removal Permits 47 tree removal permit applications were submitted in 2023. Some tree permits included multiple trees, and many trees were removed for fuel reduction purposes to provide defensible space around residences and other structures. Other trees were removed because they were dying or deemed hazardous by a certified arborist.
- S. Use Permit Applications -
 - 1. UPA 23-001: 60 Joaquin Road Allow Town Density Bonus Program for a 4-unit affordable housing development; Approved 6/14/2023
 - 2. UPA 23-002: 1574 Old Mammoth Road Proposed AT&T Cell Tower; Ongoing at the end of 2023
- T. Variances -
 - VAR 23-001: 13 Davison Road Reduction of the front and rear setbacks to allow construction of a new single-family residence; Ongoing at the end of 2023
- U. Zoning Code Amendments -
 - 1. ZCA 23-001: ADU, childcare and landscaping ordinance; Approved 4/19/2023
 - 2. ZCA 23-002: Sign ordinance update; Ongoing at the end of 2023
 - 3. ZCA 23-003: Lodging use cleanup; Ongoing at the end of 2023



TOWN OF MAMMOTH LAKES

ANNUAL PLANNING REPORT

January 1 – December 31, 2024

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Approved by:

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Date: May 7, 2025

INTRODUCTION AND PURPOSE

California Government Code Section 65400(a) requires local planning agencies to: "Investigate and make recommendations to the legislative body regarding reasonable and practical means for implementing the general plan or element of the general plan, so that it will serve as an effective guide for orderly growth and development, preservation and conservation of open-space land and natural resources, and the efficient expenditure of public funds relating to the subjects addressed in the general plan."

An annual report including the following information is required to be prepared and submitted to the Mammoth Lakes Town Council, Governor's Office of Land Use and Climate Innovation (LCI)¹, and the CA Department of Housing and Community Development (HCD) each year:

- 1. The status of the general plan and progress in its implementation;
- 2. The Town's progress in meeting its share of the regional housing needs;
- 3. Local efforts to remove governmental constraints to the maintenance, improvement, and development of housing; and
- 4. The degree to which the Town's approved general plan complies with the State General Plan Guidelines and the date of last revision to the general plan.

In addition to the above-listed required information, the Community and Economic Development Department has included additional content in this report that is locally relevant including planning activities, programs, and permits.

The purpose of this report is to inform the Town Council and the community of Mammoth Lakes about the status of implementing the General Plan, housing issues, and development in Mammoth Lakes. The report should be used to identify what necessary adjustments, if any, should be made to further implement the General Plan in the upcoming year.

This report summarizes the planning activities for the Town of Mammoth Lakes from January 1 to December 31, 2024.

¹ Effective July 1, 2024, the California Governor's Office of Planning and Research (OPR) was renamed to the Governor's Office of Land Use and Climate Innovation (LCI).

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ATTACHMENTS

- 1. 2024 Mammoth Lakes Housing Element Annual Progress Report Table D
- 2. Detailed List of Planning Applications

EXECUTIVE SUMMARY

The Town of Mammoth Lakes 2024 Annual Planning Report was prepared by the Town of Mammoth Lakes Community and Economic Development Department in accordance with California Government Code Section 65400. This report was presented to and accepted by the Mammoth Lakes Town Council on May 7, 2025. The 2024 Annual Housing Element Progress Report (Attachment 1) was previously submitted to the State Department of Housing and Community Development (HCD) and the Governor's Office of Land Use and Climate Innovation (LCI) on April 1, 2025.²

This report summarizes the measures and actions associated with the implementation of the Town's General Plan elements with specific reference to each of the individual elements required by State law. These elements include Land Use, Circulation, Conservation, Open Space, Noise, Safety, and Housing. The Town's General Plan addresses all the required elements and includes several optional elements that address specialized local objectives and priorities. The organization of the Town's General Plan elements differ slightly from the State's standard in how they are titled and organized.

During the 2024 planning period, the Town continued to make progress towards implementation of the General Plan through the completion of long-range planning projects that carried over from 2023, and work on both long-range and current projects that were initiated in 2024.

In December 2023, the Town Council established the 2024 Council strategic priorities and key objectives for the ensuing year.³ The strategic priorities build off the 2007 General Plan Vision Statement and are intended to establish and guide staff work programs to further the implementation of that vision. The strategic priorities identified during the workshop formed the basis for strategic investment and allocation of limited time and financial resources during the 2024 planning period. The four primary Strategic Priorities that were adopted, based largely upon the values identified in the 2007 General Plan Community Vision Statement, are:

- 1. Investment in Community Focused Projects
- 2. Enhance Sustainability & Diversity of Local Businesses & Tourism Economy
- 3. Environmental Resiliency by Proactive planning and Project Implementation
- 4. Implementation of Enhanced and Required Municipal Services

Accompanying the four strategic priorities are focused objectives that could feasibly be accomplished within the projected 12-month period. Accomplishments for the 2024 planning year are discussed throughout this report.

² Per the Governor's Office of Land Use and Climate Innovation (LCI) General Plan Annual Progress Report Guidance memo dated 1/30/2025, submission of the Housing Element APR to HCD counts as submission to both HCD and LCI. ³ Prior 'Strategic Priority and Key Objective Statements' were approved by the Town Council in 2014, 2016, 2018, 2021, and 2022.

2007 GENERAL PLAN

State General Plan Guidelines

The Town of Mammoth Lakes General Plan was last comprehensively updated in 2007, and includes eleven elements that guide development, conservation, and land uses within the Town. The elements of the General Plan encompass the seven elements required by State law, as well as several optional elements adopted by the Town to address issues of local importance and concern. The eleven elements of the Town's General Plan, along with name references to the State required elements, are:

- 1. Economy (*Optional*)
- 2. Arts, Culture, Heritage and Natural History (*Optional*)
- 3. Community Design (*Optional*)
- 4. Neighborhood and District Character (*Optional*)
- 5. Land Use (*State Required Element: Land Use*)
- 6. Mobility (*State Required Element: Circulation*)
- 7. Parks, Open Space and Recreation (*State Required Element: Open Space*)
- 8. Resource Management and Conservation (*State Required Element: Conservation / Open Space*)
- 9. Public Health and Safety (*State Required Element: Safety*)
- 10. Housing (State Required Element: Housing)
- 11. Noise (*State Required Element: Noise*)

The 2007 Town of Mammoth Lakes General Plan did not include updates to the Housing, Parks and Recreation, or Noise Elements. The status of those elements is described below:

- The Parks and Recreation Master Plan (PRMP) was comprehensively updated in 2012 (GPA 12-001), thereby replacing the previous 1990 Parks and Recreation Element. *A comprehensive update of the PRMP is scheduled to begin in 2025.*
- The Mobility Element was comprehensively updated in 2016 (GPA 15-002), thereby replacing the 2007 Mobility Element.
- The Housing Element is comprehensively updated on a schedule established by the State and the following updates have occurred since 2007 covering the specified planning periods:
 - o 2007-2014 Housing Element (GPA 10-002)
 - o 2014-2019 Housing Element (GPA 13-002)
 - 2014-2019 Housing Element Amendment (GPA 15-001)
 - o 2019-2027 Housing Element (GPA 19-001)
- The Public Health and Safety Element was comprehensively updated in 2019 to address wildfire hazards and incorporate climate adaptation strategies (GPA 19-001).
- The Noise Element (1997) is still in effect and will be updated when feasible (GPA 97-2).

In addition to the above comprehensive updates, the Town Council has made several policy decisions regarding implementation and resulting in minor amendments to the

General Plan. These include: (1) the 2009 PAOT/PIEC Policy; (2) the 2009 adjustment to the Urban Growth Boundary in response to the adoption of the Snowcreek Master Plan Update 2007; (3) the 2014 Zoning Code Update; (4) the 2014 elimination of the CBIZ Policy; (5) the 2016 updates to the General Plan and Zoning Code to implement a floor area ratio (FAR) standard and update the General Plan Mobility Element; (6) the 2017 General Plan Amendment to increase the allowed uses in the Institutional Public (IP) land use designation to allow for a wider range of housing uses to support the allowed institutional uses (e.g., schools, college, hospital, government agencies, etc.) and to allow for the proposed Mammoth Arts and Cultural Center and Wounded Warrior Center projects to be located on properties owned by Mammoth Lakes Foundation; and (7) the 2020 General Plan Amendment to implement the Town Density Bonus Program to encourage the development of workforce housing.

A summary of all the General Plan Amendments that have been approved since 2007 is available here: <u>https://www.townofmammothlakes.ca.gov/DocumentCenter/View/9571</u>.

Key Efforts and Challenges in Implementing the General Plan

The following key efforts were accomplished in 2024 to implement the General Plan:

- The Town Council adopted the 2024 Strategic Priorities and Key Objectives in December 2023 to identify the focus areas for the upcoming year. The priorities and objectives build off of the General Plan Vision Statement and placed an emphasis on "Investing in our Community Quality of Life through Economic, Environmental, and Financial Sustainability."
- Since 2021, Town Council has allocated approximately \$24M (\$8.1M in 2021, \$5.7M in 2022, \$5.3M in 2023, & \$4.8M in 2024) towards various workforce housing programs and projects, including the Parcel, small-site development (e.g., 60 Joaquin PUD), the Bridge Program, and partnership projects with Eastern Sierra Community Housing (ESCH) (e.g., Access Apartments, Homekey hotel conversion).
- The voters passed Measure L in the November 2024 election to increase the TOT tax by two percentage points (raised to 15%). The ballot measure was passed as a General Tax; however, in January 2025 the Town Council committed 100% of the increased TOT revenue to housing projects and programs. The increase became effective in January 2025 and is estimated to raise ~\$2.5M annually. The increase will sunset after 10 years, unless extended by the voters.
- The Sawyer, or Phase I of The Parcel, was completed in summer 2024 and the 81 units were fully occupied in December 2024. All the units, with the exception of the manager's unit, are occupied by local households earning between 30% 80% AMI (equates to \$23,000 \$60,000 for a household of 2). The childcare space, community space and 0.8-acre park were also completed as part of Phase 1. Grading and site work for Phase II (the Kingfisher) began in summer 2024 and will provide an additional 76 affordable rental units when completed. The Town celebrated a ribbon cutting at the Sawyer and Parcel Park and a groundbreaking for the Kingfisher in August 2024.
- Town staff continued to partner with Eastern Sierra Community Housing (ESCH) (formerly Mammoth Lakes Housing) on the Bridge Program with the goal of increasing the number of affordable units within the Town through the acquisition of existing market-rate units that are then resold at a reduced affordable price

(focus is on missing-middle income households [120%-150% AMI]). Five (5) additional units were acquired in 2024 and three (3) were sold, bringing the total number sold to eight (8) units.

- The Town's initial small-site development project located at 60 Joaquin Road was largely completed in 2024. The project includes the development of two duplex structures containing a total of four residential units that will be 'for sale' units available to households earning up to 150% AMI. The units are expected to be listed for sale in early 2025.
- The conversion of the Innsbruck Lodge into a rental affordable housing development began in 2023. The project is largely funded through the State Project Homekey program and is intended to assist those who are experiencing homelessness. When complete, the project will provide 16 apartments (15 affordable and 1 manager's unit). ESCH is the developer, owner, and future operator of the project. Six of the units were completed in May 2024 and the remaining units will be completed in early 2025.
- ESCH's Access Apartments project began construction in July 2024. The adaptive reuse project will convert two existing commercial buildings into 13 affordable apartments. The project was awarded additional funding from the Town and the State CDBG program in 2024, which allowed for ESCH to forgo the previously awarded HOME grant. This allowed the project to target higher AMIs and six of the 13 apartments will be available to households earning up to 120% AMI, while the remaining units will be available to households earning up to 80% AMI.
- The Town launched a -year pilot program in July 2024 with Placemate to operate the Lease to Locals program. The programs aims to connect tenants with property owners who wish to lease their properties on a seasonal (5-11 months) to longterm (12+ months) basis in exchange for a financial incentive from the Town. The incentive is in addition to the rental revenue that the owner will collect.
- Work continued on the Main Lodge Redevelopment project which encompasses a complete redevelopment of the Main Lodge ski area facilities. This is anticipated to be a multi-year process. Work completed in 2024 focused on the environmental review (CEQA and NEPA) and drafting of the Specific Plan. The applicant continued to work through issues related to evacuation route planning, the potential relinquishment of State Route (SR) 203, and the environmental review (CEQA/NEPA) process. Work on this project will continue in 2025 and beyond.
- Phase 1 of the Community Recreation Center project was completed. This project provides an enclosed Olympic-sized ice facility in the winter (LA Kings Ice at Mammoth Lakes) and a multi-sport recreation facility in the summer (Mammoth RecZone). In the fall of 2024, the Town Council formally closed-out phase I of the CRC and awarded the Phase II contract. The Phase II improvements represent a \$1.8M investment in the facility and includes facility-wide rubber flooring, new staff offices and locker/meeting room, admission counters, custom elevated bleachers for installation above the locker rooms, an ADA lift and stairs, netting, exterior lighting, and chiller sound mitigation. Work is expected to be completed in the summer of 2025.
- Development of the Mammoth Lakes Foundation (MLF) property began in 2024 while master planning for the entire site continued with land uses consisting of a dog park, child-care facility, performing arts center (MACC), parking, housing, and snow storage. The initial development phase of the MACC consisting of the

repurposing of the Edison Theater to support the larger MACC project, began in 2024. The larger MACC project is anticipated to begin in 2025.

- Construction of the dog park began in 2023 and was officially opened by the Town Council in November 2024 with a ribbon cutting event. The total project cost was approximately \$950,000, which was partially funded by a \$50,000 T-Mobile grant. The 1-acre facility provides a fenced area with separate big and small dog areas, a public restroom, and parking.
- The Main Street Landscaping project was completed in 2024. The Main Street Landscaping project included installation of irrigation facilities, light earthwork, and in-ground planting of native drought-tolerant trees and plants on both sides of Main Street between Mountain Boulevard to just east of the Main Street-Old Mammoth Road intersection. The total project cost was \$735,000.
- The entitlements for the new Town of Mammoth Lakes Civic Center Project located at 1344 Tavern Road were approved in February 2024. The proposed Civic Center project consists of a 2-story, 19,337 square-foot municipal office building that will serve as the new Town Administrative offices. Construction began in 2024 and is anticipated to be completed in late-2026. \$1.9M in funding for the design came from the American Rescue Plan Act (ARPA) and construction of the project is being funded by municipal bonds (\$27 Million).
- In 2024 the Town and Mammoth Lakes Recreation (MLR) began implementing improvements at the Sherwin Meadows Trailhead to help protect resources and provide an enhanced user experience. The creation of the new and improved Sherwin Meadows Trailhead is underway and will provide infrastructure for user groups. Restrooms, trash facilities, a bike tool station, interpretive and wayfinding signage, a bear box, a poo fairy station, and an avalanche beacon checker will all be available. The project is anticipated to be completed in 2025.
- Town financially supported the Whitebark Institute of Interdisciplinary Environmental Sciences (Whitebark) to assist in the development and implementation of the initial phase of a 58,000+/- hazardous fuels reduction project referred to as the Eastern Sierra Climate and Communities Resilience Project (ESCCRP).
- The Mammoth Yosemite Airport (MMH) was nominated for both the Most Innovated Airport and Most Improved and Top General Aviation Airport at the Federal Aviation Administration (FAA) Western-Pacific Region Airports Conference in June 2024. The airport was nominated for the Most Innovated airport in the Western-Pacific Region since MMH was the first to achieve compliance with Aircraft Rescue Fire Fighting (ARFF) and Polyfluoroalkyl Substances (PFAS) mitigation.
- The Town's first e-bike ordinance was signed in December 2023 and provides the Mammoth Lakes Police Department (MLPD) with the ability to enforce speeding or reckless E-bike driving on the Town MUP's. To support e-Bike safety, the Office of Outdoor Recreation (OOR) introduced a new e-bike hosts program to engage with the eBike community and educate about biking etiquette. Six new "speed measuring devices" were installed along the MUPs along with painted stewardship and use messaging directly onto the paths.
- An ordinance was introduced in December 2023 to prohibit single-use plastic water bottles within the Town. The first phase went into effect on January 1, 2025 and prohibits the use, sales or distribution of single-use plastic water bottles of 500ml or less at Town-affiliated events. Phase 2 will go into effect on January 1, 2026

and will prohibit any business from selling or distributing single-use plastic water bottles of 500ml or less within the Town.

- An ordinance was introduced in July 2023 to ban Styrofoam food containers in response to AB 1276 (Single-Use Foodware Accessories and Standard Condiments). The ordinance became effective on January 1, 2024 and the Town has been actively working with the business community on compliance. As of the end of 2024, the majority of businesses within the Town had stopped using Styrofoam food containers.
- In an effort to enhance public safety, the MLPD coordinated the installation of eight Automatic License Plate Recognition (ALPR) cameras throughout town. The cameras are intended to greatly assist in the response, apprehension, and investigation of criminals and can also assist in evacuation planning by capturing real-time vehicle counts.
- The moratorium on the issuance of new Short-Term Rental (STR) certificates ended in March 2024 with the introduction of a Certified Properties program. The program is a new approach to the management of STRs that will provide enhanced management intended to address various quality of life issues related to STRs. Aside from the implementation of the Certified Properties program, the moratorium resulted in several recommendations to the Town Council from the STR Advisory Committee including: (1) a ballot tax measure to fund housing programs (e.g., Measure L); (2) a rental subsidy program (e.g., Lease to Locals); (3) a housing down payment purchase program (not yet implemented or developed); and (4) consideration of zoning changes to the RMF-2 zoning designation.

The primary challenges encountered while furthering the goals of the General Plan include:

 Competing, necessary, and unanticipated priorities, as well as State mandates influence staff time spent on approved work programs, and do not always directly align with the General Plan Implementation Program items that are typically used to gauge progress towards implementing the General Plan. Funding limitations also make it necessary to prioritize specific projects and objectives for Town work programs.

Land Use Elements

Three elements in the 2007 General Plan address land use. These elements are Land Use, Community Design, and Neighborhood and District Character.

Land Use Element

The Land Use Element states: "An overarching principle of the community is to maintain the town's compact urban form, protect natural and outdoor recreation resources, and prevent sprawl."

Zoning Code Updates

The Town's Zoning Ordinance is consistent with the Land Use Element of the General Plan and it is implemented through the day-to-day application of the Zoning Ordinance. The Town's most recent comprehensive Zoning Code Update (ZCU) was adopted in 2014. Since that time, numerous Zoning Code Amendments have been processed. In 2024, the

Town began working on a zoning code amendment to implement (1) recent changes in State laws for ADUs, SB-9 projects, and landscaping requirements (WELO); (2) clarify small accessory structure (i.e., shed) requirements; and (3) codify requirements for condo-hotel uses. The amendments are expected to be finalized in 2025.

Workforce Housing Development

Land Use Element Goal L.2 directs the Town to "Substantially increase housing supply available to the workforce" and Policy L.2.C states "Rehabilitate existing housing and build new housing for workforce housing.". The 2024 Town Council Strategic Priority to "Invest in Community Focused Projects" along with the objective to "continue implementation of the Town's Housing Now! initiative programs to deliver a mix of community housing opportunities" aligns with this General Plan Goal and Policy. The following workforce housing projects were underway in 2024, which upon completion will substantially increase the workforce housing supply. The recent Town efforts to build new housing and rehabilitate existing housing to increase the workforce housing supply resulted in a 95 unit increase in the workforce housing supply as of the end of 2024, with an additional 27 units expected to be completed in early-2025.

<u>The Parcel</u>

The purchase of the "Shady Rest" parcel was determined to be a near-term action strategy in the 2017 Mammoth Lakes Community Housing Action Plan (CHAP). In an effort to implement the Community Housing Action Plan and facilitate the development of workforce housing as directed in General Plan Land Use Policy L.2.C, the Town purchased the +/- 25 acre "Shady Rest" parcel and escrow closed on the property in March 2018. The CHAP defined a near-term action strategy to pursue a community process of master planning the "Shady Rest" parcel (now referred to as The Parcel). In December 2019, Town Council accepted the Preferred Conceptual Land Use Plan that proposed up to 450 affordable workforce housing units. In January 2021, the Parcel Master Plan was approved by the Town Council, which established the regulatory framework for the build-out of the 25-acre site as an affordable housing development with up to 580 workforce housing units. Following the adoption of the Master Plan, a use permit authorizing double the site's base density (*allows up to 580 units*) pursuant to the Town's density bonus provisions was approved in February 2021.

Phase 1 of the Parcel project (The Sawyer) created 81 units of workforce housing (80 affordable and 1 manager's units) consisting of studio, 1-bedroom, 2-bedroom, and 3-bedroom units. The entitlements were approved in February 2021, grading and site work began in fall 2021, and the Phase 1 building permit was issued in 2022 with construction beginning shortly after. Construction of the Sawyer was completed in summer 2024 and the 81 units were fully occupied as of December 2024. Other components of the Phase 1 project include the street and sidewalk network for the entire project providing connections to Tavern Road, Center Street, and Chaparral Road, transit shelters, a childcare facility for up to 34 children, and a public park incorporating a new National Demonstration Site 5-12 year old playground, climbing dome, pavilion, picnic area, and a public restroom.

Phase 2 (The Kingfisher) consists of 148 units (146 affordable and 1-2 manager's), which will be separated into two phases. Kingfisher 2.1 will consist of 76 units while Kingfisher 2.2 will have 72 units. In 2023, the Town and its development partner, Pacific West Communities, were successful in securing approximately \$30M from state

and federal funding sources to begin construction of Kingfisher 2.1. Tree removal for the entire Phase 2 site was completed in fall 2023 and construction on Kingfisher 2.1 began in summer 2024. The estimated completion date is fall 2026 and the units will be available to households earning between 30%-80% AMI. The Town's development partner continues to pursue funding options for Kingfisher 2.2.

Phase 3 of The Parcel will be an ownership phase with approximately 50 units that will be available to households earning up to 200% AMI. Staff have been working with the developer in 2024 to refine their plans for Phase 3 and expect an entitlement application in 2025.

Small Site Development - 60 Joaquin

The Town's initial small site development project, 60 Joaquin, began construction in 2024 and will be completed in early 2025. The project will provide four (4) workforce housing units that will be deed-restricted to households earning up to 200% AMI. An interest list for the units will be generated in early 2025 and the potential buyers of the units will be selected through a lottery process.

Innsbruck Lodge Homekey Project

The conversion of the Innsbruck Lodge into a rental affordable housing development began in 2023. When completed, it will provide 16 workforce housing apartments (15 affordable and 1 manager's unit) consisting of studio and 1-bedroom units. Six of the units were completed in May 2024 and the remaining units will be completed in early 2025.

Access Apartments Adaptive Reuse Project

The adaptive reuse project will convert two existing commercial buildings into (13) 1bedroom affordable rental units. Construction began in July 2024 and the target completion date is summer 2025.

<u>Bridge Program</u>

The Town's Bridge program aims to convert existing market-rate housing units into deed-restricted affordable ownership units through the provision of a cash subsidy in exchange for deed-restricting the unit to the target AMI group. Since 2021, a total of eight (8) units have been deed-restricted and sold to income eligible households. ESCH, working on behalf of the Town, are working to sell an additional four (4) units and are continuing to look for additional units to increase the supply of workforce housing.

Main Lodge Redevelopment

Following the completion of the land exchange with the USFS in 2020, Mammoth Mountain Ski Area (MMSA) began the planning process for the future redevelopment of the Main Lodge property. The project consists of the redevelopment of approximately 35 acres of privately owned land at the base of the Mammoth Mountain Ski Area Main Lodge area (land exchange parcels) and the entitlements are expected to take multiple years to complete due to the scale and complexity of the Project. After a concept review took place in 2021, preparation of the required environmental documents (CEQA and NEPA) began in 2022 and a Notice of Preparation (NOP) for the Draft Environmental Impact Report (DEIR) / Environmental Impact Statement (EIS) was released in November 2022. Work on the joint EIR/EIS continued in 2024. The applicant is currently reviewing the scope of the project and a revised scope is expected to be submitted in 2025.

Snowcreek VIII

The master plan for the 222-acre Snowcreek VIII development site allows for up 790 residential dwelling units, a 250 room resort hotel, 150 private residential club units, up to 75,000 square feet of non-residential uses, and an expansion of the existing 9-holw golf course into an 18-hole golf course. The Snowcreek Master Plan Update was approved in 2009 and the developer has been working to implement the project since. In addition to the Master Plan, the developer also entered into a development agreement with the Town in 2010 to vest the entitlements for the Snowcreek VIII development site and provide certain community benefits to the Town for a 20-year term.

In September 2024, the entitlement for the initial phase of development was approved to allow for a condominium subdivision (i.e., "airspace subdivision") consisting of 172 for sale condominium units in 41 building (two-, three-, four-, and six-plex buildings); however, construction has not begun.

Staff also worked on an amendment to the Snowcreek Development Agreement in 2010 to extend the term of the development agreement and provide additional community benefits for the Town. A series of workshops were held with the Town Council and Planning and Economic Development Commission related to the proposed amendment and the public hearing for the amendment is expected to occur in early-2025.

Other Large Planning Projects Submitted, Completed, or Underway in 2024

- Outbound Hotel Phase 1 (164 Old Mammoth Road): Rehabilitation of the existing Sierra Nevada Lodge and the addition of 30 resort cabin units. The project also included an Alternate Housing Mitigation Plan (AHMP) to allow the project to satisfy its affordable housing mitigation requirements by converting an existing portion of the hotel into three affordable units with seven bedrooms that will be restricted to employees of the hotel making 80% or below AMI. The project required an amendment to the Clearwater Specific Plan (CSP) to allow the interim development of the site to occur while still preserving the allowances granted to the larger Old Mammoth Place project. *Entitlement submitted in November 2021 and approved in February 2022; Construction was underway in 2023 and continued into 2024 with an expected completion in Spring 2025.*
- Outbound Hotel Conversion (164 Old Mammoth Road): The conversion of 20 newly constructed hotel "villas" into condominium-hotel units that may be sold individually. *Submitted in October 2024.*
- Town of Mammoth Lakes Civic Center (1344 Tavern Road): A 2-story, 19,337 square-foot municipal office building that will serve as the Town Administrative offices. *Entitlements submitted in December 2023 and approved in April 2024. Construction began in 2024.*
- Limelight Hotel (Corner of Canyon Blvd and Lake Mary Rd): 151-room hotel and 15 for-sale residential units. *Concept Review submitted in November 2020 followed by entitlement application in February 2022; Approved in May 2022; Construction was underway in 2023 and has continued through 2024 with a target completion date of fall 2025.*
- Villas III (101 Callahan Way): 33-unit planned unit development within the Lodestar at Mammoth Master Plan area. *Submitted in February 2021 and approved in May 2022: Construction was underway in 2023 and has continued through 2024.*

- The Outpost (126 Old Mammoth Road): Renovation of the existing 2-story Mammoth Mall building to improve the existing commercial building consisting of restaurant, retail and office uses. *Submitted November 2023 and approved April 2023. Construction was underway in 2023 and continued through 2024 with expected completion in 2025.*
- Rockspring (6060 Minaret Road): A 5-story Resort Condominium development with a total of 198 rooms within 118 residential condominium units. *Submitted December 2023 and approved in April 2024.*
- Mammoth Hospital Expansion (185 Sierra Park Road): construction of a two-story 60,788 square foot hospital wing replacement building for acute care and outpatient services. *Submitted October 2024.*

Urban Growth Boundary

Land Use Goal L.6 directs the Town to maintain its Urban Growth Boundary (UGB) to ensure a compact urban form, prevent sprawl, protect natural and outdoor recreational resources, and monitor development in terms of build-out in the General Plan. In Accordance with General Plan Land Use Policy L.6.E (*National Forest lands that are exchanged into private ownership will be included within the UGB whether or not they are contiguous with the UGB*), the Town continues to monitor and coordinate with Mammoth Mountain Ski Area (MMSA) regarding its Land Exchange with the U.S. Forest Service which was completed in March 2020.

Community Design Element

The Community Design Element states: "Our community is set within the forest; trees and the natural landscape are prominent and create a sense of scale and strong aesthetic." The intent statement for this element states that Mammoth Lakes will develop as a village in the trees, and that development will be planned to visually connect with the natural surroundings by accentuating existing Jeffrey pine forest and manzanita/sage scrub and meadows. The Community Design Element also provides direction for the creation of public spaces and improvements to streetscapes.

Policy C.2.B. of the Community Design Element directs the Town to maximize opportunities for public spaces that support community interaction, including performance and arts spaces, and child activity centers through public-private partnerships.

One of the four Town Council Strategic Priorities for 2024 is "Investment in Community Focused Projects" and a specific objective identified under this priority is to complete community facilities to enhance programs and services including, community recreation center (CRC), performing arts venues, childcare, and parks. In accordance with this objective, the Town formally closed-out Phase I of the CRC project in the fall of 2024, and awarded the Phase II contract. The Phase II project represents a \$1.8M investment in the facility and includes facility-wide rubber flooring, new staff offices and locker/meeting room, admission counters, custom elevated bleachers for installation above the locker rooms, an ADA lift and stairs, netting, exterior lighting, and chiller sound mitigation. The CRC is the major recreation amenity at Mammoth Creek Park West that includes a new mobility hub with parking for up to 118 vehicles along with electric vehicle charging stations and access to the Town's trail and transit systems. Mammoth Creek

Park West includes a 7,700 square foot inclusive playground and will also include a future natural play area.

The Town continued to work on the future development of the Mammoth Arts and Cultural Center (MACC) in 2024 and worked through a series of design revisions on the project to ready the project for construction in 2025.

Goal C.3. of the Community Design Element calls for the Town to provide safe and attractive public spaces, including sidewalks, trails, parks and streets. To implement the policies and actions of this element, the Town continues to work on projects that will create significant public spaces and incorporates the oversight of an Advisory Design Panel (ADP) and/or Planning and Economic Development Commission Design Committee to review site design, building massing and architecture of proposed development projects. In 2024, the Design Committee met six (6) times to review eight (8) projects. The ADP met three (3) times to review two (2) projects.

Neighborhood and District Character Element

The Neighborhood and District Character Element states: "To enhance the unique character of Mammoth Lakes, development of individual sites and districts must be carefully planned...the community's overall mix and composition of land uses, housing, employment, lodging and amenities should be considered in the planning of each district."

In 2024, the Town continued to apply the Town wide Neighborhood District Planning document, which integrates all the neighborhood district plans into a single comprehensive document. The Town wide document continues to facilitate the overall planning and implementation of specific policies and actions contained in the individual district plans. The comprehensive 2014 Zoning Code Update codified the recommendations of the Neighborhood District Plans into development and land use standards to facilitate implementation.

Circulation Element – Mobility Element

An update to the Mobility Element of the 2007 General Plan was adopted by Town Council in December 2016. The intent statement for the element states "The Mobility Element establishes the Town's goals, policies, and actions necessary to achieve a progressive and comprehensive multi-modal transportation system that serves the needs of residents, employees, and visitors in a way that is connected, accessible and safe." Public Works projects underway in 2024 that implement the Mobility Element are described below.

The Public Works and Engineering Work program for 2024 aligned with the 2024 Town Council Strategic Priority of "Investment in Community Focused Projects" and "Enhance Sustainability & Diversity of Local Businesses & Tourism Economy". The Council's objectives included the following:

• Implement connections and development of "mobility hubs" – including EV stations, Restrooms, & MUPs, transit, & trail connectivity with added amenities (Walk, Bike, Ride Concepts).

• Invest in beautification of primary business frontages and supporting services (i.e., animation, parking, snow management & associated Downtown Revitalization Concepts).

Streets

The Town was awarded a federal grant to complete a Townwide Safety Action Plan (SAP). The Plan will meet the requirements of the Safe Streets and Roads for All (SS4A) and Highway Safety Improvement Program (HSIP) programs to allow the Town to be eligible for future implementation funding for both grant programs. The purpose of this award is to improve roadway safety by significantly reducing or eliminating roadway fatalities and serious injuries through safety action plan development or projects focused on all users, including pedestrians, bicyclists, public transportation users, motorists, personal conveyance and micromobility users, and commercial vehicle operators. Work on this plan will occur in 2025.

While designing the Minaret Multi-use-path (MUP), staff and the Town's consultant, Kimley-Horn, discussed the possibility of a roundabout at the intersection of Minaret and Meridian. The design would eliminate the generally unnecessary traffic signal and improve safety for pedestrians and golfers, and will better incorporate the future MUP. Funds have been allocated for this effort and secured. A contract to complete the design will be awarded in 2025.

The Town road crew provided stop gap and seasonal maintenance of the Town's streets, signs, and drainage systems. This included restriping, replacement of damaged signs, and clearing the Town's culverts and dry wells. Additionally, the Town continued replacing all street name signs with MUTCD compliant signs.

Every year Town staff completes road condition assessments of streets and MUPs throughout Town. The assessments are entered into an asset management software program known as Street Saver. Street Saver then produces results showing which roads have a high or low PCI (Pavement Condition Index). Staff use the software to run various reports and scenarios based on both PCI and available funds to prioritize which streets are the highest priority and need to receive maintenance. The results are then confirmed in the field by both Engineering and the Street Maintenance Department. During the Fall of 2023, Staff went through this process to develop the scope of work for the 2024 project, which ultimately resulted in the following segments of roads and MUPs being reconstructed in 2024:

- Kelley Road
- Silver Tip Lane
- Monterey Pine Road from Majestic Pines Drive to Silver Tip Lane
- Majestic Pines Drive from Monterey Pine Road to NE End
- Mono Street
- Dorrance Drive From Joaquin Road to Manzanita Road
- Multi-use Paths
 - Main Street North Side MUP from 203 North of OMR to Mammoth Lakes Welcome Center
 - Old Mammoth Road MUP from Waterford Avenue to Minaret Road
 - Mammoth Creek Park West MUP near the CRC

The contract also included striping and pavement markings of all the reconstructed roads. This is typical of such a contract, but one benefit of this scope was that it reduced the scope of work for the Public Works Road crew this summer. The road crew stripes and marks all roads every summer due to the heavy wear and tear of snow removal operations. By allowing a contractor to stripe all the roads within the scope of this project, it created opportunity for the road crew to complete several other special projects. The contracted striping and markings were completed efficiently and cost effectively.

The analysis in the fall of 2023 resulted in the following streets being selected for slurry seal treatments. The purpose of a slurry seal is to rejuvenate asphalt with bituminous material, provide a coating that protects cracks from water, and give the road a smoother, finished surface. A Type II seal uses aggregate as large as 1/4" and provides enough thickness to hold up to the heavy snow removal machinery that town roads see every winter. A contract was awarded in May 2024 and work was completed on the following streets over the summer:

- Minaret Road
- Chateau Road
- Old Mammoth Road from Minaret Road to Club Drive
- Meridian Boulevard
- Azimuth Drive
- Canyon boulevard
- Forest Trail

The Reds Meadow Road project was bid in late 2022 and awarded in January 2023 to Herback General Engineering. Due to the large winter in 2022/2023, the contractor was not able to begin working on the project until mid-summer in 2023 which resulted in there being a need to catch-up during summer 2024. To accommodate this, access restrictions were implemented throughout summer 2024 which severely limited access to weekends only. The contractor did make significant progress on the project in 2024 and it is anticipated that the project will be substantially completed in 2025.

Mobility Projects

The Town bid and awarded a contract to construct a new community dog park. An important aspect of this facility is a parking lot that supports the new dog park along with the adjacent trail head and community facilities. The free parking includes a public restroom and access to transit. This project was completed and opened to the public in 2024.

Pedestrian Facilities and Trails

Kimley-Horn, under contract by the Town, completed plans and specifications for a new MUP along the entire length of Minaret Rd. The separated 12-foot wide asphalt path will traverse Town north to south and connect existing MUP infrastructure on Lake Mary Rd and Old Mammoth Rd. The Town advanced the project by programming \$3M in STIP funding to finance the construction of the project. Construction of this project will begin in 2026.

Mammoth Lakes Recreation (MLR) was awarded a grant to complete the trail head on Sherwin Creek Rd. MLR is partnering with the Town to manage the construction contract. The project was completed in late 2024.

A few years ago, staff began working with Caltrans on a continuation of the Lakes Basin Trail along Main Street. The new segment coined the South Main MUP would connect to the existing MUP's at the Main Street intersections of Minaret and Callahan. Design work will start in 2025; however, construction funds have not yet been identified.

Air Service

Advanced Airlines provided flights to Mammoth Yosemite Airport (MMH) from Carlsbad (CLD) and Hawthorne - LA (HHR) during winter and summer months and United Airlines provided flights to Eastern Sierra Regional Airport (BIH) in Bishop from San Francisco (SFO) during winter and summer months and from Denver (DEN) in winter months. Mammoth Yosemite Airport supported other aviation flights and training such as general aviation, firefighting, medivac, search and rescue, military, and utility company inspections.

During 2024, the Town completed the Automated Weather Observation System (AWOS) Relocation and Upgrade capital improvement project. Construction began in July 2023 and was substantially completed in September 2024. The scope of work included relocating the AWOS from its exiting location to a new location further west near the segmented circle and upgrading the equipment.

The airport, working with engineering consultants, made progress on updating the Pavement Maintenance Management Plan (PMMP) which will be completed in 2025. The airport received a Federal Aviation Administration (FAA) grant for the PMMP Update.

The airport received bids for the General Aviation (GA) and Terminal Area Parking Lot Reconstruction Project and received an FAA grant in August 2024. Construction of the parking lot is scheduled for spring 2025. The scope of work includes reconstruction of the existing asphalt, concrete sidewalk improvements, drainage improvements, and installation of solar lighting.

Staff worked with consultants to redesign the Multipurpose Building to include Aircraft Rescue Firefighting Vehicle (ARFF) and Snow Removal Equipment (SRE). The construction of phase I site work, including an access road and relocation of Taxiway A3, is going out to bid in spring 2025, with construction likely to occur spring of 2026. The phase II site work and the building design is planned for completion in summer of 2025 and the project will likely go out to bid early 2026.

In September 2024 the airport hosted a Statewide Medical and Health Exercise in conjunction with the airport's Triennial Full-Scale Exercise required by the Federal Aviation Administration (FAA). The training included multi-agency collaboration, response concepts of operations, triage and tracking, medical response, medivac coordination, and firefighting. The organizations included hospitals, healthcare infrastructure, Mammoth Yosemite Airport, local fire departments and EMS, Inyo and Mono OEM, public health, and law enforcement with 166 people participating.

The airport purchased a new tractor and mower deck to improve mowing efficiency. The new tractor and mower deck will increase the amount of area that is able to get mowed each year while freeing up staff time for additional work items, since the old mower was 5 feet wide and the new mower is 15 feet wide. The airport purchased additional snow wedge tires for snow removal equipment so that chains will not be required. Using snow wedge tires rather than chains will preserve the airfield asphalt surfaces and prevent rapid deterioration.

Staff continues to work with Inyo County, Mono County, Eastern Sierra Council of Governments, Mammoth Lakes Tourism, Caltrans, Federal Aviation Administration, and Hot Creek Aviation, the Airport's Fixed Based Operator (FBO), to enhance regional air service and the Mammoth Yosemite Airport's amenities and services.

Public Transit

The Town continues to contract with Eastern Sierra Transit Authority (ESTA) to provide community transit services, which are funded with committed Transient Occupancy Tax revenues and dedicated transit funding. These services provide over 15,000 service hours annually. Throughout 2023, ESTA and the town met to discuss how transit could better serve the Old Mammoth neighborhood, the future residents of the Parcel, the Community Recreation Center and improve and simplify route coverage. As a result of these efforts, a new set of routes modifying the existing purple line and establishing a new teal line using the recently constructed Woodmen turnaround were implemented. The revised route was in service for all of 2024.

Open Space Elements

Adopted by Town Council on February 1, 2012, the Parks and Recreation Master Plan (PRMP) assists in implementing the Parks and Recreation element and is the first step towards creating a system of parks and recreation facilities to serve the recreational needs of Mammoth Lakes' residents and visitors. Specified in the PRMP, the parks and recreation vision is to "provide multi-purpose, year-round, indoor and outdoor recreation opportunities accessible to all residents and visitors."

The fundamental purpose of the Parks and Recreation Department is to deliver local residents and visitors with high-quality recreation facilities and diverse programming that promotes excitement, individual expression, exploration, pleasure, challenge and accomplishment that can lead to an improved quality of life. By providing opportunities for these interactions and connections to occur, the department is directly contributing to the development of strong families, social equity, an enriched quality of life and most importantly, a healthy and vibrant community.

2024 Strategic Priorities and Key Objectives

The evolution of the Department's strategic priorities to a one-page format similar to the Town Councils Strategic Priorities and Key Objectives Statement in 2023 provided clear, concise and explicit direction for staff and the department. The development of the Department's 2024 Strategic Priorities is a refinement of the 2023 Strategic Workplan that adjusts to reality, departmental accomplishments and realistic goals and objectives incorporated from the Commission, Parks and Recreation staff and the Town Manager.

Accepted by the Parks and Recreation Commission in February 2024, the Strategic Priorities and associated goals have been critical in providing clear direction for the

delivery of the department's vision and mission. The plan has also been beneficial in guiding the Commission's interaction and engagement with Mammoth Lakes Recreation, the community, and Town Council as it pertains to the powers and duties of the Parks and Recreation Commission (<u>Chapter 2.36</u> of the Town's Municipal Code).

Core Strategies

The four core strategies for 2024 were as follows:

- A. Maintain and Enhance the Town's Recreation Infrastructure
- B. Deliver High-Quality, Innovative, and Affordable Recreation Programming
- C. Strengthen Organizational Systems, Structures and Operations
- D. Build Capacity, Teamwork and Recruit and Retain the Best.

Primary Areas of Focus

The "Core Program Areas" introduced in 2022 continue to provide intentional focus for the department in developing and delivering scalable and sustainable recreation programs aligned with the resource capacity and capabilities of the Parks and Recreation Department. They are as follows:

- A. Youth Teen/Camps and Programs
- B. Community Recreation Center (CRC) programs and activities
- C. Adult Activities
- D. Facility operations and maintenance
- E. Community events

NEW Community Recreation Center

Since the Community Recreation Center (CRC) officially opened to the public in November 2023, the facility has been a game changer for the community providing community-centric recreation programs, events and activities. In its first full year of operations, the CRC welcomed over 40,000 people!

The new indoor *LA Kings Ice at Mammoth Lakes* realized significant growth, particularly in our established youth, co-ed adult and rapidly growing women's hockey programs. Curling also experienced strong participation with a sold-out league of 13 teams allowing just under 100 people to learn to curl. The highlight of the curling calendar was hosting the California Curling Championships in April 2024. It was gratifying to see the community fully embrace the facility by purchasing all the available dasherboard sponsorship spaces around the rink. The Town also welcomed the Los Angeles Department of Water and Power (LADWP), Mammoth Disposal and Snowcreek Resort as major sponsors of the CRC. In the summer, the ice rink was transformed into a 20,000 square foot 3-court gymnasium – called the Mammoth RecZone, offering a multitude of court sports and the home of the Parks and Recreation Department summer camps. Youth and adults enjoyed playing basketball, volleyball, futsal, pickleball, arena soccer, skateboarding and indoor cricket!

In the fall of 2024, the Town Council formally closed-out Phase I of the CRC in the amount of \$17,265,240 and awarded the Phase II contract. The total value of the improvements for Phase II is \$1,846,413 and includes facility-wide rubber flooring, new staff offices and locker/meeting room, admission counters, custom elevated bleachers for installation

above the locker rooms, an ADA lift and stairs, netting, exterior lighting, and chiller sound mitigation. Work is expected to be completed in the summer of 2025.

New Park Openings!

The Town completed several park projects in 2024 with some ongoing work planned to be fully completed in the summer of 2025.

Park at the Parcel

The Park at the Parcel officially opened to the public in August 2024. The Park at the Parcel was designed to meet two community needs. The first was to build an exclusive playground for the onsite childcare facility operated by our partners, Mono County Office of Education. The second need was to build a family park in the center of town fully accessible to not only residents living at The Parcel, but the many families that live near the park. The park area is just under an acre in size and includes a playground for 2-5 year-olds enrolled in childcare, and a family park incorporating a 5-12 year old Play On!® National Demonstration Site (NDS) playground. The NDS playground includes a domed climbing net, group spinner and arch swing that combined, promote the six key elements of play: balancing, sliding, brachiating, spinning, climbing, and swinging.

A prominent feature of the park is the 20'x20' shelter for family gatherings. An all-gender restroom is located at the entrance to the park, adjacent to the bus shelter, and incorporates a wall-mounted water fountain and bottle-filling station. Other Park elements include an open synthetic turf play area, bike racks and concrete pathways for convenient access throughout the park site. A park identification sign will soon welcome visitors to the park.

NEW Community Dog Park

The Town, partnering with the Mammoth Lakes Foundation, sited the community's first off-leash dog park at the intersection of College Parkway and Wagon Wheel Road. The Town received a \$50,000 T-Mobile grant in 2021 and previously allocated an additional \$150,000 for a dog park. A 40-space parking area, restrooms and other amenities were constructed adjacent to the dog park that can also support other nearby uses including the theatre and multi-use path access. Construction began in 2023, and the Town Council officially opened the dog park in November 2024. Total project cost was approximately \$950,000.

Mammoth Creek Park

To complement all the improvements made at the CRC, the Town Council allocated funding to rehabilitate Mammoth Creek Park. Improvements will include a large, prefabricated climbing boulder with fall protection, a planned 20x30 pavilion, multiple shade structures, a custom metal railing, replacement of the large grass area with irrigation (completed in 2024), and additional landscaping for screening. Mammoth Creek Park also welcomed the opening of the Capybara food truck serving authentic Argentinian cuisine.

Whitmore Track and Ball Fields

Constructed in 2012, the Whitmore Track and sports field has been incredibly popular and heavily used since it opened to the public. Between 2017 and 2021, over 194,000 recreation enthusiasts visited the Whitmore Recreation Area (a 460% increase in visits over 5 years), representing almost 13,000 unique people. The rehabilitation project

conducted in 2024 cleaned and restriped the 9-lane all-weather track surface along with several patches to the rubber surface and synthetic turf. Total investment was \$100,000.

2024 Summer Camps

The Parks and Recreation Department hosted 644 campers supported by 22 staff members over 9 weeks of summer camps. Campers got a chance to explore the Sierra by biking, hiking, paddleboarding, skateboarding, swimming, and climbing all over the region. The Department integrated adventure sports with visual and performance arts to provide a holistic camp experience that nurtures both interpersonal and intrapersonal growth. The biggest addition to the program this summer was hosting camps at the new Mammoth RecZone operating within the CRC, which provided necessary protection from the elements and was greatly appreciated during the "monsoon week." Our backpackers continued to enjoy ice cream in the backcountry, our nature campers sponsored by LADWP helped Clean Up the Lake, our Wave Rave skateboarders loved the "indoor skatepark at the CRC," and our bikers shredded miles of trails!

More local children took advantage of the Tony Colasardo Scholarship Fund in 2024. The Department awarded 89 Scholarships valued at just under \$13,000. Recipients enjoyed the UK International and Challenger Sports Soccer Camps, several signature summer camps and After School Programs, such as Gymnastics, Little Wreckers, and the Spring Bike Squad.

Special Use Taxes

The "Mammoth Lakes Recreation, Trails and Parks Investment Initiative" (aka Measure R) was adopted by the Mammoth Lakes Town Council in February 2008 and was approved by the voters of Mammoth Lakes in June 2008. The Ordinance imposed a Transactions and Use Tax in the amount of one-half percent for the purpose of funding Recreation, Trails and Parks. Measure R is a special fund designated for use by the Town of Mammoth Lakes only for the planning, construction, operation, maintenance, programming and administration of all trails, parks and recreation facilities managed by the Town of Mammoth Lakes without supplanting existing parks and recreation facility maintenance funds. Recommendations for the use of Measure R funds are determined by Mammoth Lakes Recreation and presented to Town Council for approval.

Measure R projects completed in 2024 include:

- Measure R audit
- Whitmore Track/Trails End Park maintenance
- Recreation Equipment/Supplies
- Mammoth Lakes Recreation administration
- Trails administration and projects

The "Mammoth Lakes Mobility, Recreation and Arts & Culture Utility Users Tax Ordinance" (aka Measure U) was adopted by the Mammoth Lakes Town Council in March 2010 and approved by the voters of the Town of Mammoth Lakes in June 2010. The Ordinance states: "On or after July 1, 2011 all proceeds of the tax and imposed hereunder shall be accounted for and paid into a special fund designated for use by the Town of Mammoth Lakes, and used only for the following purposes: Planning, construction, operation, maintenance, programming and administration of facilities and projects for Mobility, Recreation and Arts & Culture. Such tax proceeds shall not supplant existing funds used

for the purposes set forth above." Recommendations for the use of Measure U funds are determined by Mammoth Lakes Recreation and presented to Town Council for approval.

Measure U projects completed in 2024 include:

- Special event transit services
- Arts and cultural programming and special projects
- Contract administration
- Measure U audit
- Special event equipment
- Mammoth Lakes Recreation administration

Conservation Elements

Two elements in the 2007 General Plan address conservation. These elements are Resource Management and Conservation and Arts, Culture, Heritage and Natural History.

Resource Management and Conservation Element

The Resource Management and Conservation Element states: "Mammoth Lakes is valued for its majestic setting, the forest and trees, the smell of the pines, wildlife, clean air and water. The goals and policies of this Element address the community of Mammoth Lakes being a leader in managing and conserving these resources."

The Town continues to support the preservation of Mammoth Creek, which runs through town, by prohibiting development that does not maintain established setbacks and by managing Town-owned properties along Mammoth Creek for open space, habitat preservation, and passive recreation.

In accordance with the Town Council's Strategic Priority to "provide support for long-term forest recreational, health and safety projects such as ESCCRP, USFS planning processes, and amenity investment, working with local and regional partners," the following items were accomplished in 2024:

Summer Trails and Programs

- The Mammoth Lakes Trail System (MLTS) trail crew was actively engaged throughout the summer, clearing fallen trees from over 90 miles of the trail network, maintaining system trails, and installing new signage.
- Construction of the Sherwin Meadows Trailhead progressed with the completion of pavement work and the installation of a new pit toilet. The trailhead is expected to be completed by spring 2025.
- The Town of Mammoth Lakes Outdoor Recreation Hosts provided on-the-ground safety and educational services throughout the summer, stationing at high-use trailheads to assist visitors. They distributed trail system information, brochures, trail etiquette guidelines, and regulatory details. From June to September 2024, hosts were stationed at Horseshoe Lake Trailhead, Lake George, Twin Lakes, Coldwater Trailheads, Mammoth Creek Park, Shady Rest Park, and served as town floaters. During late summer the addition of Hosts on E-Bikes throughout the Towns multi-use pathways added extra exposure and outreach to the public. Summer 2024 saw above-average temperatures, with warm weather persisting

and trails becoming accessible by mid-June. During the season, hosts documented 10,902 user interactions, observed 81% of dogs on leash, and removed 964 pounds of trash and 251 pounds of pet waste.

- The 2024 MLTS Summer of Stewardship kicked off with a major milestone. In partnership with Mammoth Lakes Recreation, the Town of Mammoth Lakes was selected as a Leave No Trace (LNT) Spotlight community, recognizing local conservation efforts and encouraging public engagement in preserving natural spaces. As part of the LNT Spotlight initiative, the Town hosted educational programs, outreach activities, and stewardship events during the first weekend of June. Throughout the summer, MLTS organized monthly Wednesday Worknights, weekly Trashy Thursday clean-ups, and two additional Trail Days events to promote stewardship and trail maintenance.
- The Eastern Sierra Adopt-a-Trail Program also experienced significant growth, with 44 volunteers and 37 sponsors actively participating. This program is a collaborative effort between Mammoth Lakes Recreation, Mono County, and the U.S. Forest Service, further enhancing community engagement and trail conservation.

Winter Trails and Programs

The winter multi-use trails were groomed and open to the public through early April 2024. This season's grooming operations were successful, thanks to strong partnerships. When the Nordoni equipment broke down, Mammoth Mountain Ski Area generously provided a replacement sled, ensuring continued grooming for the community. Shady Rest Winter Trails remained a highly popular destination, accommodating Nordic skiers, walkers, fatbike riders, snowshoers, and dog owners. Grooming on the Sherwins Winter Trail was conducted as conditions permitted. At the start of the 2024/25 winter season, the Town purchased a new sled for grooming. However, with limited early-season snowfall, minimal grooming took place in December 2024. Additionally, starting winter 24/25 the Town has assumed responsibility for all Winter Over-Snow Vehicle (OSV) grooming, previously managed by the U.S. Forest Service. Town staff will now oversee a significant portion of the 90+ mile OSV system. The Winter Recreation Map was updated, printed and distributed throughout the Town and Mono County. From November 2023 to May 2024, Winter Hosts were stationed at Shady Rest Park, the Lake Mary Road closure, and the Sherwin Meadows Trailhead, while also providing floating and bus support throughout the Town of Mammoth Lakes.

These accomplishments made progress towards meeting the Town Council's objectives for this Strategic Priority, which includes enhancing the public's experience with improved access points to the natural environment and utilizing partnerships with Mammoth Lakes Recreation, Mono County, U.S. Forest Service, and the Eastern Sierra Sustainable Recreation Partnership to identify grant funded projects and programs that should be pursued.

Climate Change Vulnerability Assessment

As part of the SB1 Climate Adaptation Planning Grant awarded to the Town in 2017, the Town contracted Placeworks, Inc., to prepare a Climate Change Vulnerability Assessment. The Vulnerability Assessment identified and analyzed the impacts climate change poses to the Town and the specific geographic areas at risk from certain impacts. The Vulnerability Assessment informed the preparation of climate adaptation goals, policies, and objectives, as well as the development of feasible implementation measures. The

adaptation strategies were adopted as part of the 2019 Public Health and Safety Element update.

This project furthers Resource Management and Conservation Element Goal R.1 which directs the Town to "Be stewards of habitat, wildlife, fisheries, forests and vegetation resources of significant biological, ecological, aesthetic and recreational value." The tourism-based economy of Mammoth Lakes relies on its scenic qualities and world-class recreational opportunities, and some of these assets were considered in the Vulnerability Assessment, and the Town adopted recommended adaptation strategies in order to lessen identified impacts to these resources.

Stormwater Resource Plan

The Town is an active member of the Inyo-Mono Integrated Regional Water Management Plan (IRWMP) and has a Stormwater Resource Plan (SWRP). The SWRP provides a regional prioritization of stormwater management projects that qualifies agencies for participation in Prop 1 Funding.

Waste Management/ Recycling

In 2020, Town Council approved a new Solid Waste Franchise Agreement between the Town and Mammoth Disposal Company. The Agreement allows Mammoth Disposal to provide all solid waste collection and processing services on behalf of the Town for 20 years. This includes addressing the disposal of solid waste after the Benton Crossing Landfill closed at the end of 2022. The new Agreement provides for increased solid waste disposal services and improved recycling services for customers in Mammoth Lakes. To accommodate current and future solid waste disposal needs, Mammoth Disposal constructed a new transfer station for solid waste and a Materials Recovery Facility (MRF) for recyclables in 2023. Additional elements of the project included the reconfiguration and renovation of the existing site to accommodate the new facilities and improve circulation.

Work continued on a feasibility study for a potential biomass facility which was facilitated through a U.S. Forest Service Wood Innovations Grant.

The Town held its annual Town Clean-Up Day in May 2024. The Town provided a dropoff station for the collection of large/bulky items, metal objects, green waste, food waste, hazardous household waste, and recyclable materials.

Tree Removal Permits

Planning staff continues to implement the Town's Tree Removal and Protection Ordinance by requiring property owners obtain a Tree Removal Permit for the removal of live trees that are 12 inches or greater in diameter at breast height. In 2024, 56 tree removal permits were processed with a small number of those permits being denied because the minimum criteria for removal was not met. The top three reasons specified on the tree removal permit requests include the removal of hazard trees, trees causing property damage, and tree removal for wildfire fuel reduction purposes.

Air Quality

The Town monitors air quality in coordination with the Great Basin Unified Air Pollution Control District (GBUAPCD). This monitoring effort focuses on particulate matter (PM_{10}), which is primarily caused by wood burning and cinders spread on roads to increase

traction during icy conditions. During the period of November 15^{th} to March 15^{th} , the Town monitors the air quality and when PM₁₀ reaches certain levels in town, "no-burn" days are called, meaning that the use of fireplaces and wood stoves are prohibited for that time period.

The GBUAPCD provides the Town an annual report in May of each year that summarizes the air quality measurements recorded by the district during the monitoring period (Mid-March through Mid-March of the following year) and identifies any exceedances of the State and Federal PM_{10} standards. During the Mid-March 2023 through Mid-March 2024 reporting period, the Federal PM_{10} standard was exceeded on zero (0) days and the State PM_{10} standard was exceeded on nine (9) days. All nine of the monitored State exceedances in 2023-24 were due to local sources such as construction related dust and residential woodburning during the winter months.

An update to the Air Quality Management Plan (AQMP) was completed in 2013, and the Town continues to implement the goals and policies of that Plan. As part of the AQMP update process, the Town and the GBUAPCD requested the EPA re-designate the Town as in attainment for the federal air quality standard for particulate matter less than 10 microns (PM₁₀). The Town had been designated non-attainment for PM₁₀ since 1987. EPA found that the Town has met the federal standard since 2009 and the EPA formally redesignated the Town as in compliance in 2015.

In 2023, GBUAPCD completed the Second 10-year Maintenance Plan for the Town of Mammoth Lakes. The federal Clean Air Act (CAA) requires that an area redesignated attainment from nonattainment status must submit a maintenance plan ensuring the Nation Ambient Air Quality Standards (NAAQS) will be met for a 10-year period following redesignation. The CAA required redesignated areas to submit a second maintenance plan to the United Stations Environmental Protection Agency eight years after the first plan has been approved in order to demonstrate continued maintenance of the NAAQS for the subsequent 10-year period.

Outdoor Lighting

Mammoth Lakes' dark night skies are an important resource to the community and local wildlife. These starry skies continue to be preserved through the Town's Outdoor Lighting Ordinance, which requires exterior lighting to be downward directed and shielded. This requirement significantly reduces dangerous glare for drivers and pedestrians and helps preserve the dark skies for wildlife and residents. The Town continues to require all development projects to be consistent with these lighting requirements and continues code compliance efforts to bring non-conforming fixtures into compliance with the Town's Lighting Ordinance.

Arts, Culture, Heritage, and Natural History Element

The Arts, Culture, Heritage and Natural History Element states: "It is important that arts, culture, heritage and natural history are encouraged throughout the community."

One of the Town Council's Strategic Priorities directs various work programs and funding to "Enhance our recreational based economy through amenity investment." A specific objective associated with accomplishing this priority include finalizing an agreement with the Mammoth Lakes Foundation for the Mammoth Arts & Cultural Center (MACC), which

the Town will construct and operate with funding to be provided through Measure U. Construction of the MACC is expected to begin in 2025.

CEQA requires a cultural resource analysis for all proposed projects. Mitigation measures are identified for each project to reduce impacts to cultural resources. The Town also complies with Senate Bill 18 and Assembly Bill 52 regarding Native American Tribal consultation.

Noise Elements

Noise is addressed in two elements of the 2007 General Plan. These elements are Noise (1997) and Community Design.

Noise Element

A goal of the Noise Element is "To protect the citizens of the Town from the harmful and annoying effects of exposure to excessive noise."

The Town continues to enforce the noise limits stated in Municipal Code §8.16 *Noise Regulation*. An update of the Noise Element and the Noise Ordinance is included on the Community and Economic Development Work Program, but a start date and funding source has not been established.

Community Design Element

A goal of the Community Design Element states, "Enhance community character by minimizing noise."

The California Environmental Quality Act (CEQA) requires a noise analysis for all proposed development projects that are not exempt from CEQA review. Mitigation measures are identified for each project to reduce noise impacts. The Town includes these project specific mitigation measures as conditions of approval for the project to reduce noise impacts. Nuisance complaints related to noise are handled by continued enforcement through the Mammoth Lakes Police Department and the Town Code Compliance staff.

Safety Element – Public Health and Safety Element

The Public Health and Safety Element states: "The community will be comfortable and safe. Facilities that are important to a livable community will be supported, provided, and encouraged."

The proliferation of e-Bikes and other modes of transportation has resulted in congestion and dangerous conditions on Town Multi-Use Pathways (MUPs), sidewalks, and trails. In December 2023, the Town introduced an ordinance to govern MUPs, sidewalks, and trails with the Mammoth Lakes Police Department issuing citations and educating the public regarding the use of e-Bikes and other related modes of transportation. This ordinance will help to ensure a safer environment on MUPs, sidewalks, and trails along with providing better opportunities to educate our locals and visitors on the use of these amenities. To support e-Bike safety, the Office of Outdoor Recreation introduced a new e-bike hosts program where three e-bikes and supplemental safety equipment were purchased to allow trained hosts to patrol the MUPs and engage with visitors. Additionally,

six new "speed measuring devices" were installed along with painted messaging on the paths highlighting biking etiquette.

The Town continues to enforce building code requirements to minimize loss of life, injury, and property damage from snow, earthquakes, and fire. The Town also continues to work closely with the Mammoth Lakes Fire Protection District to review proposed development projects to ensure adequate emergency access and fire equipment access. The Town continues to respond to code compliance complaints including those related to potential safety issues. Additionally, the Town's snow removal operations are essential to the safety, wellbeing, and daily operations of the Community. The Town's Public Works Department prioritizes streets for snow clearing to maintain safe routes during snowstorms.

Staff continue to enforce the Quality-of-Life Ordinance, adopted in 2015, to ensure that transient rental uses do not create adverse impacts to neighboring properties due to excessive traffic, noise, trash, and similar issues and to ensure that the number of occupants within such rental units do not exceed the design capacity of the structure or cause health and safety concerns. This ordinance requires any new transient use within a residential structure to be inspected prior to the commencement of the transient use. The inspection verifies compliance with the standards and conditions of operation outlined in the Ordinance and ensures compliance with all applicable safety requirements.

All development project applicants are required to submit a Hazardous Waste Acknowledgement Form to disclose any hazardous materials information prior to project review and approval. In addition, the Town maintains an Emergency Operations Plan (EOP) that outlines how the Town will organize to respond to emergencies within the Town's jurisdiction. In 2024, EOP training continued for all Town staff who have a designated roll in EOP operations.

Economy Element

The Economy Element in the 2007 General Plan is an optional Element (not required by California State Law) that states: "Mammoth Lakes' economy is tourismbased...Mammoth Lakes' economic sustainability is dependent upon the mountain resort, expanded employment opportunities, shoulder season and midweek occupancy, air service and many other components of the community."

The Town continues to track economic indicators for changes that may affect community land resources, tax base, including Transient Occupancy Tax (TOT), and employment base. In 2024, the Town continued its TOT enforcement program and initiated approximately 30 TOT compliance cases. Revenue collected through enforcement efforts in 2024 totaled over \$173,550. The total TOT revenue decreased approximately 2.3% in 2024. TOT revenue collection remained strong with record breaking TOT revenue collected during the months of February, March, and August.

As part of the implementation of the Town Council's Strategic Priority mentioned above, a portion of the excess TOT revenue was allocated to ensure the long-term health and resiliency of the Town by investing in the Town's reserve funds.

• The Operating Reserve (OR) Fund target is 5% of the Baseline Revenue established in the Reserve Policy at \$33,000,000 (\$1,650,000). The status of the fund is 100%

funded to target.

• The Reserve for Economic Uncertainty (REU) target is 20% of the Baseline Revenue established in the Reserve Policy at \$33,000,000 (\$6,600,000). Status of this fund is 100% funded to target.

A Commercial Cannabis Tax Ballot item was approved by Town Council in February 2018, to include a measure on the June 5, 2018, General Municipal Election ballot. The approved measure read, "To fund general Town core services such as police, recreation, and road maintenance, shall an ordinance be adopted to impose a business license tax of up to 8% for cannabis retail businesses and up to 4% for all other cannabis businesses (cultivation, manufacturing, distribution, testing), to raise an estimated \$99,550-\$261,708 per year, levied until voters change or repeal it." This measure passed in 2018. A total of \$113,252 was collected from this tax in 2024, which was an approximately 14% decrease from 2023.

The Economy Element includes several implementation items that relate to Mammoth Yosemite Airport (MMH) operations, including seeking Federal funding for airport improvements, upgrading the airport terminal, updating the Airport Master Plan and working with the Federal Aviation Administration (FAA) to evaluate the development of Mammoth Yosemite Airport.

During 2024, there was one capital improvement project constructed at the airport. The project was the Automated Weather Observation System (AWOS) Relocation and Upgrade project. Construction began in July 2023 and was substantially completed in September 2024. The scope of work included relocating the AWOS from its exiting location to a new location further west near the segmented circle and upgrading the equipment.

Staff worked with consultants to design the Aircraft Rescue Firefighting Vehicle (ARFF)/Snow Removal Equipment Building project. Design is still underway in 2024, and the project was renamed as the Multipurpose Building to include ARFF and SRE. Staff worked with consultants to redesign the Multipurpose Building to include Aircraft Rescue Firefighting Vehicle (ARFF) and Snow Removal Equipment (SRE). The construction of phase I site work, including an access road and relocation of Taxiway A3, is going out to bid in spring 2025, with construction likely to occur spring of 2026. The phase II site work and the building design are planned for completion in summer of 2025 and the project will likely go out to bid early 2026.

Staff continue to work with Inyo County, Mono County, Eastern Sierra Council of Governments, Mammoth Lakes Tourism, Caltrans, Federal Aviation Administration, and Hot Creek Aviation, the Airport's Fixed Based Operator (FBO), to enhance regional air service and transportation and the Mammoth Yosemite Airport's amenities and services.

Housing Element

Housing element law requires local governments to adequately plan to meet the existing and projected housing needs of all economic segments of the community and requires all Housing Elements meet the requirements of the California Government Code sections 65583 and 65584. The Town's 6th cycle Housing Element was adopted in 2019 and covers

the 8-year planning period of 2019-2027.⁴

The following summarizes the Town's progress to achieving the programs identified in the adopted Housing Element. A complete summary of the Town's progress for each Action Item identified in the adopted Housing Element is included as Attachment 1, 2024 Mammoth Lakes Hosing Element Annual Progress Report (Table D).

Alignment with Town Council Strategic Priorities

The top Town Council Strategic Priority for 2024 directed staff to, "Expand availability and affordability of community housing." Progress made in 2024 towards this priority and the identified objectives are summarized below:

- Objective: Complete construction on Phase 1 (81 units), complete core infrastructure and support development plans for Phase 2 and funding participation (148 units) of the Parcel.
 - Phase 1 (The Sawyer) of the Parcel was completed in summer 2024 and all 81 units were leased up as of December 2024. In December 2023, the developer was successful in obtaining tax credit financing for the initial 76 units of Phase 2 (Kingfisher I) and construction began in 2024.
- Objective: Implement Housing Now! Initiatives to deliver diverse housing solutions working with private sector and other agencies locally and regionally.
 - Town staff continued to partner with Eastern Sierra Community Housing (ESCH) (formerly Mammoth Lakes Housing) on the Bridge Program with the goal of increasing the number of affordable units within the Town through the acquisition of existing market-rate units that are then resold at a reduced affordable price (focus is on missing-middle income households [120%-150% AMI]). As of the end of 2024, eight (8) have been resold to income eligible households with a deed-restriction in place and four (4) additional units were for sale.
 - The conversion of the Innsbruck Lodge into a rental affordable housing development was partially completed in 2024 with the leasing of 6 of the 16 units. The remaining units will be completed in early 2025. The project is largely funded through the State Project Homekey program and is intended to assist those who are experiencing homelessness.
 - ESCH's Access Apartments project began construction in summer 2024 and will provide 13 affordable rental apartments that will be available to households earning up to 120% AMI. The project will be completed in 2025.
 - The Town, working together with Placemate, launched the Lease to Locals program in July 2024. The program aims to unlock existing housing stock for the local workforce by providing a set of incentives for homeowners that shift from renting their home short-term (or not renting at all) to 5 to 12-monthplus lease arrangements with locally employed tenants. Participating

⁴ The change in the Housing Element update cycle from a 5-year cycle to an 8-year cycle was implemented by <u>CA</u> <u>Senate Bill 375 (SB-375)</u> and is intended to align land use planning for housing with land use planning for greenhouse gas reduction. The RHNA sets local housing and zoning goals to support future growth and these local goals are in turn aggregated into a region-wide Sustainable Community Strategy (SCS) to fairly allocate greenhouse gas emission reduction targets across the region. SB-375 requires consistency between the RHNA and the region-wide SCS, and the consistency is achieved through the implementation of the Regional Transportation Plan (RTP). The <u>Mono County</u> <u>RTP</u> was last updated in 2019, shortly after the adoption of the Town's Housing Element.

homeowners will receive grants ranging from \$2,000 to \$18,000 dependent on the number of qualified tenants and the length of the lease.

- Pursue implementation of sustainable funding source(s) for community housing including potential EIFD and in-lieu housing fee increases.
 - As a part of the moratorium on the issuance of new STR certificates, the STR Advisory Committee gave direction to pursue an increase in TOT tax that will be dedicated to housing projects and programs. The Town worked to get the ballot measure on the November 2024 ballot and the voters overwhelmingly passed the ballot measure (Measure L) to increase the TOT tax by two percentage points (raised to 15%). The ballot measure was passed as a General Tax; however, in January 2025 the Town Council committed 100% of the increased TOT revenue to housing projects and programs. The increase became effective in January 2025 and is estimated to raise ~\$2.5M annually. The increase will sunset after 10 years, unless extended by the voters.
 - Since 2021, Town Council has allocated approximately \$24M (\$8.1M in 2021, \$5.7M in 2022, \$5.3M in 2023, & \$4.8M in 2024) towards various workforce housing programs and projects, including the Parcel, small-site development (e.g., 60 Joaquin PUD), the Bridge Program, and partnership projects with ESCH (e.g., Access Apartments, Homekey hotel conversion).
- Collect and analyze data on short-term rental compliance with Town codes and impact on local housing market and review Town code for updates.
 - In October 2023, the Town Council adopted a moratorium on the issuance of 0 new Short-Term Rental (STR) certificates in defined zoning areas within the Town. This action was in response to the significant and increasing shortage of housing that is accessible to the local workforce, along with the need to protect the health, safety and welfare that results from the lack of available and affordable housing to the local workforce and residents. The moratorium ended in March 2024 with the introduction of a Certified Properties program. The program is a new approach to the management of STRs that will provide enhanced management intended to address various quality of life issues related to STRs. Aside from the implementation of the Certified Properties program, the moratorium resulted in several recommendations to the Town Council from the STR Advisory Committee including: (1) a ballot tax measure to fund housing programs (e.g., Measure L); (2) a rental subsidy program (e.g., Lease to Locals); (3) a housing down payment purchase program (not yet implemented or developed); and (4) consideration of zoning changes to the RMF-2 zoning designation.

Progress on General Plan Action Items

- Initial planning for "The Parcel" shall be complete and ready to proceed to development and funding through the development of a community-based master plan. (*Action H.1.F.1*)
 - The Parcel Master Plan was adopted by Town Council in January 2021. The updated Master Plan provides the framework for development.
 - The Town Council made a determination that the Parcel was 'exempt surplus land' pursuant to Government Code §54221(f)(1)(A) in April 2021, thereby allowing the Town to enter into a Disposition and Development Agreement (DDA) with the Town's development partner for the project, Pacific West

Companies, Inc (PWC).

- The building permit for Phase 1 (80 affordable units and 1 manager's unit) was issued in May 2022.
- Construction of Phase 1 was completed in summer 2024 and all 81 units were leased up as of December 2024.
- The initial 76 units of Phase 2 (Kingfisher I) was awarded tax credit financing in late 2023 and construction began in summer 2024.

The Town continued to dedicate funding (including allocation of Transient Occupancy Tax monies) in support of affordable and workforce housing programs (*Action H.2.A.1*). In 2024, the following programs and entities were funded:

- ESCH, operating under a contract with the Town, continued to receive funding from the Town to support their work. ESCH was established by the Town in 2003 under the name Mammoth Lakes Housing to acquire and develop reasonably priced housing for the resident worker population of Mammoth Lakes, and to manage and facilitate the ownership and rental of such housing. ESCH has successfully rehabilitated and preserved numerous income-restricted housing units in coordination with the Town and other organizations such as IMACA.
- The Town has committed approximately \$24M of General Fund dollars towards housing over the past three years to the following programs and projects:
 - Parcel Phases 1 (the Sawyer) and 2 (the Kingfisher)
 - Bridge Program (conversion of market-rate to affordable)
 - Creative housing solutions (i.e., public/private partnerships, acquisition of employee housing units)
 - Small-site affordable housing development projects (i.e., 60 Joaquin Rd)
 - ESCH's 238 Sierra Manor Road affordable housing project (11 affordable units) and Innsbruck Lodge affordable housing project (15 affordable units / 1 manager's unit)
 - Lease to Local rental subsidy program

To assist in the inadvertent loss of deed-restricted units (*Policy H.2.G*), the Town and ESCH achieved the following:

- The Town and ESCH monitors approximately 65 deed restricted properties on an annual basis.
- The Town continues to maintains a Revolving Loan Fund (RLF) funded at \$1M to assist in buying back existing deed restricted units in an effort to maintain these units and ensure no existing deed restricted units are lost. The RLF was used one time in 2024 to preserve an existing deed restricted unit.

The Town and ESCH continue to pursue grant funds to support housing programs (*Action H.2.A.2*) and the following grant-related work was completed in 2024:

• The Town and ESCH were awarded a \$4.56M Homekey grant for the Innsbruck Lodge Affordable Housing project in 2022 to convert the existing hotel into 16 residential rental units, of which 15 will be affordable to households earning at or below 80% AMI. Six of the units were completed in 2024 and the remaining 10 units will be completed in early 2025.

- In 2024, the Town was awarded an additional \$4.1M in CDBG funds in addition to the previously awarded \$3M in CDBG funding for the Access Apartments project. This additional award allowed ESCH to forgo the previously awarded \$3.4M HOME grant, which will simplify the regulatory oversight of the project since there are less stacking of funds in the project. This adaptive reuse project will convert two existing commercial buildings into 11 residential rental units affordable to households earning at or below 80% AMI. Construction of the project began in July 2024.
- The Town was awarded \$317,184 in CDBG funding allocated by the CARES Act in 2021. The Town initially intended to use the funds for a subsistence payment program (e.g., rental, mortgage, and utility payment assistance) for those financially impacted by COVID-19; however, due to low interest in the program, the Town amended the scope of work to allow for the remaining \$290,000 in funding to go towards the new public park in the Parcel. The park equipment was ordered in 2023 and was installed in 2024.
- The Town applied for \$500,000 in CDBG grant funding for downpayment assistance in 2022 and received notification of the grant award in 2023. ESCH, working as the Town's subrecipient, launched the program in late-2023. In 2024, one grant was provided to an income eligible household to assist with their downpayment.
- The Town applied for \$490,000 in Permanent Local Housing Allocation (PLHA) grant funding for mortgage assistance to households earning up to 120% AMI in 2022 and received notification of the grant award in 2023. The Town, working together with ESCH, launched the program in 2024 and assisted one household with down-payment assistance. The Town and ESCH continue to market the program to provide additional assistance.
- Mortgage assistance continues to be provided through the reinvestment of repaid BEGIN, CDBG, and HOME program funds.

In 2024, progress was made on the following work program items intended to increase the supply of workforce housing:

- Construction of the initial 81 units (80 of the units will qualify as affordable housing w/ AMI levels no higher than 80%) of Phase 1 of The Parcel was completed in summer 2024 and construction of the initial 76 units in Phase 2 began. Future phases will be dependent on the acquisition of additional funding.
- The Town's initial small site development project, located at 60 Joaquin Road, began construction in 2024 and will be completed in early 2025. The project will provide four deed-restricted ownership units available to households earning up to 200% AMI.
- Through the Town's Bridge program, eight (8) units have been sold to income eligible households with a deed restriction in place. The income restrictions on these units range from 120% -150% AMI and require occupancy by a local workforce household.
- The Town continues to encourage use of SB-35 streamlining (*ministerial approval* of certain housing projects), SB-9 allowances (allowance for residential property owners to split a single-family lot into two lots and/or place up to two units on each residential lot), and State ADU provisions.

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In order to ensure accessibility and the provision of equal housing opportunities for all persons, the following was implemented and/or continued in 2024:

- ESCH has established a relationship with Bishop Indian Legal Aid services to assist tenants and respond to substandard housing complaints and has setup a legal aid remote workstation in the ESCH office. The Town's Code Compliance Officer aids in investigating substandard housing complaints. (*Action H.2.E.1; Action H.5.C.1*)
- The Town continues to process applications at no cost to the applicants for Reasonable Accommodation to provide appropriate relief from development standards to might create a barrier to providing housing for a disabled or special needs person. (*Action H.1.E.3*)
- The Town requires that all new developments and rehabilitations of housing units meet the requirements of Title 24 of the California Code of Regulations (Building Code). (*Action H.6.B.1*)
- ESCH and the Town continue to maintain information regarding fair housing practices on their websites and in the offices. (*Action H.5.B.1*)

Additional 2024 housing related highlights:

• The Town continues to implement the mitigation requirements of the Housing Ordinance and the Town collected approximately \$215,000 in Housing Impact Mitigation Fees from the issuance of building permits for 19 residential units, 164 lodging rooms, and 3 service/retail permits.

The Town and ESCH continue to monitor the annual apartment vacancy rate and enforce its condominium-conversion requirements pursuant to Municipal Code Section 17.52.110. Due to the ongoing low apartment vacancy rate (less than 1%), no condominium conversions have taken place in recent years.

REGIONAL HOUSING NEEDS

Table 1 summarizes the Town's progress towards meeting the Town's share of the Regional Housing Needs Allocation (RHNA) for the 2019-2027 Housing Element period.

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Year Constructed/Restricted	Extremely Low	Very Low	Low	Moderate	Above Moderate
RHNA 2019-2027	13	13	30	34	65
2019	0	0	0	0	23 ²
2020	0	0	0	0	61 ²
2021	0	0	0	0	42 ²
2022	8	8	64	0	46 ²
2023	2	0	13	0	26 ²
2024	8	8	66	6	33
Total	18	16	143	6	231
Total Remaining by	0	0	0	28	0
Income Level	(5 units	(3 units	(113 units		(166 units
	over the	over the	over the		over the
	allocation)	allocation)	allocation)		allocation)

Table 1: 2019-2027 Progress to Meeting RHNA¹

¹ The State relies on the number of building permits issued, rather than the number of permits completed, to demonstrate progress in meeting the jurisdiction's share of the RHNA for the planning period.

² In years 2019-2024, all of the Above Moderate units permitted were non-deed restricted market rate units.

Over the course of 2022 - 2024, the Town made substantial progress towards meeting the Town's share of the RHNA for the lower income levels with building permits being issued for the first and second phases of the Parcel development (156 affordable rental units), the Innsbruck Lodge Homekey project (15 affordable rental units), and the Access Apartments (13 affordable rental units). The units in these projects will target households earning between the extremely-low to moderate AMI levels Additional efforts will need to focus on the production of housing for moderate-income residents, in order to achieve the Town's fair share of the regional housing needs.

GOVERNMENTAL CONSTRAINTS TO AFFORDABLE HOUSING

The Housing Element is required to analyze and identify potential government constraints to the production of affordable housing, and where possible, identify programs that will help to lessen these constraints. Examples of such constraints are government-imposed fees that contribute to the overall cost of housing production, development standards that make it more difficult or costly to develop, or review processes that add time and cost to housing development proposals.

Although some development standards, such as those for on-site parking, lot coverage, and setbacks may be more stringent than in other communities, they are appropriate in the town's local context, particularly the need to deal with large amounts of snowfall.

The analysis of government constraints found that the Town's permitting, development review, and fees represent actual staff costs and time to process applications and are not unduly restrictive to new residential development. The Town undertook a review of its development impact fees, including housing mitigation in-lieu fees, and as a result lowered fees substantially in 2015. Work began in 2021 on a new Housing Nexus Study and Development Impact Fee study, which will be completed in 2025.

The Town of Mammoth Lakes has a Reasonable Accommodation ordinance to help facilitate the construction of special facilities or features for persons with disabilities. The Community and Economic Development Division is committed to reviewing and processing applications for Reasonable Accommodation, at no cost, to provide appropriate relief from development standards that might create a barrier to providing housing for a disabled or special needs person.

Related to the elimination or reduction of government constraints to the production of affordable housing, the Town has completed the following zoning code amendments in recent years aimed at achieving this objective:

- The Town Council adopted an urgency ordinance in 2019 making amendments to the Municipal Code standards for Secondary Dwelling Units ("accessory dwelling units" or "ADUs") to bring the Zoning Code into compliance with the State ADU laws. This amendment to the Zoning Code reduced governmental constraints applicable to building ADUs by further limiting certain development standards and approval requirements. Staff initiated a subsequent amendment in 2020 to the Town's ADUs regulations with the goal of further reducing governmental constraints and improving the clarity and usability of the ADU regulations. This amendment was completed in 2021.
- Town staff completed an update to the Town Density Bonus Program in 2020, which included modifications to the General Plan and Zoning Code. Amendments to the Zoning Code regulations included implementing the revised Town Density Bonus Program and allowing for multi-family residential projects to obtain proportionately greater density bonuses in exchange for deed restricting a greater percentage of the base density units, up to a maximum of twice the base density. This program update reduces governmental constraints by allowing for greater flexibility in the use of the Town density bonus and an allowance for smaller projects to qualify for the program. The minimum project size prior to the update

required a base density of at least five-units and the updated minimum project size allows for projects with a base density of at least two-units to qualify.

The Town initiated a zoning code amendment to implement Senate Bill 9 (SB 9) in December 2021. SB 9 requires local agencies consider certain proposed two-unit projects and lot splits ministerially and allows residential property owners to split a single-family lot into two lots and place up to two units on each resulting lot. SB 9 was signed into law in September 2021 and became effective on January 1, 2022. The Town adopted an urgency ordinance in January 2022 to implement development standards related to SB 9. This amendment to implement SB 9 standards is intended to reduce governmental constraints applicable to building residential units by eliminating and/or reducing certain development standards (e.g., setbacks, density, parking, lot coverage, and height) and approval requirements (e.g., ministerial approval of urban lot splits).

Programs identified in the 2019-2027 Housing Element to reduce governmental constraints to housing production include:

- **Policy H.4.A.** Periodically review and update permit and development fees to ensure that they appropriately reflect the cost of processing applications and providing services to new development, without unduly increasing costs to build housing. The Town is required to conduct annual reviews of development impact fee expenditures, and has a goal of updating the development impact fees every five years.
- **Policy H.4.B.** Consider reduction or waiver of permit and development impact fees for projects that dedicate some or all of their units to affordable housing. Consider waiving development impact fees only when significant impacts (e.g. circulation) can be avoided.
 - Action H.4.B.1. Consider changes to the Development Impact Fee schedule to reduce or eliminate fees for developments in which at least five percent of units are affordable to extremely low-income households. To be eligible for reduced or waived fee, the units shall be affordable by affordability covenant. The waiving or reduction of service mitigation fees may also be considered when an alternative funding source is identified to pay these fees.
- **Policy H.4.C.** Ensure that the Zoning Code continues to meet State Law requirements and does not unduly restrict certain types of housing to be developed. The Town regularly reviews and updates to the Zoning Code to incorporate mandates and other appropriate revisions.
- **Policy H.4.D.** Continue to allow accessory dwelling units by right in all residential zones.
 - Action H.4.D.1. Accessory dwelling units (ADU) can be an affordable housing option and can help meet the needs of many residents in the Town. To ensure consistency with state law (Assembly Bill 2299/Senate Bill 1069 and Assembly Bill 494/Senate Bill 229) and implement community goals, the Town shall review standards and revise as necessary to facilitate the development of ADUs.
 - Action H.4.D.2. Promote development of accessory dwelling units (ADU) by increasing awareness regarding the ability to create accessory dwelling units on single-family residential properties, exploring variances (e.g. side

yard setbacks) to make it easier to fit ADUs on some lots, and establishing a goal for a desired number of ADUs to be built. The Town will also offer incentives to develop ADUs in exchange for long-term rental contracts.

- **Policy H.4.E.** *Periodically review and update Town codes, ordinances, fee programs and procedures to ensure that they do not unduly constrain housing development, while ensuring development impacts are adequately mitigated through development impact fees and/or other appropriate measure(s).*
 - Action H.4.E.1. Continue to monitor the Town's DIF ordinance to assure that impact fees do not create an economic impediment that deters construction of housing needed to meet the Town's Regional Housing Needs Allocation or workforce housing objectives. If an economic impediment is discovered, Council will take appropriate actions to mitigate it.
 - Action H.4.E.2. To address constraints to the availability of long-term rental housing associated with short-term rentals the Town will establish a program identifying methods to mitigate the issue. Components of the program may include waiving fees for illegal short-term rentals owners who commit to restricting their properties as long-term rentals, creating an impact fee levied on short-term rentals that would go towards preserving or creating long-term rental housing, and conducting a nexus study to further study how short-term rentals are impacting the rest of the housing market.
- **Policy H.4.F.** *Prioritize workforce and affordable housing when considering future development proposals relative to Town policies that limit overall population growth.*

Additional information on the Town's progress towards implementing the above-described policies and actions related to governmental constraints to affordable housing is included in Attachment 1, 2024 Mammoth Lakes Hosing Element Annual Progress Report.

PLANNING APPLICATIONS

The following table summarizes the status of planning applications as of December 31, 2024. A detailed list of application requests is attached to this report (Attachment 2).

Table 2: 2024 Planning Applications

	Table 1			
Application Types	Requests	Approved ⁵	Denied	In Process
General Plan Amendments (GPA)	1	0	0	1
District Zoning Amendments (DZA)	1	0	0	1
Zoning Code Amendments (ZCA)	0	0	0	2
Use Permit Applications (UPA)	4	1	0	5
Tentative Tract Maps (TTM)	3	1	0	4
Tentative Parcel Maps (TPM)	0	0	0	0
Variances (VAR)	2	2	0	1
Design Reviews (DR)	9	6	0	5
Administrative Design Review (ADR)	9	8	0	2
Lot Line Adjustments (LLA)	4	2	0	2
Concept Reviews (CR)	0	NA	NA	0
Adjustments (ADJ)	10	5	0	5
Administrative Permits (AP)	5	5	0	0
Time Extension Requests (TER)	2	2	0	0
Land Donations	0	0	0	0
Building Permits (BP)	897	805	NA	NA
Code Compliance Cases (CC)	319	NA	NA	NA
TOT Compliance Cases	30	NA	NA	NA
Sign Permits (SP)	16	16	0	0
Master Sign Plans (MSP)	0	1	0	0
Tree Removal Permits (TRP)	56	56	0	0
Outdoor Sales Permit (OS)	0	0	0	0
Business Tax Certificates (BTC)	335	313	NA	NA
Film Permits (FP)	2	2	0	0

⁵ Approved list includes projects from previous years approved in 2024 by the Director, Planning and Economic Development Commission, or Town Council

LOOK AHEAD - MAJOR PROJECTS IN 2025

The Town of Mammoth Lakes anticipates a busy 2025 completing significant work programs and projects that will further implement the 2007 General Plan and anticipated projects include:

- Process entitlements and the environmental review for the Main Lodge redevelopment project. This multi-year effort will continue in 2025 upon the submittal of the revised project scope of work.
- Various hotel entitlement projects within the Commercial zones and North Village Specific Plan (NVSP) area.
- Continue the development of the Parcel Phase II, which will include up to 148 units (*funding dependent*) and continue planning Parcel Phase III which will consist of a phased for-sale affordable townhome development.
- Continue the planning and development of the new Civic Center in conjunction with the Mammoth Lakes Hospital expansion.
- Continue developing and planning the Mammoth Lakes Foundation (MLF) site. Complete the development of the child-care facility and begin development of the redesigned MACC.
- Continue to pursue the purchase of market-rate units through the Bridge program that will then be resold as affordable deed-restricted units.
- Complete construction on the four-unit residential project on the Town-owned 60 Joaquin Road site. These units will be sold at an affordable deed-restricted price.
- Complete the Housing Nexus Study and DIF Fee Study update.
- Continued administration of existing housing grants (CDBG, HOME, and BEGIN) in conjunction with ESCH. The Town and ESCH will continue to review and consider additional housing grant opportunities as funding becomes available.
- Continued TOT Enforcement.
- Continued implementation of the Quality-of-Life Ordinance.
- Code Compliance.
- Permit Processing.
- Implementation of grant funded sidewalk and trails projects.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.1.A.1.	Maintain an up to date, GIS-based inventory of potential sites available for future housing development, and provide this information to Mammoth Lakes Housing, Inc. and prospective developers.	On-going	 Contracts w/ GIS coordinator that works for both the Town and Mono County to keep the GIS database functioning and up-to-date. The Town continues to maintain various housing related datasets (deed-restricted unit locations, existing apartments, transient rental locations, and vacant parcels) in a central GIS database and discuss what additional datasets are needed.
H.1.A.2	As part of the annual planning report to the Town Council (including the annual report to HCD on the Housing Element), provide an update on progress to meeting the Housing Element (including units for extremely low-income households), to ensure that adequate sites remain available to meet the RHNA.	On-going	 This table, included with the annual progress report is provided to the State Department of Housing and Community Development on an annual basis, and is the primary way in which the Town reports and tracks its progress towards RHNA. As of 2024, the Town has satisfied our share of the RHNA in the Extremely Low, Very Low, Low and Above-Moderate categories and issued a permit for 6 of the 34 units in the Moderate category. The Town continues to look for opportunities to provide units in the Moderate income category, as this is a difficult income group to address since the majority of the grants do not provide assistance for this segment of the community despite there being challenges with affording market-rate units.
H.1.A.3.	Ensure that updates and amendments to existing and future Master Plans and Specific Plans provide development capacity and supporting policy to help meet the Town's housing needs.	On-going	 As master plans and specific plans and updates are processed, the Community and Economic Development Department, Planning and Economic Development Commission, and the Town Council will evaluate and ensure adequate development capacity and policy is included to meet housing needs.
H.1.B.1.	Encourage housing development as part of infill and mixed-use development within the Downtown, Old Mammoth Road, and Mixed Lodging/Residential Commercial Zones, which is allowed by right by the Zoning Code. Outreach to property owners, developers, and brokers to discuss infill and mixed-use development opportunities in these Commercial Zones. This outreach will include identifying, discussing and addressing barriers.	On-going	 The Town's commercial zoning districts allow mixed-use projects and workforce housing as permitted uses and as part of the Zoning Code Update work in 2017 (ZCA 15-002), the Town held numerous workshops and meetings to discuss the potential for mixed-use development and multi-family housing in the commercial zoning districts. The Town continues to discuss development opportunities with property owners and potential developers and encourage the inclusion of housing within commercial projects.
H.1.D.1.	Continue to implement the mitigation requirements of the Housing Ordinance including the requirements for developing Alternate Housing Mitigation Plans (AHMPs).	On-going	 The Housing Ordinance provides a menu of options for developers to choose from to mitigate their housing impact. Requirements are outlined for each of those options in the Housing Ordinance. Municipal Code Section 17.136.080 establishes application requirements and approval authority for Alternative Housing Mitigation Plans. In 2024, the Town collected approximately \$215K in Housing Impact Mitigation Fees from the issuance of 18 building permits. An additional 13 building permits were issued in 2024; however, those permits were exempt from the housing mitigation fees (e.g., ADU construction, Affordable Deed-Restricted Housing; Town projects).

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.1.E.1.	Continue to apply zoning standards that allow for special needs housing in Mammoth Lakes to ensure continued compliance with state law. These zoning standards and procedures include reasonable accommodation and allowing transitional and supportive housing, emergency shelters, and accessory dwelling units.	On-going	 The Town completed zoning amendments in 2014 to address compliance with state law for emergency shelters, transitional and supportive housing, assisted living facilities, and group living facilities and continue to monitor changes to state law to ensure on-going compliance. The Town is continuing to apply only the residential zoning standards that apply to other residential units in the same zoning district. Reasonable accommodations are made to development standards as requested for persons with disabilities.
H.1.E.2.	Continue to work with the Kern Regional Center to identify any outstanding housing needs for its clients within the Mammoth Lakes community, assist in identifying available housing that meets those criteria, and consider a rental assistance program to fill the gap between income levels and the cost of housing for persons with developmental disabilities. Collaborate with the Center to implement an outreach program that informs residents within Mammoth Lakes on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, posting information about available services on the Town's website, and providing housing- and services-related educational workshops for individuals and families.	On-going	 The Town will work with Mammoth Lakes Housing, Inc. (MLH) and Kern Regional Center to accomplish this goal. MLH previously worked with the Center to try and secure funding from the State Department of Developmental Services for their 238 Sierra Manor Road 13-unit low-income apartment conversion project (a non-residential to residential conversion project). They were not successful in obtaining that funding but will continue working with the Center as the project moves forward.
H.1.E.3.	The Town shall continue to ensure individuals with disabilities equal access to housing, pursuant to the rules, policies, and procedures in Chapter 17.80 (Reasonable Accommodation) of the Municipal Code.	On-going	 The Community & Economic Development Department is committed to reviewing and processing applications for Reasonable Accommodation to provide appropriate relief from development standards that might create a barrier to providing housing for a disabled or special needs person. These applications are processes at no cost to the applicants.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.1.E.4	The Town shall review its zoning code to ensure compliance with AB 2162 related to allowing supportive housing. The zoning code will be reviewed to assess whether supportive housing is allowed without discretionary review in all zones that allow multifamily housing or mixed-use development, including nonresidential zones as applicable. If it is determined that the allowed uses in the zoning codes are not in compliance with AB 2162 the Town will revise the allowed uses along with corresponding development standards as detailed in AB 2162.	Sep-2021	• The Town reviewed the Zoning Code requirements applicable to supportive housing, and determined that no changes to the zoning code are necessary to comply with the requirements of AB-2162 since multi-family and mixed-use developments are a permitted use in all of the zones that allow supportive housing type of uses (i.e., no use permit or other entitlement is required for the use) and Municipal Code §17.52.290 specifies that "supportive housing is a residential use and is subject only to those restrictions that apply to other residential uses of the same type in the same zoning district." Staff will utilize a checklist to demonstrate that eligible projects meets the eligibility criteria specified in the AB 2162 legislation.
H.1.E.5.	The Town shall review its zoning code to determine whether updates to zoning are needed to comply with the state Employee Housing Act (Health and Safety Code Sections 17021.5 and 17021.6). The Act calls for the Zoning Ordinance to treat employee housing (including farm worker housing) that serves six or fewer persons as a single-family structure and permitted in the same manner as other single-family structures of the same type in the same zone (Section 17021.5). The Zoning Ordinance must also treat employee housing consisting of no more than 12 units or 36 beds as an agricultural use and permitted in the same manner as other agricultural uses in the same zone (Section 17021.6) in zones where agricultural uses are permitted.	Sep-2021	• The Town reviewed the Zoning Code requirements related to the State Employee Housing Act and determined that no changes to the zoning code are necessary to comply with the requirements of this legislation. The Employee Housing Act requires jurisdictions consider housing in an agriculture zone that serves six or fewer persons to be treated the same as a single-family residence (if permitted) and requires housing that consists of 12 units or less, or 36 beds, be considered an agriculture use and be permitted in the same manner (i.e., if a use permit is required for agriculture use, then a use permit is required for the housing use). The only zone that permits agriculture uses is the Open Space zone and a use permit is required for the agriculture use. Single-family residences are not a permitted use in this zone and therefore, the requirement to consider housing for six or fewer persons a single-family residence is not applicable. Housing consisting of 12 units or less, or 36 beds, would require a use permit since agriculture uses require a use permit and would be subject to the same requirements as the agriculture use since the use is considered to be the same. Therefore, no changes to the zoning code are necessary to comply with this requirement.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.1.F.1.	Seek funding to continue the planning process for The Parcel site and process entitlements for the planned development. Continue to engage the community during the master planning process. Housing should be developed on The Parcel during the housing element planning period.	On-going	 Prior to 2024, the following Planning processes related to the Parcel affordable housing development were completed or initiated: The Town purchased the ~25- acre site in March 2018 for \$6.5M (\$260K/acre). A conceptual land use planning exercise ("Plan the Parcel") was completed in December 2019 thereby providing the framework for the master planning efforts. The Parcel Master Plan was approved in January 2021 allowing for up to 580 affordable units on the Parcel and establishing the zoning for the site. The Town and Pacific West Communities, Inc. ("PWC") (Parcel Developer) entered into a Disposition and Development Agreement in October 2021 to develop the site with up to 450 affordable residential units. Building permits for The Sawyer (Parcel Phase 1) were issued in May 2022 for 81 units (80 affordable units and 1 manager's unit). A tentative map was approved in May 2022 to subdivide the site into 14 lots for future affordable housing uses and 3 lots for open space, parks, and public street dedications. The Kingfisher (Parcel Phase 2) design review entitlement was approved in June 2022 for 148 units (146 affordable units and 2 manager's units). In 2024, the Town completed, or made progress on, the following Planning and/or Building processes:

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.2.A.1.	Continue to dedicate appropriate funds to fund affordable and workforce housing programs, and the work of Mammoth Lakes Housing, Inc., the Town, and other groups to meet housing needs.	On-going	 The annual dedication of TOT revenues to fund housing programs is 0.85 points (of 13 points). In addition to the dedicated TOT revenues, the Town provided, or allocated, approximately \$30M over the past five years to the following housing projects and programs: (1) Creative housing solutions (i.e., public/private partnerships, conversion of units); (2) Small-site affordable housing development (i.e., 60 Joaquin Rd, 377 Manzanita Rd, 362 Chaparral Rd); (3) MLH's 238 Sierra Manor Road 13-unit low-income apartment conversion project; (4) Bridge program (<i>conversion of market-rate to affordable units</i>); (5) Parcel phases 1 and 2; and (6) Innsbruck Lodge Affordable Housing Homekey Project (<i>conversion of the existing hotel into 15 affordable units and 1 manager's unit</i>). In 2024, the voters passed Measure L to increase the TOT tax by two percentage points (raised to 15%). Measure L was passed as a General Tax in the November election and in January 2025 the Town Council committed 100% of the funds raised through Measure L to workforce housing initiatives under the Housing Now! umbrella. It is estimated that Measure L will raise ~\$2.5M annually for housing projects and programs.
H.2.A.2.	Continue to pursue available grant funds, in cooperation with Mammoth Lakes Housing, Inc. and other partners, to support and facilitate the provision of workforce housing and housing affordable to lower income households. In particular, the Town will seek State and Federal funding specifically targeted for the development of housing affordable to extremely low-income households.	On-going	 The Town and MLH continue to pursue grant funds to support housing programs and regularly review and respond to NOFAs at they are released. The Town applied for, or were awarded, the following housing related grants in recent years: The Town was successful in obtaining a CDBG Housing Rehabilitation grant for the Access Apartments project in the amount of \$3M in November 2022. In June 2024, HCD expressed interest in providing an additional \$4.2M to the project and the Town completed the amendment in July 2024, thereby committing \$7.2M in CDBG funds to the project. The additional CDBG funds allowed for MLH to forego a \$4.2M grant from the HOME program for the project, which has allowed for simplified regulatory requirements since there are only funds from one program and not multiple programs. Awarded a \$500K CDBG grant for mortgage assistance in July 2023. Awarded \$490K in Permanent Local Housing Allocation (PLHA) grant funds in June 2023 for mortgage assistance to households earning up to 120% AMI. The Town applied for approximately \$140,000 in additional PLHA funding in December 2024. Awarded approximately \$60M in tax credit bonds and tax exempt financing for the Parcel Phases 1 and 2.2 Repaid first-time homebuyer (FTHB) loans from various grant programs (e.g., BEGIN ReUse, HOME, CDBG) continue to be reinvested into new FTHB loans.
H.2.A.3.	The Town will work with MMSA on a pilot program to develop a model policy for employers to provide first and rental deposit which would be re-paid through payroll deduction. Outreach efforts will be made with employers to provide education and to gather information to help create the program.	12/1/2024	• Not yet started. The feasibility of such a pilot program will be analyzed during the term of the current Housing Element (2019-2027). The Town will work with MLH and Mammoth Mountain Ski Area (MMSA) to accomplish this action.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.2.A.4.	The Town will gather research and data to support a program that builds upon the existing Homebuyer Assistance program through Mammoth Lakes Housing, Inc. to assist moderate and middle-income households, up to 200% AMI with down payment assistance or assistance with second mortgages. The Town will also work with employers to assist employees and learn from existing employers with current programs (MMSA, Water District, MLH assistance).	Dec-2020; On-going	• The Town, with a recommendation from MLH, funded a missing-middle loan program in 2019 with \$101K to provide a minimum of two low-interest deferred payment loans to households earning between 81-120% AMI. This program has not been successful and is currently on-hold while the Town considers various options for how to best leverage the funds. One reason for this programs lack of success is the high price of market-rate housing. The high prices create a gap between what the local workforce can afford and the market-rate prices, and the gap is too large to be closed by the downpayment assistance program on its own. The Town's Bridge program aims to assist in closing the affordability gap by acquiring existing market-rate units and reducing the sales price to an affordable price for households earning 120%-150% AMI. As of the end of 2024, eight (8) units have been sold to eligible households, of which three (3) have received additional downpayment assistance using BEGIN ReUse, PLHA, and Town funds for the purchase of the units. Five (5) units were acquired using Bridge program funds in 2024.
H.2.A.5.	Continue to explore placing a dedicated local tax initiative on the ballot in Mammoth Lakes to fund affordable housing. If passed the tax would provide a dedicated local funding source for affordable housing.	Nov-2024	 In 2020, the Town considered a ballot measure for the November general election to increase the TOT amount by 1% to be used specifically for affordable housing, but due to the unknown long-term economic impacts associated with COVID-19, the ballot measure was postponed. In late-2023, the Town imposed a moratorium on the issuance of new short-term rental (STRs) certificates to provide an opportunity for staff to study the impacts of STRs on the community. An outcome of that research was the identification of the need for a dedicated local funding source for workforce housing and staff was directed to place a ballot measure on the November 2024 general election ballot for an increase in the TOT amount by up to 2% that will be committed to workforce housing. The ballot measure, Measure L, was on the November 2024 ballot and proposed increasing the TOT tax by two percentage points to 15%. The ballot measure was approved by 63.75% of the voters and became effective on January 1, 2025. Measure L was passed as a General Tax and in January 2025 the Town Council committed 100% of the funds raised through Measure L to workforce housing initiatives under the Housing Now! umbrella. It is estimated that Measure L will raise ~\$2.5M annually for housing projects and programs. Separate from Measure L funds, the Town Council has committed to allocating additional TOT revenue towards housing.
H.2.A.6.	The Town will work to maintain the affordability of mobile homes in Mammoth Lakes by looking for funding sources for improvement of mobile homes and mobile home parks. The Town will reach out to mobile home park owners to look for ways that they can work together to maintain mobile homes as an affordable housing type in Mammoth Lakes.	On-going	 The Town has previously been awarded grant funding intended for rehabilitation (\$700K in 2017 CDBG funds) but had limited success in finding eligible households and the grant expenditure period ended in 2021. The Town continues to work with MLH and mobile home park owners to maintain mobile homes as an affordable housing type and to look for additional funding sources for the rehabilitation of mobile homes.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation							
H.2.D.1.	As part of implementing the Community Housing Action Plan, work with affordable	On-going	• Action strategies addressing the conversion of existing units to ownership or rental opportunities for the workforce were included in the Community Housing Action Plan: Live, Work, Thrive (CHAP).							
	housing developers to acquire and renovate units that can be added to the workforce housing inventory. Program creation will include an evaluation of program costs, benefits, and opportunities.				 In 2021, the Town and MLH launched the Bridge program aimed at acquiring existing market-rate units that are then resold to local workforce households at an affordable price (120%-150% AMI). The program was launched in November 2021 and has been successful in acquiring 12 units as of March 2025. Of those, nine (9) have been sold to income qualified households and MLH continues to work on selling the other units. Staff continue to look for additional units for the program. 					
			 In 2024, MLH began construction on their 238 Sierra Manor Road apartment project. The project will convert an existing commercial property into 13 rental apartments units targeting households earning up to 120% AMI. The Town and MLH were awarded \$7.2M in grant funding for the project from the CDBG program and the Town and Mono County have committed an additional \$2.7M towards this project. The target occupancy date is summer 2025. 							
									entity in 2022. The site is proposed to be developed with a 4-unit planned unit developmen be sold at an affordable price with a deed-restriction in place to ensure the long-term affor began in 2023 and the majority of the construction work was completed in 2024. The units	• The Town purchased a vacant 0.20-acre site in 2021 and completed the procurement process to bring on a design-build entity in 2022. The site is proposed to be developed with a 4-unit planned unit development (PUD) in which the units will be sold at an affordable price with a deed-restriction in place to ensure the long-term affordability of the units. Grading began in 2023 and the majority of the construction work was completed in 2024. The units will be available for sale in early-2025.
			• MLH and the Town were successful in a Homekey grant award for the acquisition and conversion of the Innsbruck Lodge into a 16-unit affordable rental project (15 affordable units and 1 manager's unit). Acquisition was completed in August 2022 and construction began in late-2022. Six of the units were completed in May 2024 and the remaining 9 units will be completed in early-2025. The project experienced significant construction delays due to nationwide electrical equipment shortages.							
H.2.D.2.	As part of implementing the Community Housing Action Plan, explore the possibility of instituting a long-term rental housing inspection program to ensure proper maintenance and safety of tenants in long- term rentals in Mammoth Lakes.	TBD	• Not yet started. The feasibility of such a program will be analyzed during the term of the current Housing Element (2019-2027)							
H.2.E.1.	As part of implementing the Community Housing Action Plan, which includes the Community Housing Action Plan and the Housing Needs Assessment completed in 2017, continue to implement potential strategies to incentivize and encourage upgrades of existing multi-family rental properties, and how code enforcement techniques may be improved and used to correct building violations that pose a threat to residents' safety or wellbeing.	On-going	 The Town and MLH are working to build relationships with multi-family rental property owners to encourage them to upgrade and maintain their rental properties. The Town's Code Compliance officer and MLH have been active in investigating substandard housing complaints and working with the property owners to remedy the situation. MLH has established a relationship with CA Indian Legal Aid service to assist tenants. MLH previously hosted a series of free landlord-tenants' rights workshops to assist in educating owners and tenants of their rights. 							

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.2.E.2.	Establish a landlord/tenant matching program to increase opportunities for seasonal employees to stay year-round. Could also include a job matching component.	7/1/2019; On-going	 In 2019, the Town committed \$149K to fund a pilot program with the Chamber of Commerce to establish a workforce housing program that aims to connect renters with rental owners / homeowners with rooms to provide housing. The Chamber program still exists, but has been largely replaced by the Lease to Locals program. The Town, working together with Placemate, launched the Lease to Locals program in July 2024 with a commitment of \$450K. The program provides cash incentives ranging from \$2,000 to \$18,000 to homeowners who lease their homes, or rooms in their homes, to qualified local tenants with the goal of converting underutilized properties into long-term and seasonal leases. The goal of the program was to unlock approximately 40 existing homes for local tenants by mid-2025. As of the end of 2024, five properties had been successfully leased by local tenants. Placemate continues to do additional outreach and marketing to increase the success of the program.
H.2.G.1.	As part of implementation of the Community Housing Action Plan, work with Mammoth Lakes Housing, Inc., study and develop procedures that will avoid the inadvertent loss of deed-restricted units, including: • Development of priorities for a rental deed restriction instrument. • Development of a more effective monitoring program for existing deed restricted units, including a system of enforcement and penalties for illegal conversion of deed-restricted units.	Dec-2021; On-going	 The Town previously sent letters to the 25 deed-restricted properties that the Town is tasked with monitoring to determine whether the units are in compliance with the existing deed-restrictions. Through this outreach, the Town was made aware of seven properties (7) where the deed restrictions had been previously rescinded for various reasons and are continuing to work with the owners of the remaining properties to ensure compliance. In addition to the Town monitored units, MLH monitors approximately 40 additional deed-restricted units and annually monitor the occupancy. Other improvements related to the enforcement of deed-restricted units include: (1) An updated deed restriction instrument has been implemented that helps to alleviate some issues encountered with previous versions; and (2) a Revolving Loan Fund using a portion of the Town's Housing Mitigation Fee Fund has been successfully used to buy back deed restricted units.
H.2.G.2.	Continue to work with Mammoth Lakes Housing, Inc. and the Revolving Loan Fund (RLF) to assist in buying back existing deed restricted units in an effort to maintain these units. Explore the expansion of funding limits on the RLF and other appropriate funding sources in an effort to help ensure no existing deed restricted units are lost.	On-going	 The Revolving Loan Fund (RLF) is used annually to buy back deed restricted units. The RLF was established in 2013 with a financial commitment of \$300K from the Town, which was subsequently increased to \$600K in 2019 and to \$1M in 2023. Mono County has committed an additional \$300K to the program, should it be needed. One 50% AMI deed-restricted unit was purchased using the RLF in 2024. MLH continues to work with households from their homeownership waitlist to find an income eligible household for the unit. The additional deed-restricted units created under the Bridge program are eligible for assistance from the RLF should there be a need to buy back the unit in the future to ensure it remains affordable.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.2.H.1.	Use the results of the 2017 Housing Needs Assessment conducted by Mammoth Lakes Housing, Inc. to create a program aimed at increasing the supply of housing for winter and summer seasonal employees, including cooperative efforts with MMSA and other major local employers to house their employees.	On-going	 In 2024, the Town made progress on increasing the supply of housing available to the workforce through the implementation of the following programs and projects: (1) continued work efforts for the development of the Parcel (occupancy of the initial 81-units was achieved in December 2024); (2) worked with developers to utilize the Town Density Bonus Program aimed at removing barriers to the development of workforce housing by allowing for more flexible development standards; (3) implemented the Bridge program in partnership with MLH aimed at increasing the supply of workforce housing by purchasing market-rate units that are then converted to affordable ownership units; (4) maintained the inventory of TOML employee housing units (six units); (5) launched the Lease to Locals program to unlock existing homes for local tenants; and (6) discussed with property owners and development. MLH began construction on their 238 Sierra Manor Road 13-unit affordable apartment conversion project and continued construction on their 16-unit Homekey hotel-to-residential conversion project. Both projects are expected to be completed in 2025.
H.4.B.1.	Consider changes to the Development Impact Fee schedule to reduce or eliminate fees for developments in which at least five percent of units are affordable to extremely low-income households. To be eligible for reduced or waived fee, the units shall be affordable by affordability covenant. The waiving or reduction of service mitigation fees may also be considered when an alternative funding source is identified to pay these fees.	2024-2025	 Not yet started. The Town began work on the update to the DIF and Housing Fee Nexus Study in 2021 and expect to complete the update in 2025. After that work is completed, changes to the DIF schedule to reduce or eliminate fees for various affordable housing projects will be analyzed to determine the impact those changes would have.
H.4.D.1.	Accessory dwelling units (ADU) can be an affordable housing option and can help meet the needs of many residents in the Town. To ensure consistency with state law (Assembly Bill 2299/Senate Bill 1069 and Assembly Bill 494/Senate Bill 229) and implement community goals, the Town shall review standards and revise as necessary to facilitate the development of ADUs.	Dec-2019; On-going	 The Town updated its ADU ordinance to be consistent with the amendments to State law related to ADUs that were adopted as part of the State's 2019 housing bill package in late-2019 and completed a subsequent amendment in 2021 to clarify conflicting and/or confusing code language and improve the usability of the ADU regulations by clearly articulating the requirements for each type of ADU. Additional amendments were completed in January 2023 to reflect changes in State ADU laws adopted in 2022 and additional amendments will be completed in 2025 to reflect the 2024 changes to State ADU laws. The Town continues to monitor changes to state law to ensure on-going compliance and review the Town's regulations to ensure they are easy to understand and implement.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.4.D.2.	Promote development of accessory dwelling units (ADU) by increasing awareness regarding the ability to create accessory dwelling units on single-family residential properties, exploring variances (e.g. side yard setbacks) to make it easier to fit ADUs on some lots, and establishing a goal for a desired number of ADUs to be built. The Town will also offer incentives to develop ADUs in exchange for long-term rental contracts.	Dec-2024; On-going	 These program components were included in the CHAP. The Town continues to work on the development of a program t incentivize ADU creation and implementation of the program is expected within the term of the current Housing Element (2019-2027).
H.4.E.1.	Continue to monitor the Town's DIF ordinance to assure that impact fees do not create an economic impediment that deters construction of housing needed to meet the Town's Regional Housing Needs Allocation or workforce housing objectives. If an economic impediment is discovered, Council will take appropriate actions to mitigate it.	On-going	 An updated DIF schedule was adopted in 2015, which resulted in lower fees for all projects and an update to the DIF ordinance was adopted in 2019, which reduced the DIF fees for small units by classifying studio and 1-bedroom units as a half unit for the purposes of calculating DIF fees. Additionally, DIF fees for ADUs are calculated in accordance with State law, and ADUs that are less than 750 sq. ft. are exempt from DIF fees and ADUs that are equal to or greater than 750 sq. ft. are charged an amount proportionate to the square footage of the primary dwelling unit. Staff continues to monitor the DIF fees and began work on the update to the DIF and Housing Fee Nexus Study in 2021. The update is expected to be completed in 2025.
H.4.E.2.	To address constraints to the availability of long-term rental housing associated with short-term rentals the Town will establish a program identifying methods to mitigate the issue. Components of the program may include waiving fees for illegal short-term rentals owners who commit to restricting their properties as long-term rentals, creating an impact fee levied on short-term rentals that would go towards preserving or creating long-term rental housing, and conducting a nexus study to further study how short-term rentals are impacting the rest of the housing market.	Mar-2024; On-going	 In late-2023, the Town imposed a moratorium on the issuance of new short-term rental (STRs) certificates to provide an opportunity for staff to study the impacts of STRs on the community. Aspects of the work program included (1) the formation of an STR Committee comprised of community members from various employment sectors that were tasked with providing recommendations to the Town Council to address the ongoing housing issues and (2) completion of an ST Study to (a) assess the association between the prevalence of STRs in the market and the availability and affordability of long-term housing, and (b) provide recommendations regarding potential updates to the Town's STR policies and programs. The Town Council rescinded the moratorium in March 2024 upon the adoption of Code changes that implemented the Certified Properties program and other requirements addressing impacts from STRs. The outcomes of the moratorium were: (1) The implementation of the Certified Properties program to assist with the management of STRs. The goal of the Certified Properties program is to provide better oversight of STRS and to address various quality of life issues related to STRs. The program will help address safety issues for the renters and impose enhanced penalties and "time-outs" for violators. The program shifts the responsibility of managing the unit and ensuring it is not disruptive to the community to the property owner, rather than to a management company. (2) Consideration and implementation of the recommendations from the STR Committee. Those recommendations included: (a) a ballot tax measure to fund housing programs (<i>Measure L approved in November 2024 to increase</i>

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
			July 2024 to provide subsidies to property owners who rent their units long-term); (c) a housing down payment purchase program (not yet implemented or developed); (d) and consideration of zoning changes to the RMF-2 zoning designation (not recommended for implementation).
			 Staff will continue to study how STRs are impacting long-term housing and to consider the implementation of additional programs and policies to address the housing issues.
H.5.B.1.	Provide information regarding fair housing practices at the Town of Mammoth Lakes offices and website, the Mammoth Lakes Community Center and Library, and the Mono County offices located in Mammoth Lakes.	On-going	• This information continues to be provided and is available through both the Town and MLH websites and at the respective offices. MLH previously hosted a series of free legal aid clinics in 2019 which covered Fair Housing.
H.5.C.1.	Continue the process for addressing Fair Housing inquiries and complaints, including referral of complaints concerning deed- restricted units to Mammoth Lakes Housing, Inc. and other complaints to the California Department of Fair Housing and Equal Opportunity. As part of the process, the Town shall investigate potential partnerships with rural or other fair housing organizations that may be able to provide additional resources to the Town. The Town will ensure that information regarding the Town's process of addressing complaints is included in the public information distributed regarding fair housing practices (Action H.5.B.1).	On-going	 The Town and MLH established a process to address fair housing complaints and inquiries in 2014 and continue to implement this process. MLH has established a relationship with CA Indian Legal Aid service to assist tenants.
H.6.B.1.	The Town will continue to enforce the California Green Building Standards Code, Title 24, Part 11 of the California Code of Regulations (CALGreen).	On-going	The Town is enforcing the California Building Code requirements.

Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H.6.C.1.	Continue to coordinate with Inyo Mono Advocates for Community Action (IMACA) and Mammoth Lakes Housing, Inc. to increase the number of weatherization retrofits and other upgrades of owner occupied and non-transient rental housing units in Mammoth Lakes. The Town will work together with IMACA and Mammoth Lakes Housing, Inc. to apply for CDBG or other grant funding to conduct retrofits. Additional strategies to accomplish this may include development of an informational flyer or brochure, posting information on the Town's website, and direct outreach to property owners.	On-going	 The Town previously had CDBG grant money and loan funding available for the rehabilitation of income-eligible households (restricted to households earning 80% AMI or below); however, that grant ended in 2021. The Town will continue to work with IMACA and MLH to fund weatherization retrofits and other eligible improvements and apply for additional grant funding.

GENERAL COMMENTS

The Town of Mammoth Lakes continues to make progress towards meeting the goals and objectives identified in the Housing Element and highlights of 2024 include:

• The Town continued to dedicate extensive staff time and funding towards the development of "The Parcel." The "Parcel" site was purchased by the Town in 2018 and is a significant 25-acre property centrally located in the Town and entirely restricted for workforce housing uses. Construction of the initial 81 units (80 units affordable to households earning <80% AMI) was completed in 2024 and full occupancy was achieved in December 2024. Funding for Phase 2.2 (76 units) was awarded in December 2023 and construction began in summer 2024. The Town and its development partner continue to look for additional funding for the subsequent phases.

• The voters of Mammoth passed Measure L in the November 2024 election to increase the TOT tax by two percentage points to 15%. All of the proceeds from the increased tax percentage points (i.e., 2%) will be committed to housing projects and programs under the Housing Now! umbrella. This is in addition to the annual dedication of 0.85 points (of 13 points) in TOT revenues towards housing programs.

• 94 affordable workforce housing units (80 at the Parcel, 6 at the Innsbruck Lodge, and 8 Bridge units) have been achieved as a direct result of the Town committing funding, beginning in 2021, towards workforce housing production, and an additional 30 units (9 at the Innsbruck Lodge, 13 at Access Apts, 4 at 60 Joaquin, and 4 Bridge units) will be provided in 2025 with additional units following in subsequent years (Parcel Phases 2 and 3, Snowcreek VIII, Bridge Units).

Attachment 2: Detailed List of Application Requests

The following summarizes the status of applications that have been submitted or approved during the period of January 1, 2024 - December 31, 2024.

- A. Adjustments -
 - 1. ADJ 24-001: 317 John Muir Road A 20% reduction of the front yard setback requirement to allow for the construction of a new single-family residence; Ongoing at the end of 2024
 - 2. ADJ 24-002: 445 East Bear Lake Drive A 20% reduction of the rear yard setback requirement to allow for the construction of a new large addition for the existing single-family residence; Approved 5/7/2024
 - ADJ 24-003: 280 Le Verne Street A 5% lot coverage increase for the construction of a 3,554-square-foot single-family residence and a 1,030-square-foot attached accessory dwelling unit; Approved 6/18/2024
 - 4. ADJ 24-004: 419 Joaquin Street A 5% lot coverage for the addition of one exterior parking space located within the front setback of the existing duplex property; Approved on 8/19/2024
 - 5. ADJ 24-005: 345 Pine Street A 20% reduction of the front setback to allow for the construction of a new single-family residence; Ongoing at the end of 2024
 - 6. ADJ 24-006: 396 Hillside Court A 20% reduction of the side and rear setback for a new secondary driveway to the existing single-family residence located on the adjacent property (under same ownership) addressed 382 Hillside Drive; Ongoing at the end of 2024
 - ADJ 24-007: 504 Hillside Drive A 20% reduction of the front yard and side yard setback requirement to allow for the construction of a new covered entryway for the existing single-family residence; Approved 10/16/2024
 - 8. ADJ 24-008: 388 Mammoth Knolls Drive A 20% reduction of the front and side yard setback requirement to allow for the construction of an attached two-car garage for the existing single-family residence; Approved 12/4/2024
 - 9. ADJ 24-009: 190 Grindelwald Road A 20% reduction of the" front yard setback requirement and for a 10% increase of the building height maximum for the garage to allow for the construction of a new single-family residence; Ongoing at the end of 2024
 - 10.ADJ 24-010: 4 St. Anton Circle A 20% reduction of the side yard setback requirement to allow for the construction of an attached onecar garage for the existing single-family residence; Ongoing at the end of 2024
- B. Administrative Design Reviews -
 - 1. ADR 23-002: 145 Le Verne Street New single-family residence in

the Bluffs Subdivision; Approved 1/18/2024

- 2. ADR 24-001: 485 Le Verne Street New single-family residence and attached garage; Approved 6/22/2024
- 3. ADR 24-002: 248 Fir Street New single-family residence and detached accessory dwelling unit; Approved 5/20/2024
- 4. ADR 24-003: 280 Le Verne Street New single-family residence and attached accessory dwelling unit; Approved 6/18/2024
- 5. ADR 24-004: 480 Fir Street New single-family residence in the Bluffs Subdivision; Ongoing at the end of 2024
- 6. ADR 24-005: 481 Old Mammoth Road Re-paint permit for Vons; Approved 5/30/2024
- 7. ADR 24-006: 205 Juniper Road New single-family residence and attached garage; Approved 9/16/2024
- 8. ADR 24-007: 2252 Meridian Boulevard Re-paint permit for St. Moritz Villas; Approved 8/5/2024
- 9. ADR 24-008: 2963 Main Street Re-paint permit for Shilo Inn; Approved 8/20/2024
- 10.ADR 24-009: 65 Juniper Court New single-family residence and attached garage; Ongoing at the end of 2024
- C. Administrative Permits -
 - 1. AP 24-001: Capybara Empanadas Mobil business vendor;
 - 2. AP 24-002: Kittredge Sports Temporary outdoor sales permit;
 - AP 24-003: Footloose Outdoor Sale Temporary outdoor sales permit;
 - 4. AP 24-004: Embers BBQ Mobil business vendor;
 - 5. AP 24-005: Seasonal Sales Area Temporary outdoor sales permit;
- D. Building Permits A total of 897 building permits were applied for in 2024 and 805 building permits were issued.
- E. Business Tax Certificates A total of 335 business tax certificates were applied for in 2024 and 313 were approved.
- F. Concept Reviews/Planning Services Review No Concept Reviews or Planning Services Reviews were processed in 2024
- G. Design Review -
 - 1. DR 23-004: 540 Old Mammoth Road Proposed commercial building; Approved 6/12/2024
 - DR 23-005: 126 Old Mammoth Road Proposed renovation of existing Mammoth Mall; Approved 4/10/24
 - 3. DR 23-006: 1344 Tavern Road Proposed Town Civic Center; Approved 4/10/24

- 4. DR 24-001: 6060 Minaret Road New resort Condominium development project located within the North Village Specific Plan area; Approved on 4/10/24
- DR 24-002: 100 College Parkway Daycare Relocation of 6 modular units to 100 College Parkway for a childcare center; Approved 4/3/2024
- DR 24-004: 100 College Parkway MACC Proposed new design for the Mammoth Arts and Cultural Center project; Ongoing at the end of 2024
- 7. DR 24-005: 94 Old Mammoth Road Exterior remodel; Approved 11/26/2024
- 8. DR 24-006: 54 Mono Street 6-unit apartment development; Ongoing at the end of 2024
- 9. DR 24-007: Mammoth Brewing Patio New patio and wall design for Mammoth Brewing; Ongoing at the end of 2024
- 10.DR 24-008: Mammoth Hospital Expansion Proposed hospital expansion; Ongoing at the end of 2024
- 11.DR 24-009: Parcel Phase 3 New affordable town-home housing development; Ongoing at the end of 2024
- H. District Zoning Amendments
 - 1. DZA 24-001: Outbound Hotel Clearwater Specific Plan Amendment to revert the Clearwater Specific Plan area back to the underlying commercial Old Mammoth Road (OMR) zoning designation; Ongoing at the end of 2024
- I. Film Permits Two (2) Film Permit applications were processed in 2024
- J. General Plan Amendments
 - 1. GPA 24-001: Outbound Hotel; Ongoing at the end of 2024
- K. Interpretation Requests No Interpretation Requests were processed in 2023
- L. Lot Line Adjustments -
 - 1. LLA 24-001: 49 and 61 Meadow Lane Merge two parcels in the Residential Single-Family Zone; Approved on 11/25/2024
 - 2. LLA 24-002: Fir Street Properties Split 465 Fir Street between the neighboring lots; Approved on 8/21/2024
 - 3. LLA 24-003: 540 Old Mammoth Road Adjust Lot 13 and Lot A; Ongoing at the end of 2024
 - 4. LLA 24-004: Mammoth Hospital Merge two adjacent lots on the Mammoth Hospital campus; Ongoing at the end of 2024
- M. Master Sign Plans -
 - 1. MSP 23-001: 164, 202, and 248 Old Mammoth Road Master Sign Program for the Outbound Hotel; Approved 4/10/2024

- N. Outdoor Sales Permits No Outdoor Sales Permits were processed in 2024
- O. Sign Permits –16 sign permits were processed in 2024
- P. Time Extension Requests-
 - 1. TER 24-001: 94 Berner Street Request for a one-year time extension for TTM 21-21-003, UPA 21-004, and DR 21-004; Approved on 2/14/2024
 - 2. TER 24-002: 3789 Main Street Request for a three-year time extension for TTM 22-003 and DR 22-002; Ongoing at the end of 2024
- Q. Tentative Tract Maps
 - 1. TTM 23-002: 1 Fairway Drive Proposed condominium subdivision for lots 1-3 of final map for Snowcreek VIII; Approved on 9/11/2024
 - 2. TTM 24-002: 6060 Minaret Road Development of a five-story, resort condominium use within the North Village Specific Plan area; Approved on 4/10/24
 - 3. TTM 24-003: Outbound Hotel The conversion of 20 newly constructed hotel "villas" into condominium-hotel units that may be sold individually; Ongoing at the end of 2024
 - 4. TTM 24-004: Parcel Phase 3 New affordable town-home housing development; Ongoing at the end of 2024
- R. TOT Compliance Cases- 30 TOT compliance cases were initiated in 2024
- S. Tree Removal Permits 56 tree removal permit applications were submitted in 2024. Some tree permits included multiple trees, and many trees were removed for fuel reduction purposes to provide defensible space around residences and other structures. Other trees were removed because they were dying or deemed hazardous by a certified arborist.
- T. Use Permit Applications
 - UPA 23-002: 1574 Old Mammoth Road Proposed AT&T Cell Tower; Approved 1/31/2024; Appealed to Town Council; Ongoing CEQA legal dispute
 - 2. UPA 24-001: 6060 Minaret Road 6060 Minaret Road Development of a five-story, resort condominium use within the North Village Specific Plan area; Approved on 4/10/24
 - 3. UPA 24-002: 345 Pine Street Bluffs The construction of a new single-family residence with an attached garage located in the Bluffs subdivision; Ongoing at the end of 2024
 - 4. UPA 24-003: 54 Mono Street 6-unit apartment development; Ongoing at the end of 2024
 - 5. UPA 24-004 Outbound Hotel The conversion of 20 newly constructed hotel "villas" into condominium-hotel units that may be sold individually; Ongoing at the end of 2024

- U. Variances -
 - VAR 23-001: 13 Davison Road Reduction of the front and rear setbacks to allow construction of a new single-family residence; Approved on 2/14/2024
 - VAR 24-001: 682 Canyon Blvd Reduction of the front and east side yard setback to allow the construction of an enclosed access stairway to replace an existing exterior access stairway; Approved on 5/8/2024
 - 3. VAR 24-002: 65 Juniper Court Increase in building height to 25 feet above the grade of the adjacent street for a new sing family residence; Ongoing at the end of 2024
- V. Zoning Code Amendments
 - 1. ZCA 24-001: Lodging use cleanup; ADU, SB-9, and WELO updates; Small accessory structure standards; Ongoing at the end of 2024



Town of Mammoth Lakes

2024 Year in Review

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INTRODUCTION ROB PATTERSON, TOWN MANAGER

2024 was a year of transition for the Town organization. A change in leadership is always difficult for an organization to navigate and success involves a focused effort from the new leadership and the team. In addition to general leadership style changes, there was a focus on development of a community-first mindset, interdepartmental support, strategic planning, and elevating expectations of subject matter experts in various fields. The leadership team performed a bottom to top evaluation of organizational effectiveness, looking for opportunities for improvement. The effort resulted in an improvement in employee engagement as well as opportunities to solve pain points, increasing the efficiency and effectiveness of the organization.

The organization continues to function at a very high level of achievement as is evidenced in the accomplishments of 2024. The entire organization is focused on optimizing opportunities for the community, from our budget practices, providing unallocated revenue to reinvest in the community to strategic planning, designed to identify opportunities on the horizon, to staff planning to make us ready when opportunities do arise. The team is focused on doing the most they can for the community we serve.



You will read about many successes in the coming pages, things we are truly proud to have achieved. The organization continued to focus on Housing needs, trying new avenues to address the problem through leasing opportunities, while maintaining work on The Parcel and Bridge programs and creating dedicated funding sources, like Measure L, to achieve it all. A broad breath of capital improvement projects was completed to provide infrastructure and maintenance that will serve to improve our visitor and resident experiences. Departments focused on executing their mission of providing for the community through enhancements to services provided and public safety. The team remains responsive to the challenges we face and is ready to provide effort and resources to address them.

The staff success and all of our accomplishments would not be possible without the leadership of the Town Council. In addition to providing policy direction, strategic planning and the voice of the community, the Town Council is supportive and encouraging of our efforts. From top to bottom the entire organization of the Town of Mammoth Lakes is focused on service to the residents of the Town of Mammoth Lakes, our businesses, visitors and partners. I could not be more proud of this effort and our opportunity to serve.



HOUSING ACCOMPLISHMENTS



HOUSING NOW!

The Housing Now! initiative made significant progress in 2024, creating new units available for occupancy in Mammoth Lakes. The program also advanced several housing initiatives and unit availability on a number of individual projects.

THE PARCEL

The Sawyer, or Phase I of The Parcel, was completed in summer 2024 and the 81 units were fully occupied in the same year. All of the units, with the exception of the manager's unit are occupied by local households earning between 30% - 80% AMI (equates to \$23,000 - \$60,000 for a household of two). The Kingfisher, or Phase II of The Parcel, broke ground in August and has a target completion date of fall 2026. These units will also be available to households earning between 30%-80% AMI. Together, these two phases will provide 156 affordable rental units, plus two manager's units.



LEASE TO LOCALS PROGRAM

The Lease to Locals program, operated by Placemate, was launched in August 2024 and aims to connect tenants with property owners who wish to lease their properties on a seasonal (5-11 months) to long-term (12+ months) basis in exchange for a financial incentive from the Town. The incentive is in addition to the rental revenue that the owner will collect. In 2024, five properties have been leased through the program with an average subsidy of \$9,200 per property. The first year goal for the program is to assist approximately 40 households.



ACCESS APARTMENTS AND INNSBRUCK LODGE

The Access Apartments project, located at 238 Sierra Manor Road, is an adaptive reuse project being developed by Eastern Sierra Community Housing (ESCH) that will provide 13 affordable, one-bedroom units. Seven of the units will be for households earning up to 80% AMI (equates to \$52,000 for a household of one) and six of the units will be for households earning up to 120% AMI (equates to \$89,000 for a household of one). An additional \$4.2 million in funding was procured from the State Community Development Block Grant (CDBG) program in July 2024 to fill a funding gap and construction began shortly thereafter. The project has a target completion date of fall 2025 and will be owned and operated by ESCH upon completion.

The Innsbruck Lodge Affordable Housing development, located at 913 Forest Trail, is funded through the State Project Homekey program, which is a State-funded program that is intended to assist those who are experiencing homelessness or are at risk of becoming homeless. It provides 15 affordable studio and one-bedroom units (plus one manager's unit) for households earning up to 80% AMI. ESCH is the developer, owner, and operator of the project. Six of the units were completed in May 2024 and the remaining units will be completed in early 2025.



SMALL-SITE DEVELOPMENT UPDATE

The Town's initial small-site development project located at 60 Joaquin Road was largely completed in 2024. The project includes the development of two duplex structures containing a total of four residential units that will be for-sale units available to households earning up to 150% AMI. The units are expected to be listed for sale in early 2025.

BRIDGE PROGRAM UPDATE

The Town, together with ESCH, launched the Bridge Program in late 2021 with the goal of increasing the number of affordable deed-restricted ownership units in the community. The program acquires market rate units that are then resold to individuals at a subsidized rate with a deed restriction in place to ensure they remain in the affordable housing stock for the Town. Five additional units were acquired in 2024 and three were sold, bringing the total number of sold units to eight.

SHORT-TERM RENTAL PROGRAM

The moratorium on the issuance of new Short-Term Rental (STR) certificates ended in March 2024 with the introduction of a Certified Properties program. The program is a new approach to the management of STRs that will provide enhanced oversight intended to address various quality of life issues related to STRs. The program will help address safety issues for the renters and impose enhanced penalties and "time-outs" for violators. The program shifts the responsibility of managing the unit and ensuring it is not disruptive to the community to the property owner, rather than to a management company. Aside from the implementation of the Certified Properties program, the STR Advisory Committee made additional recommendations to the Town Council to address the ongoing housing issues. Those recommendations included: a ballot tax measure to fund housing programs (Measure L), a rental subsidy program (Lease to Locals), a housing down payment purchase program (not yet implemented or developed), and consideration of zoning changes to the RMF-2 zoning designation.

RECREATION ACCOMPLISHMENTS



OFFICE OF OUTDOOR RECREATION (OOR) ACCOMPLISHMENTS

STEWARDSHIP AND TRAIL MAINTENANCE

- Three Summer of Stewardship events were held in 2024. 106 volunteers participated in the events by collecting 190 pounds of trash and conducting trail maintenance on Mammoth Pass and Mammoth Crest, cleaning up the brush along several multiuse paths (MUPs), and constructing new trails from Sherwin Meadows Trailhead to the Meadow Trail.
- 293 volunteers participated in 16 Trashy Thursdays by collecting over 1,000 pounds of trash and 69 pounds of recycling.
- Town staff completed Black Bear Run Trail, the short connector between the Sherwin Meadows Trailhead and the Meadow Trail, and a new boardwalk through an annually wet area along the Mountain View Trail. Staff also performed general trail maintenance on over 30 miles of soft surface trails.
- The Town took over the entirety of the approximately 90-mile winter groomed trail system from the United States Forest Service (USFS). Work included clearing the entire trail network of trees and other hazards, updating wayfinding signage across the entirety of the network and performing numerous tasks related to managing a program of this scale.



FUELS REDUCTION WORK

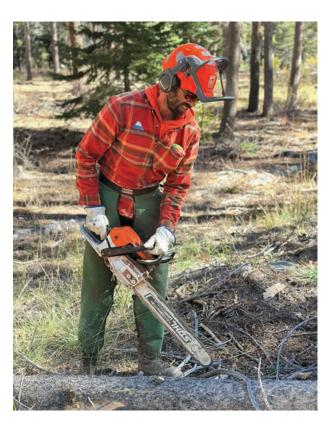
In 2024, staff completed numerous hazard tree reduction projects across nearly the entirety of the Town's MUP network. This included a \$500,000 timber project, in partnership with Mammoth Lakes Fire Protection District, in the Lakes Basin between the art gallery and pack station. All wood was then moved from the site to the area near Horseshoe Lake where it was collected by public wood cutters. Staff removed more beetle infested trees from the Mammoth Creek Parcel and removed rounds to prevent the spread of the beetles. Crews also facilitated SPLAT (an environmentally friendly beetle repellent treatment) in that parcel to help mitigate future infestations. Staff also performed fuels reduction and hazard tree work across the MUPs, Mammoth Creek Parcel, and at The Parcel housing project. And finally, crews developed three new interpretive signs for Mammoth Creek Parcel to highlight the fuels reduction work that occurred in that area and to help educate the public using that path.

E-BIKE SAFETY

The new e-bike ordinance was adopted in December 2023 and provides the Mammoth Lakes Police Department with the ability to enforce speeding or reckless e-bike riding on the Town MUPs. To support e-bike safety, the Town introduced a new e-bike host program and purchased three e-bikes and supplemental safety equipment to allow trained hosts to patrol the MUPs and engage with visitors. Six new "speed measuring devices" were also installed and staff continued its annual effort to "paint" stewardship and appropriate use messaging directly onto the paths.

SHARP TRAILHEAD FACILITIES PROJECT

With both winter and summer recreational use rising in the Sherwins, the Town and Mammoth Lakes Recreation (MLR) are implementing improvements in the area to help protect resources and provide an enhanced user experience. The creation of the new and improved Sherwin Meadows Trailhead is underway and will provide infrastructure for recreationists and their four-legged friends. Restrooms, trash facilities, a bike tool station, interpretive and wayfinding signage, a bear box, a poo fairy station, and an avalanche beacon checker will all be available.







PARKS AND RECREATION DEPARTMENT ACCOMPLISHMENTS

COMMUNITY RECREATION CENTER Officially opening to the public on November 24, 2023, the Community Recreation Center (CRC) has been a game changer for the community by providing community focused recreation programs, events and activities. In its first full year of operations, the CRC welcomed over 40,000 people!

The new indoor LA Kings Ice at Mammoth Lakes realized significant growth, particularly in our established youth, co-ed adult and rapidly growing women's hockey programs. Curling also experienced strong participation with a sold-out league of 13 teams, and with just under 100 people learning to curl. The highlight of the curling calendar was hosting the California Curling Championships in April 2024. It was gratifying to see the community fully embrace the facility by purchasing all the available dasherboard sponsorship spaces around the rink. The Town also welcomed the Los Angeles Department of Water and Power (LADWP), Mammoth Disposal and Snowcreek Resort as major sponsors of the CRC. In the summer, the ice rink was transformed into a 20,000 square foot, three-court gymnasium – the Mammoth RecZone offering a multitude of court sports and the home of the Parks and Recreation Department summer camps. Youth and adults enjoyed playing basketball, volleyball, futsal, pickleball, arena soccer, skateboarding and indoor cricket!

In the fall of 2024, the Town Council formally closed-out Phase I of the CRC and awarded the Phase II contract. The total value of the improvements for Phase II is \$1,846,413 and includes facility-wide rubber flooring, new staff offices and locker/meeting room, admission counters, custom elevated bleachers for installation above the locker rooms, an ADA lift and stairs, netting, exterior lighting, and chiller sound mitigation. Work is expected to be completed in the summer of 2025.









NEW PARK OPENINGS!

The Town completed several park projects in 2024 with some ongoing work planned to be fully completed in the summer of 2025.

Whitmore Track and Ball Fields

Constructed in 2012, the Whitmore Track and sports field has been incredibly popular and heavily used since it opened to the public. Between 2017 and 2021, over 194,000 recreation enthusiasts visited the Whitmore Recreation Area (a 460% increase in visits over five years), representing almost 13,000 unique people. The rehabilitation project conducted in 2024 cleaned and restriped the 9-lane all-weather track surface along with several patches to the rubber surface and synthetic turf. Total investment was \$100,000.

Dog Park

The Town, partnering with the Mammoth Lakes Foundation, sited the community's first off-leash dog park at the intersection of College Parkway and Wagon Wheel Road. The Town received a \$50,000 T-Mobile grant in 2021 and previously allocated an additional \$150,000 for a dog park. A 40-space parking area, restrooms and other amenities were constructed adjacent to the dog park that can also support other nearby uses including the theatre and multi-use path access. Construction began in 2023, and the Town Council officially opened the dog park on November 6. Total project cost was approximately \$1,150,357.



To complement all the improvements made at the CRC, the Town Council allocated funding to rehabilitate Mammoth Creek Park. Improvements will include a large, prefabricated climbing boulder, a planned 20x30 pavilion, multiple shade structures, a custom metal railing, replacement of the large grass area with irrigation (completed in 2024), additional landscaping for screening, and a bouldering park with fall protection. Mammoth Creek Park also welcomed the opening of the Capybara food truck serving authentic Argentinian cuisine.

Park at the Parcel

The Park at the Parcel officially opened to the public on August 7. The Park at the Parcel was designed to meet two community needs. The first was to build an exclusive playground for the on-site childcare facility operated by our partner, Mono County Office of Education. The second need was to build a family park in the center of Town fully accessible to not only residents living at The Parcel, but the many families that live near the park. The park area is just under an acre in size and includes a playground for 2-5 year-olds enrolled in childcare, and a family park incorporating a 5-12 year old Play On!® National Demonstration Site (NDS) playground. The NDS playground includes a domed climbing net, group spinner and arch swing that combined, promote the six key elements of play: balancing, sliding, brachiating, spinning, climbing, and swinging.







2024 SUMMER CAMPS

The Parks and Recreation Department hosted 644 campers supported by 22 staff members over nine weeks of summer camps. These guest comments say it all: "The staff this summer were phenomenal!", "Good leaders and wore my kid out every day!", and "Fun activities and engaged staff, you all did a great job and kept it affordable for families, much appreciated."

Campers got a chance to explore the Sierra by biking, hiking, paddleboarding, skateboarding, swimming, and climbing all over the region. The Department integrated adventure sports with visual and performance arts to provide a holistic camp experience that nurtures both interpersonal and intrapersonal growth. The biggest addition to the program this summer was hosting camps at the new Mammoth RecZone operating within the CRC, which provided necessary protection from the elements and was greatly appreciated during the "monsoon week." Our backpackers continued to enjoy ice cream in the backcountry, our nature campers sponsored by LADWP helped Clean Up the Lake, our Wave Rave skateboarders loved the "indoor skatepark at the CRC", and our bikers shredded miles of trails!

More local children took advantage of the Tony Colasardo Scholarship Fund in 2024. The Town awarded 89 scholarships valued at just under \$13,000. Recipients enjoyed the UK International and Challenger Sports Soccer Camps, several signature summer camps and after school programs, such as Gymnastics, Little Wreckers, and the Spring Bike Squad.





CAPITAL INFRASTRUCTURE ACCOMPLISHMENTS



MAIN STREET LANDSCAPING

The Main Street Landscaping project included installation of irrigation facilities, light earthwork, and in-ground planting of native drought-tolerant trees and plants on both sides of Main Street between Mountain Boulevard to just east of the Main Street and Old Mammoth Road intersection. New irrigation lines use sleeves installed underneath sidewalk and Frontage Road asphalt during the Main Street Sidewalk projects. The project plans were completed in early 2022 and the project was split into two phases.

In May 2022, the Town bid the Main Street Landscaping Phase I project. Bids were opened in June 2022, and no bids were received. After consulting with the Town Attorney, staff began reaching out to contractors to find someone interested in completing the project. After months of searching, negotiating, and working with potential contractors, Town staff received two bids in February 2024. At the April 3, 2024 Town Council meeting, Council authorized the Town Manager to sign a contract with Gray's Grasshopper, the contractor who submitted the lowest of the two bids received. Work began on April 23. Work was completed on September 3, and the project cost \$735,000.





TOWN-WIDE WINTER ANIMATION

The Town Council allocated \$145,000 in 2024 to animate the Town during our busy winter season. Phase I of the project included the animation of the two Town monument signs with garlands, LED warm white lights and small spotlights for enhanced visibility. The two trees at the corner of Old Mammoth Road and Main Street (Footloose Sports) were also rehabilitated and will provide festive winter animation for years to come. After a long hiatus, the Town's Community Tree Lighting Ceremony returned to Mammoth Creek Park.



SUMMER ROAD REHABILITATION AND MULTI-USE PATH PROJECT

In the summer of 2024, the Town completed a \$2.8 million project to rehabilitate several streets and multi-use paths (MUPs) that required preventative maintenance. The project scope of work included the reconstruction of the following streets and MUPs:

Streets: Kelley Road, Silver Tip Lane, Monterey Pine Road – from Majestic Pines Drive to Silver Tip Lane, Majestic Pines Drive – from Monterey Pine Road to NE end, Mono Street and Dorrance Drive – from Joaquin Road to Manzanita Road.

Multi-use paths: Main Street North Side MUP – from 203 North of Old Mammoth Road to the Mammoth Lakes Welcome Center, Old Mammoth Road MUP – from Waterford Avenue to Minaret Road and Mammoth Creek Park West MUP – near the CRC.

The project was fully funded, and expenditures came in under the original budget allocation of \$3,077,113. Total project expenditures were \$2,693,700, which included a \$161,200 reimbursement from Mammoth Community Water District. The remaining funds allocated to this project in the amount of \$383,413 was returned to the General Fund for future projects.





NEW TOWN HALL

In February 2024, the Town Council authorized bonding for the new Town Hall. Staff have been working with HMC Architects since 2022 on designs for the new facility. The project includes a new Town Hall with community spaces and offices for administrative staff. The schematic design also includes plans for an emergency operations center (EOC) for future phasing. The Town Hall project design was approved by the Planning and Economic Development Commission in April and construction began on the foundations, utilities and parking lot in the summer. The new Town Hall is planned to open in late 2026. Funding for the design came from the American Rescue Plan Act (ARPA) in the amount of \$1.9 million. Construction of the project is funded by municipal bonds (\$27 million).





CHILDCARE FACILITY

In 2022, the Mammoth Unified School District notified the Town that it was planning to demolish its modular structures during its renovation construction project at the High School. The Town repurposed some of the modular units for a community childcare center located on the Mammoth Lakes Foundation property at 100 College Parkway. The project utilizes six of the modular buildings to provide an approximately 6,700 square foot structure available for future operations of a childcare center. A contract for construction was awarded in April 2024 and work should be substantially completed in 2025.

2024 SLURRY SEAL PROJECT

Every year Town staff completes road condition assessments of streets and MUPs throughout Town. During the fall of 2023, staff prioritized several streets for slurry seal and striping including Minaret Road, Chateau Road, Old Mammoth Road – from Minaret Road to Club Drive, Meridian Boulevard, Azimuth Drive, Canyon Boulevard and Forest Trail. The project was completed in September.







TOWN FACILITIES EXTERIOR PAINTING PROJECT

In summer of 2023, Town staff documented damaged paint on several Town facilities and created project plans, technical specifications, and special provisions for these facilities. During this process, staff decided it would be beneficial for the Town to create a cohesive, single-color scheme for most Town structures, especially those in parks. This would streamline future maintenance and touch-up work by reducing the number of paints that need to be stocked. Certain buildings will retain their unique color schemes, such as the Community Center, Police Department and Mammoth Lakes Tourism buildings. Colors were selected to blend with our forest aesthetic. Public entrance doors were painted the Town blue to provide cohesion across all Town-owned structures.

This project was completed in August and included repainting the following 21 structures: Pickleball Complex Maintenance Building and Snack Shack, Voodoo Chute Pump House, Mammoth Lakes Community Center, Community Center Tennis Court Restrooms, Mammoth Lakes Tourism Building, Trails End Park Restroom and Pavilion, Mammoth Creek Park East Restroom, Mammoth Creek Park West Restroom, Shady Rest Park Restroom, Shady Rest Park Pavilion, Shady Rest Park Storage Shed, Whitmore Pool Main Building, Whitmore Pool Pump House, Whitmore Track Restrooms, Whitmore Track Maintenance Shed, Whitmore Track Storage Shed, Whitmore Track Pump House, and the Mammoth Lakes Police Department.

CHAPARRAL ROAD EXTENSION

In early 2021, Town Council adopted The Parcel Master Plan, outlining a path forward for the Town to construct multiple affordable housing units at The Parcel. The extension of Chaparral Road was identified as being Phase II of public infrastructure utilizing SB1 funds committed from Mono County's SB1 funding allocation. In June 2022 the Town advertised the Chaparral Road Extension project, which included the connection of Chaparral Road to the extension of Tavern Road within The Parcel project. In addition, a sidewalk, a multi-use path, bus turn-outs, bus shelters, landscaping and utilities were constructed. Work was contracted to Spiess Construction and completed in December 2024.



MUNICIPAL SERVICE ACCOMPLISHMENTS

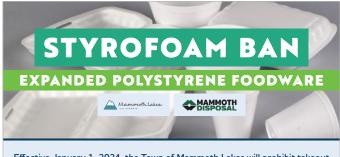


MEAURE L

As part of the work completed by the STR Advisory Committee in 2024, a 2% TOT increase was recommended and presented to voters within the Town of Mammoth Lakes. This initiative, called Measure L, was passed by 63% of voters on November 5. The recommendation from the Advisory Committee was to generate a consistent funding source for the Town's Housing Now! initiatives. The current method of funding is to commit unallocated TOT to Housing Now! during the quarterly budget review. In the last few years, the Town has been fortunate with excess revenue for this purpose; however, that funding is not likely to match the needs of the program in the near future. On January 15, 2025, Town Council adopted a resolution committing all proceeds generated by the Measure L ballot initiative to Housing Now! for the 10-year term, until such time the incremental TOT expires. For the current fiscal year, this represents \$2.8 million.

STYROFOAM TAKEOUT CONTAINER PROHIBITION

The Town's prohibition on Styrofoam foodware went into effect on January 1, 2024. Many restaurants throughout Town complied with the prohibition, however a handful of restaurants took advantage of the grace period allowed by the Municipal Code for the first year of the prohibition. Town and Mammoth Disposal staff conducted outreach throughout the year at the Restaurant Association and visited every restaurant to share information about the prohibition.



Effective January 1, 2024, the Town of Mammoth Lakes will prohibit takeout foodware containers made from expanded polystyrene – commonly known as Styrofoam – pursuant to Municipal Code 8.15.020-8.15.030.

2023 WINTER STORM AFTER ACTION REPORT

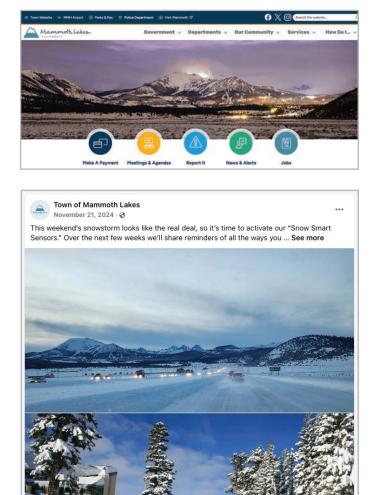
The 2022/23 winter season in the Town of Mammoth Lakes presented an unparalleled challenge, characterized by extraordinary, recordsetting snowfall producing multi-layered incidents causing the Town Manager to proclaim a local emergency. A comprehensive 2022/23 After Action Report (AAR) was completed in 2024. This effort explored and analyzed key events during the 2022/23 winter emergencies such as the decisionmaking process and how each of the agencies worked together on the Town's approach.



COMMUNITY ENGAGEMENT AND PUBLIC OUTREACH

At the beginning of the year, the Town launched its new updated website providing enhanced navigation and functionality for its thousands of users. The homepage was improved with graphic informational buttons, as well as several quick link tabs to some Town Departments and other important information. The Mammoth Lakes Police Department, Parks and Recreation Department and the Mammoth Yosemite Airport all have exclusive Department Headers making these sites distinctive.

The Town increased its outreach efforts through "Community eNews" distributed every Friday to over 1,400 subscribers and "Recreation This Week" sent every Thursday to over 4,400 DaySmart subscribers. The Town's social media presence has also expanded with the contracting of a public communications professional to draft and post an informative, insightful and community-centric social post every Thursday, called our "Social Spotlight." Recent topics included the Housing Now! program, winter Snow Smart driving tips, improvements to the Sherwin Meadows Trailhead and the Town's Strategic Planning Series. Launched at the beginning of the year, the Town's new Instagram page has over 2,200 followers while the Town's Facebook page continues to attract followers with over 9,000 people.



MAJOR PROJECTS AND PERMITS

A number of large development projects progressed in the planning and/or construction phases during 2024.

THE LIMELIGHT RESIDENCES

The Limelight Hotel, located at 15 Canyon Blvd., reached a major milestone in 2024 with the "top out" of its construction project, which then allowed developers to focus on sealing the exterior of the project to allow interior work to continue throughout the winter months. Construction is expected to be completed in 2025. Limelight Residences Mammoth is a new condominium hotel project that will include 149 hotel rooms and 15 residential units with amenities oriented to guests of the hotel including hotel lounge and meeting rooms, a fitness center, ski club, childcare, equipment rental, and an outdoor pool and jacuzzi terrace.





MAMMOTH MAIN BASE

The Mammoth Main Base Redevelopment Project is a major private development application being processed by the Town. In 2024, the applicant continued to work through issues related to evacuation route planning and the environmental review (CEQA/NEPA) process. Work on this project will continue in 2025 and beyond.



THE MAMMOTH MALL

The Mammoth Mall renovation, located at 126 Old Mammoth Road, commenced in 2024. The project includes the complete renovation of the existing 2-story Mammoth Mall structure to improve the existing commercial building that consists of restaurant, retail and office spaces plus a new featured restaurant, ground floor patio and two second floor outdoor decks. Construction is expected to be completed in 2025.



POLICE DEPARTMENT HIGHLIGHTS

CALIFORNIA OFFICE OF TRAFFIC SAFETY (OTS) GRANT

On February 7, MLPD received a \$40,000 grant from the California Office of Traffic Safety via the National Highway Traffic Safety Administration to support its Bicycle and Pedestrian Safety Program. This grant allowed the Department to promote safe practices for pedestrians and bicyclists and provide education about the importance of sharing the road. The grant program ran through September. Grant funds supported a variety of activities focused on bicycle and pedestrian safety such as:

- Community bicycle and walk "audits" of streets with a high rate of pedestrian and/ or bicyclist fatalities and serious injury crashes.
- Helmet fitting inspections and distribution of helmets to those in need.
- Community and school education presentations.
- Community bike rides that encourage and teach riders safe riding skills.
- Pop-up events that promote the importance of visibility on roads with safety equipment such as reflective armbands/leg bands and bicycle headlights/tail lights.

At Town Clean-up Day and Kidapalooza MLPD staffed bicycle safety booths at the CRC. Officers handed out free high-end Kali Protectives helmets, including those rated for e-bikes, along with bicycle lights, lighted wristbands, and bike bells. All these handouts were funded by the OTS Grant.

MLPD Officers also participated in several group bicycle rides including the Town of Mammoth Lakes Bike Squad and the Pamper Pedal Footloose Sports Ride, thanks to a new grant funded e-bike! The State has also provided funding for e-bike patrols to reduce the number of bicycle vs. vehicle calls for service that have been growing in number every year.







EXPLORER ADVISORS' ASSOCIATION WINTER ACADEMY

From February 15–19, MLPD and MCSO Explorer Post 7880 attended the Orange County Law Enforcement Explorer Advisors' Association Winter Academy. This five-day event helps prepare young people to become Law Enforcement Explorers and build skills for future careers in law enforcement. They took part in physical training, drills, and classroom lessons on topics like ethics, traffic control, and law enforcement careers. They also learned about SWAT, DUI enforcement, bomb squad operations, and more through hands-on demos. The Academy is both mentally and physically challenging, helping participants grow in confidence and perseverance.









POWERENGAGE SOFTWARE MLPD implemented a new tool on July 12, to keep citizens informed and collect feedback on nonlife-threatening calls for service. PowerEngage allows MLPD to text citizens who have called for assistance to provide pre-arrival instructions. It also allows us to send text message surveys after certain types of interactions with our Department. This software interfaces with RIMS, our computer aided dispatch system. PowerEngage cannot be used to make formal complaints or report an emergency or criminal activity. The community can also opt out of the text messages if desired.

FLOCK SAFETY AUTOMATIC LICENSE PLATE RECOGNITION CAMERAS On July 17, the Town Council approved a one-year lease agreement with Flock Safety for installation of eight Automatic License Plate Recognition (ALPR) cameras throughout Mammoth Lakes. Four cameras are located at the intersection of Old Mammoth and Minaret roads. The remaining four cameras are located on State Route 203: inbound and outbound at Meridian Boulevard, plus inbound and outbound at The Village. ALPR cameras greatly assist in the response, apprehension, and investigation of criminals. They also help the Town assist in evacuation planning by capturing real-time vehicle counts.



CHIEF'S ADVISORY COMMITTEE

A new Chief's Advisory Committee (CAC) was formed and the first meeting took place on December 11. The CAC was created to act as a resource to help form strategies, develop community policing concepts, and increase public awareness. The Committee is intended to provide a forum for discussions concerning community issues and the goal is to have a broad spectrum of viewpoints represented. There are currently 14 members of the CAC serving either one or two-year terms. MLPD hopes that the CAC will act as a sounding board for the Chief regarding community needs and concerns, as well as providing community feedback about proposed police programs and priorities.





STATE OF CALIFORNIA OFF-HIGHWAY MOTOR VEHICLE GRANT

The Mammoth Lakes Police Department was awarded a \$51,680 grant from the State of California Off-Highway Motor Vehicle (OHMVR) Division for the period of January 1 – December 21. The Department applied for this funding to continue its Off Highway Vehicle (OHV) program, which was launched in 2021 with its first OHMVR Division Grant award. The 2024 award was used to purchase a flatbed snowmobile trailer for easier access to staging areas, to pay for a covered storage area to protect the OHV/OSV vehicles, purchase additional safety and recovery gear to outfit the vehicles and staff, and to reimburse officers' patrol plus administrative costs. Summer and winter OHV/OSV patrols allow MLPD to enforce speed laws in restricted areas, detect operation of vehicles and/or snowmobiles while impaired, verify green sticker registration, address encroachment/ trespass issues, provide accident support, monitor dispersed camping, and educate the public.





K9 OFFICER JAX

In April and May, K9 Officer Jax (and his handler Officer West) attended a 30-day Narcotics and Firearms Detection Course in Sacramento. The class really paid off on the afternoon of December 22, when a MLPD Police Officer unexpectedly interrupted an armed robbery in progress near Mammoth Pacific's Geothermal Plant. The suspect (a 33-year-old Mammoth Lakes resident) immediately fled on foot into a wooded area, leaving two victims behind. The victims advised MLPD Officers their belongings were stolen at gunpoint by the suspect. Additional Mammoth Lakes Police Officers responded to the area, with the assistance of California Highway Patrol and Mono County Sheriff's Office personnel. A perimeter was set up in the area and the suspect was apprehended without incident. K9 Officer Jax was deployed in the wooded area to conduct an article search for evidence. K9 Officer Jax successfully located the victim's property along with an unregistered loaded firearm allegedly used in the robbery.

On June 12, K9 Officer Jax and his handler visited Mammoth Elementary School for a demonstration. These types of programs help introduce the community to our department and showcase how obedient and friendly police K9s can be when not engaged in apprehension, a pursuit, or searching for narcotics. A few lucky students were selected to give K9 Officer Jax some attention.

AIRPORT ACCOMPLISHMENTS

AWARD NOMINATIONS

The Mammoth Yosemite Airport (MMH) was nominated for both the "Most Innovated Airport" and "Most Improved" and "Top General Aviation Airport" at the Federal Aviation Administration (FAA) Western-Pacific Region Airports Conference in June 2024. The airport was nominated for the "Most Innovated Airport" in the Western-Pacific Region since MMH was the first to achieve compliance with Aircraft Rescue Fire Fighting (ARFF) and Polyfluoroalkyl Substances (PFAS) mitigation. The airport was the first to transition the ARFF vehicle from Aqueous Film Forming Foam (AFFF) to Fluorine-Free Foam (F3). The airport was nominated for the "Most Improved" and "Top General Aviation Airport" because of high levels of safety compliance and FAA grant management.



TRIENNIAL FULL-SCALE EXERCISE & STATEWIDE MEDICAL AND HEALTH EXERCISE

On September 28, the airport hosted a statewide medical and health exercise in conjunction with the airport's triennial full-scale exercise required by the FAA. The training included multi-agency collaboration, response concepts of operations, triage and tracking, medical response, medivac coordination, and firefighting. The organizations included hospitals, healthcare infrastructure, Mammoth Yosemite Airport, local fire departments and EMS, Inyo and Mono OEM, public health, and law enforcement with 166 people participating.



AUTOMATED WEATHER OBSERVATION SYSTEM (AWOS) RELOCATION AND UPGRADE PROGRESS Construction began on the Automated Weather Observation System (AWOS) Relocation and Upgrade project in July 2023. The project was on hold for approximately one year due to delays in availability of electrical equipment. The new AWOS was installed in September 2024 and the old AWOS was removed.



GRANTS AWARDS FOR MAMMOTH YOSEMITE AIRPORT The Town was awarded two grants from the FAA, totaling over \$2 million. The Town received a grant in the amount of \$244,329 for Multipurpose Building redesign to include ARFF and SRE. The second grant in the amount of \$1,762,875 is allocated for the General Aviation and Terminal Parking Lot reconstruction.



OPTIMIZING OPERATIONS The airport purchased a new tractor and mower deck to improve mowing efficiency. The new tractor and mower deck will increase the area that is able to get mowed each year while freeing up staff time for additional work items, since the old mower was five feet wide and the new is 15 feet wide. The airport purchased additional snow wedge tires for snow removal equipment so that chains will not be required. Using snow wedge tires rather than chains will preserve the airfield asphalt surfaces and prevent rapid deterioration.



LEADERSHIP

TOWN COUNCIL

 Bill Sauser | Mayor

 Chris Bubser | Mayor Pro Tem

 Sarah Rea | Councilmember (term ended December 2024)

 Amanda Rice | Councilmember

 Brent Truax | Councilmember (term started December 2024)

 John Wentworth | Councilmember

TOWN ADMINISTRATION

PLANNING & ECONOMIC DEVELOPMENT COMMISSION

Michael Vanderhurst | Chair Jennifer Burrows | Vice Chair * Dawn Vereuck | Vice Chair ^A Paul Chang | Commissioner * Greg Eckert | Commissioner Cynthia Fleming | Commissioner ^A Lana Grand | Commissioner ^A Jessica Kennedy | Commissioner *

* Term ended July 2024

▲ Term started August 2024

PARKS & RECREATION COMMISSION

Dan O'Connell | Chair Silver Chesak | Vice Chair Greg Newbry | Commissioner Scott Reif | Commissioner Ben Wisner | Commissioner







CONTACT INFORMATION



Address: 437 Old Mammoth Road, Suite 230 | P.O. Box 1609 Mammoth Lakes, CA 93546

Main Phone: 760-965-3600

Mammoth Lakes Police Department: 760-965-3700

Public Information Line: 760-965-3612 (updated during emergencies)

Notify Me: townofmammothlakes.ca.gov/list.aspx

Website: townofmammothlakes.ca.gov

Facebook: facebook.com/townofmammothlakes

Instagram: instagram.com/townofmammothlakes

Email: Initial of first name and last name @townofmammothlakes.ca.gov For example, John Doe: jdoe@townofmammothlakes.ca.gov



Planning and Economic Development Commission Agenda Action Sheet

<u>Title</u>: Receive a presentation from the MLFPD on the updates to the State Fire Hazard Severity Maps

Commission Meeting Date: 5/14/2025

Prepared by: Mike McCarthy, Division Chief, MLFPD

<u>Recommended Motion</u>: Receive a presentation from the Mammoth Lakes Fire Protection District on the updates to the Fire Hazard Severity Maps

Summary: CalFire is required by State statute to determine the "fire hazard severity" of all state (state-owned) and local (cities, counties) areas of the State and produce maps based on those fire hazard ratings (low, moderate, high, and very high). The local agencies are then required to adopt those maps via a local ordinance. The last update to the fire hazard ratings was in 2007.

CalFire is currently working on a statewide update to the fire hazard ratings/maps and have been releasing the maps through a systematic process based on geographic areas. The maps for Mammoth Lakes were released in March 2025 in conjunction with the release of the maps for the Los Angeles area. The updated maps show a significant change in the hazard ratings for Mammoth Lakes and have designated the majority of the Town as being in a Very High zone.

The MLFPD presentation will provide background information on the mapping and hazard designation process, highlight the changes in the maps, and provide additional information on what the changes mean for the community.

The Commission and the public will have an opportunity to ask questions about the process.

Update for Fire Hazard Severity Maps

5/14/25

Planning and Economic Development Commission Meeting

Mammoth Lakes



Mike McCarthy Division Chief Mammoth Lakes Fire Department

Background

- CAL FIRE required by state law to determine 'hazard severity' of all state and local areas of the state
- Local Agency required by state law to adopt maps
- Update from original maps (2007) due to updated model
 - Original maps only designated "Very High" zones
 - Update now includes "High" and "Moderate" zones
- Designation <u>can</u> affect:
 - What building/fire codes apply to the parcel
 - Whether inspections are required for real estate disclosures/sales

2

Fire Hazard Severity Zone Remap

How are the Zones determined?

• CAL FIRE used best available science/data to develop and field test the model. Model evaluated probability of area burning and potential fire behavior.

"probability of fire" + "expected fire behavior" = "hazard"

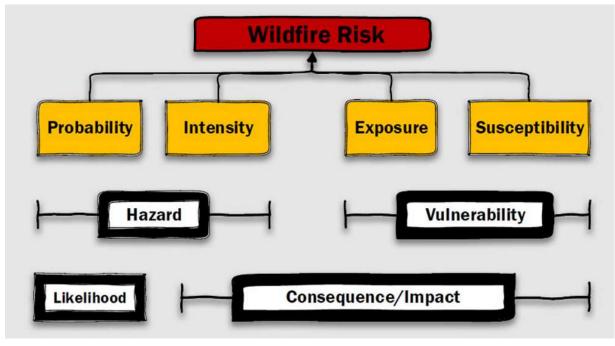
- Factors: fire history, vegetation, flame length, blowing embers, proximity to wildland, terrain, and weather
 - E.g., where fires/embers would be generated and where weather/topography would carry those embers
 - Key difference for Mammoth:
 - Old model estimated 20mph winds, statewide
 - New model uses 95th percentile local wind history of last 20-30 years





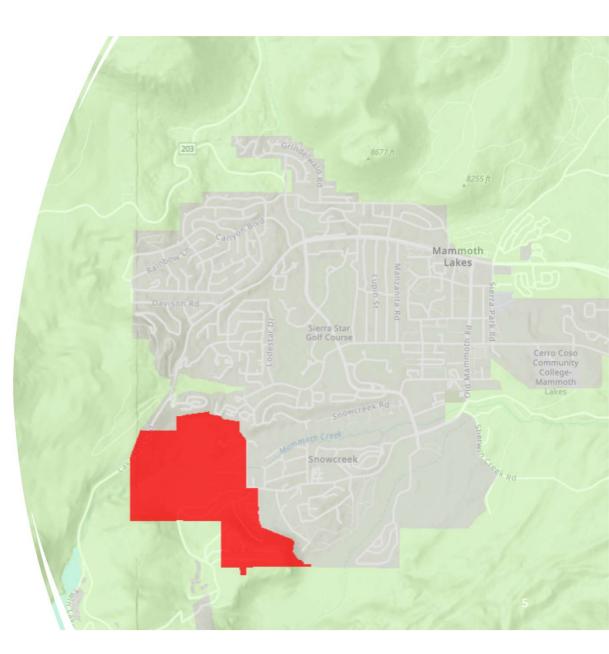
Hazard vs. Risk

- "Hazard" based on probability of and expected behavior of fire
- "Risk" is potential damage a fire can do, accounting for existing conditions (susceptibility of house to catch fire, defensible space around house, etc.)



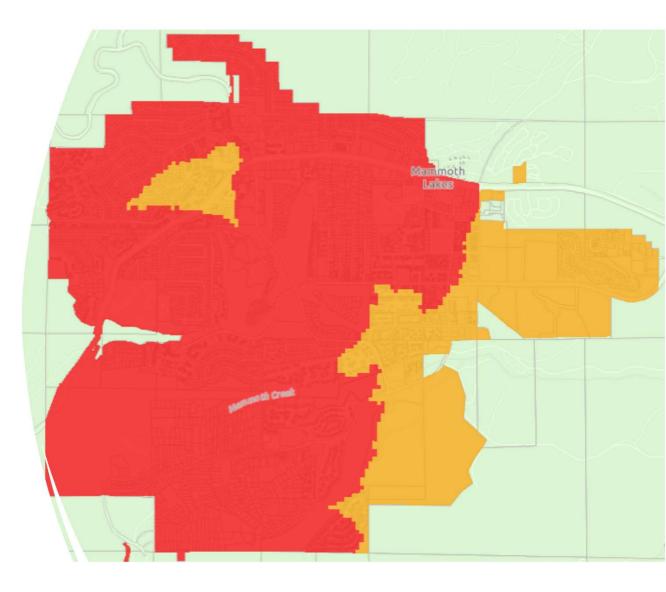
Original 2007 Map

• "Very High" zone only in Old Mammoth area



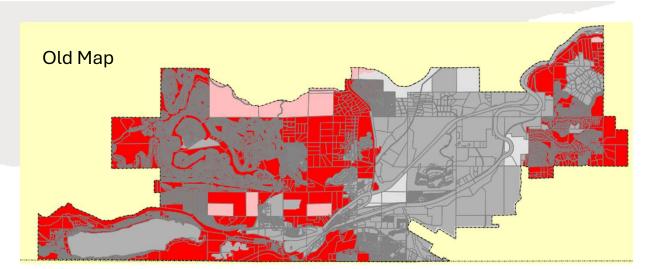
Updated Map

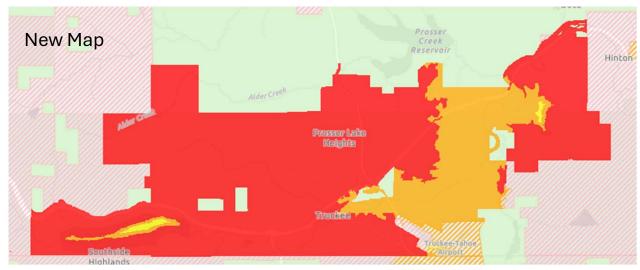
- "Very High" zone (red) now covers vast majority of town
- "High" zone (orange) covers remainder



Mammoth is not unique:

Truckee had similar changes





7

Impacts



Building Codes/Inspections:

Since 2008, MLFD fire code has already required new construction <u>throughout</u> town to build to most stringent "WUI" code

- E.g., materials for roofing, siding, decks and defensible space around the structure Real Estate disclosure law requires defensible space inspection upon sale (Very High & High)
 - Will apply to all property sales in town in the future.



Insurance:

Companies already model for 'risk' (not hazard) and costs to rebuild

+

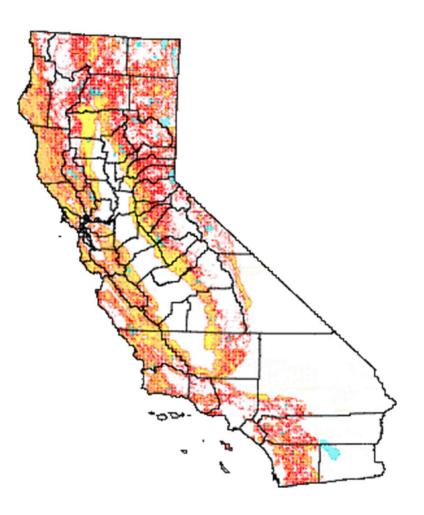
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Hazard is part of the risk piece but doesn't reflect anything about the dwelling (e.g., defensible space, home hardening, type of roof, size, etc.)

What Happens Next?

- New map was released 3/24/25
- Two tasks required for MLFD:
 - 30 days to get the map out for public notice
 - 120 days to get local ordinance adopted recognizing the map



9

Planning and Economic Development Commission Agenda Action Sheet

<u>**Title:**</u> Consideration of Variance 25-001 for a reduction of one required exterior parking space and a 20% reduction of the 5-foot front setback and the 10-foot south side yard setback requirement, for the construction of a new single-family residence with attache

Commission Meeting Date: 5/14/2025

Prepared by: Kim Cooke, Senior Planner

<u>Recommended Motion</u>: Adopt the Planning and Economic Development Commission Resolution making the required CEQA and Municipal Code findings, and approving Variance 25-001 with conditions as recommended by staff.

Summary: Variance request for a reduction of one (1) required exterior parking space and a 20% reduction of the 5-foot front setback and 10-foot south side yard setback requirements to permit the construction of a new single-family residence with an attached two-car garage on a steep upsloping lot, where a 10-foot irrevocable offer of dedication is required by the Town.



Town of Mammoth Lakes

Planning & Economic Development Commission Staff Report

Meeting Date: May 14, 2025

AGENDA TITLE: Consideration of Variance application (VAR) 25-001 for a reduction of one required exterior parking space and a 20% reduction of the 5-foot front setback and the 10-foot south side yard setback requirement, for the construction of a new single-family residence with attached two-car garage and covered access stairway located at 307 John Muir Road. The project is categorically exempt pursuant to CEQA Guidelines §15303, *New Construction or conversion of Small Structures.*

Applicant/ Property Owner: Craig Tapley / Karen and Mike Gutt

REQUESTING DEPARTMENT: Community & Economic Development Nolan Bobroff, Director Kimberly Cooke, Senior Planner

OBJECTIVE:

- 1. Hear Staff and Applicant presentations
- 2. Hold Public Hearing
- 3. Planning & Economic Development Commission (PEDC) discussion
- 4. PEDC action to either:
 - a. Adopt the attached Planning and Economic Development Commission Resolution (the Resolution), making the required CEQA and Municipal Code findings, and approving Variance (VAR) 25-001 with conditions as recommended by staff;
 - b. Adopt the Resolution with modifications; or
 - c. Deny the Resolution

SUMMARY:

Proposal:	Variance request for a reduction of one (1) required exterior parking space and a 20% reduction of the 5-foot front setback and 10-foot south side yard setback requirements to permit the construction of a new single-family residence with an attached two-car garage on a steep upsloping lot, where a 10-foot irrevocable offer of dedication is required by the Town.
Location:	307 John Muir Road (APN: <u>031-053-008-000</u>)
Size of Property:	0.17 acres (7,535 sq. ft.)
Zoning:	Residential Single-Family (RSF)
General Plan:	Low Density Residential (LDR-2)

Environmental Review:

Categorically Exempt (CEQA Guidelines Section 15303 – New Construction or conversion of small structures

KEY ISSUES:

- 1. Can the findings be made for approval of a Variance pursuant to Municipal Code (MC) Chapter 17.72?
- 2. Is the proposed project consistent with the California Environmental Quality Act (CEQA)?

I. INTRODUCTION AND BACKGROUND

The subject property is a vacant parcel located at 307 John Muir Road in the Residential Single-Family (RSF) zoning district. The existing topography of the lot at the front third of the property is very steep with a roughly 59% slope. The middle third of the property is less steep with a 22% slope and the rear third of the lot features a 47% slope. The topography of the site is depicted in the slope study (sheet 2) of the proposed plans **Attachment 2**.

In addition to the steep topography of the site, the property is substandard with regards to lot width based on the minimum lot dimensions for lots within the RSF zoning district. Additionally, the adjacent public road, John Muir Road, is considered a substandard street due to it having a right-of-way (ROW) width of 40 feet, rather than the 60-foot standard ROW width. The substandard ROW width creates challenges for snow removal and snow storage operations.

The project was originally submitted to the Planning Division as an Adjustment application on November 8, 2024. The adjustment application requested a 20 percent reduction of the front and south side yard setback requirements, which can typically be permitted administratively when the required findings for approval can be made. However, in this case, the Engineering Division determined that a 10-foot irrevocable offer of dedication (IOD) would be required along the property frontage and determined that exterior parking spaces could not be permitted to encroach into the IOD area. Since the proposed exterior parking space could no longer be accommodated within the proposed driveway, as it would encroach into the 10-foot IOD, the applicant decided to apply for a Variance in order to eliminate the required exterior parking space.

Variance application (VAR 25-001) was submitted on January 17, 2025, which includes the request for a reduction of one (1) required exterior parking space and a 20 percent reduction of the required 5-foot front setback and 10-foot south side yard setback areas.

A public notice for the application was published in The Sheet on Saturday, May 3rd and Saturday, May 10th. The public notice was also mailed on Wednesday, April 30th to a total of 65 property owners within a 300-foot radius of the project site.

Project Proposal:

The proposed single-family home is a relatively modest size with 1,852 square feet of conditioned living space including 2 bedrooms and 2.5 bathrooms. A two-car garage is attached to the home via an enclosed entryway and access stairway that provides safe access up the 30-foot elevation change from the street level entry to the proposed ground floor of the home. Despite the modest size of the proposed home, a minimum of three (3) parking spaces are required with at least two (2) enclosed spaces and one (1) exterior parking space.

Due to the steep slope of the property, the project is eligible for a reduced front setback standard applicable to steep upsloping lots pursuant to M.C. Section 17.20.030.B, which allows, "a minimum five-foot front or street-side setback for the construction of an attached or unattached private garage and associated entries on steep upsloping lots." The project adheres to this standard however, due to the requirement for a 10-foot IOD along the property frontage the actual front setback required for this property is 15-feet from the property line.

As described above, the Variance application requests a reduction of one required exterior parking space and a 20 percent reduction of the required 5-foot front setback and 10-foot south side yard setback areas. The requested 20 percent reduction of the front setback would result in a 4-foot setback requirement. However, the proposed garage structure would actually be set back 14-feet from the front property line due to the additional 10-foot width required for the IOD.

The request for a 20 percent reduction of the 10-foot south side yard setback results in an 8-foot setback to the enclosed entry and access stairway portion of the structure. A setback reduction at this location would provide relief due to the substandard width of the lot and allow the enclosed entry and access stairway to be located at the south side of the garage, where the lot dimensions are most restrictive.

The proposed design of the garage structure will be engineered so that soil can be brought back in to cover the concrete roof of the garage and recreate a gentle slope to fill in the space between the proposed garage and single-family home. This design will reduce the appearance of the retaining wall system as well as blend the structure into the site surroundings.



FIGURE 1 - PROJECT RENDERINGS

Existing Site and Surrounding Land Uses

The project site is zoned Residential Single Family (RSF). The subject parcel is vacant and the adjacent parcels on the north and south sides are also vacant. See **Figure 2** below for a map showing the site location and surrounding context. **Table 1** further describes the surrounding land uses and zoning.



FIGURE 2 – PROJECT SITE

Table 1: Surrounding Land Uses and Zoning.

Location	Zoning*	Land Use	Special Considerations
North	RSF	Vacant Parcel	None
South	RSF	Vacant Parcel	None
East	RSF; RMF-2	Single-family residence and Mammoth Point Condominiums	Located across the street
West	RSF	Single-family residence	None

*RSF = Residential Single Family; RMF-2= Residential Multi-family 2

Municipal Code Consistency

The project site is zoned Residential Single-family (RSF). "This zone is intended as an area for single-family residential development. Transient Occupancy or rental, hotels and motels, bed and breakfast, and group living quarters uses are not permitted in this zone. Only those uses are permitted that are complementary to and can exist in harmony with a residential neighborhood." The proposed single-family residential home is a permitted use in the RSF zone.

The project complies with all applicable development standards considered together with the proposed Variance, which are summarized in the following **Table 2**.

Table 2: Zoning Consistency.

General Information				
General Plan: Low-Density Residential 2 (LDR-2)		Specific Plan: N/A		
Zoning: Residential Single-Family (RSF)		Overlay Zone/District: N/A		
Existing Land Use: Vacant		Permits Required: Variance for a reduction of the third parking space and a 20 percent reduction of the front and south side yard setback		
Development Standards				
Standard	Required/Allowed	Proposed/Provided	Complies?	
Setbacks				
Front yard (feet)	5 feet (15-feet with required IOD)	4 Feet (14 feet with required IOD)	Variance Requested (See analysis below)	
Side yard - South (feet)	10 feet	8 feet	Variance Requested	
Side yard - North (feet)	10 feet	10 feet	Yes	
Rear yard (feet)	10 feet	49 feet	Yes	
Lot Coverage	40%	35%	Yes	
Building Height	35 feet	35 feet	Yes	
Snow Storage	75% of driveway area (161 sq.ft.)	175 sq.ft.	Yes	
Parking Spaces	2 enclosed 1 exterior	2 enclosed	Variance Requested	

General Plan

The General Plan land use designation for the site is Low-Density Residential 2 (LDR-2) which "allows single-family detached residential development of up to four (4) dwelling units per gross acre... This designation protects the low-density character of existing neighborhoods. Development standards are intended to provide for privacy through building separation, useable yards, and limited shading by structures of adjoining parcels." (General Plan, Pg. L-4).

Specific General Plan Vision Statements with which the proposed project is consistent are described in Table 3:

Table 3: General Plan Vision Statement Conformance

General Plan Vision Statement	Explanation of Project Conformance
"Adequate and appropriate housing that residents and workers can afford"	Approval of the requested Variance application would enable the property owner to develop the site with a modest-sized single-family home with a two-car garage and safe access between the street level garage and the ground level of the home.
"Protecting the surrounding natural environment and supporting our small- town atmosphere by limiting the urbanized area."	The project is located within the Urban Growth Boundary and the density is consistent with that allowed by the LDR-2 land use designation.

The project is consistent with the following General Plan goals, policies, and actions as described in Table 4:

Goal, Policy, or Action	Explanation of Project Conformance with Goal, Policy, or Action
Policy C.2.L: Create visually interesting and aesthetically pleasing built environment by requiring all development to incorporate the highest quality of architecture and thoughtful site design and planning.	The project incorporates design features and architectural detail that provides a high-quality appearance and incorporates thoughtful site planning in that the design of the garage will feature a "green" roof where soil in reintroduced over to top of the concrete roof structure. The roof design may help reduce the urban heat island effect and blend the appearance of the structure with the site surroundings.
Policy C.2.V: Building height, massing and scale shall complement neighboring land uses and preserve views to the surrounding mountains.	Proposed building height and massing are similar to the heights and massing of surrounding single-family homes in the neighborhood. The tallest point on the structure as measured using a varied plane is 35-feet in height which is consistent with the RSF development standards.
M.15.3.1. <u>Action</u> : Develop and implement understructure/underground parking incentives and surface parking disincentives through the Zoning Code and Public Works Standards.	With approval of the variance, the required exterior parking space would be eliminated, and the required parking for the new SFR would be limited to two enclosed parking spaces. The design of the garage is semi-subterranean and the provision of the 10-foot IOD to satisfy Public Works standards is consistent with this General Plan action item.

II. ANALYSIS OF KEY ISSUES

KEY ISSUE #1: Can the findings be made for approval of a Variance pursuant to MC Section 17.72.040?

Variances are intended to allow modifications to the development standards of the Zoning Code only when, because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Code deprives such property of privileges enjoyed by other property in the vicinity and under the identical zoning district. The following represents staff's analysis of the required findings pursuant to MC §17.72.040:

Variance Findings:

A. There are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, so that the strict application of this Zoning Code deprives the property of privileges enjoyed by other property in the vicinity and under the identical zoning district;

There are special circumstances applicable to the property including the topography of the site, which slopes upward from the roadway at a roughly 59% slope within the front 50-feet of the property. The slope of the property qualifies for a reduced front setback of 5-feet pursuant to MC Section 17.20.030.B – *Residential Front Yard Setbacks on Steep Upsloping Lots*.

While the steep slope of the lot allows for a reduced 5-foot front setback, the proposed structure cannot be located within 5-feet of the front property line because the property owner is required to provide the Town an Irrevocable Offer of Dedication (IOD) for a 10-foot-wide strip along the street frontage. The IOD is required because the roadway width along John Muir Road is substandard. Additionally, Engineering Division staff cannot allow any required exterior parking space to encroach into the 10-foot-wide IOD area. Adherence to the Town's IOD requirement results in an area that is too small to accommodate an exterior parking space within the proposed driveway.

The width of the property is also substandard at approximately 55-feet-wide, where new lots created within the Residential Single-Family (RSF) zoning district are required to have a minimum lot width of 75-feet. The smaller lot width combined with the extensive retaining wall system proposed for the site creates a hardship for the property owner to adhere to the 10-foot side yard setback along the south property line for the enclosed access stairway.

Due to the special circumstances described above, the strict application of the zoning code deprives the property of privileges enjoyed by other property in the vicinity and under the identical zoning district.

B. The approval of the variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone;

The Variance is necessary to provide the property with land use privileges enjoyed by other properties in the vicinity and under identical zoning classification since the variance will allow the construction of a single-family residential use consistent with the land use privileges enjoyed by others in the vicinity. Despite the request for a 1-foot reduction of the front setback (20% reduction), the property will ultimately have a larger setback than other single-family homes along John Muir Road since the requirement for the property owner to provide a 10-foot-wide strip of land along the property frontage via an irrevocable offer of dedication (IOD) was not required of previously developed properties located on John Muir Road. The subject property will effectively have a 14-foot setback (10-foot IOD + 4-foot setback) from the property line. The reduced south side yard setback will allow for a covered entry stairway located along the south side of the garage which provides a layout that is similar to other steep upsloping residential properties on the same street.

C. Granting the variance would not authorize a use or activity which is not otherwise expressly authorized by the zone governing the property for which the application is made;

The use authorized by this variance consists of a new single-family residence with an attached twocar garage, which is a permitted use in the RSF zone and is consistent with neighboring properties and uses in the site vicinity.

D. Granting the variance would not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located;

Granting the requested variance would not be detrimental to public health, safety, or welfare because the proposed single-family residence is consistent with what would be permitted on similar singlefamily residential lots. The significant retaining wall system proposed for the new single-family home will improve roadway safety by stabilizing the slope and preventing dirt and rocks from falling onto the roadway.

E. The variance is consistent with the General Plan and any applicable Specific Plan;

The variance is consistent with the Town's General Plan, as the land use designation for the subject property is Low-Density Residential 2 (LDR-2). This land use designation allows for single-family detached residential development, and therefore the use is consistent since it is a detached single-family residence.

There is no specific plan applicable to the property.

F. The variance is the minimum departure from the requirements of this Zoning Code necessary to grant relief to the applicant, consistent with Subsections A and B, above; and

The variance is the minimum departure from the requirements of the zoning code necessary to grant relief to the applicant because one exterior parking space was originally proposed within the new driveway area, but this layout could not be approved because the parking space would encroach into the 10-foot IOD required by the Engineering Division. Other properties on the same street have a similar parking arrangement with two enclosed parking spaces and no exterior parking space.

The additional request for a 20 percent reduction to the front setback and south side yard setback are consistent with the allowable size of setback reductions that would typically be processed administratively via an adjustment application. Since a Variance application was required for this project in order to allow the elimination of the required exterior parking space, the setback reduction request was included with this application to enable concurrent review and approval.

G. The approval of the variance is in compliance with the requirements of the California Environmental Quality Act.

The project is in compliance with the requirements of the California Environmental Quality Act (CEQA) because it is categorically exempt from CEQA pursuant to CEQA Guidelines §15303, *New construction or conversion of small structures*. The Project qualifies for this exemption because the

exemption allows for the construction of small new structures, including a single-family residence in a residential zone, to not be subject to additional environmental review. The proposed project consists of the construction of one single-family residence located within a residential zone and is therefore consistent with the types of projects that qualify for this exemption.

KEY ISSUE #2: Is the proposed project consistent with the California Environmental Quality Act (CEQA)?

Staff has determined that the Project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines §15303, New construction or conversion of small structures. The Project qualifies for this exemption because the project is consistent with the example specified in subsection (a), which identifies the construction of one single-family residence located within a residential zone as being eligible for use of this exemption.

None of the exceptions set forth in CEQA Guidelines Section 15300.2 are present, which would disqualify the project from using a categorical exemption. Therefore, since the project meets all the criteria to qualify for the Class 3 exemption pursuant to CEQA Guidelines Section 15303, no additional environmental review is warranted or necessary and the CEQA exemption is appropriate.

Agency/Public Comments

Staff routed the application to the following local agencies for review: Mammoth Lakes Fire Protection District (MLFPD), the Mammoth Community Water District (MCWD). No comments were received that result in any additional conditions of approval for the project.

Engineering staff reviewed the application and is supportive of the Variance with the requirement that the property owner provide a 10-foot-wide Irrevocable Offer of Dedication to the Town for street, pedestrian infrastructure, and snow storage purposes. (Condition of Approval 28 in **Attachment A**).

Staff received a request to review the project plans from the owners of two neighboring properties. Staff provided the owners of both properties with the plans for review and did not receive any additional questions or comments at the time this staff report was written.

III. STAFF FINDINGS AND RECOMMENDATION

Staff finds that the proposed project meets the applicable requirements and recommends that the Planning and Economic Development Commission adopt the Planning and Economic Development Commission Resolution making the required CEQA and Municipal Code findings, and approving Variance 25-001 with conditions as recommended by staff, or with modifications.

Attachments

Attachment A: Planning and Economic Development Commission Resolution

Attachment B: Project Plans, dated received by the Town March 18, 2025

Attachment C: Project Narrative, dated received by the Town January 17, 2025

Attachment A

Resolution No. PEDC 2025-07 Page 1 of 10 Recording Requested by and When Recorded Mail To:

Town of Mammoth Lakes Community & Economic Development Department P.O. Box 1609 Mammoth Lakes, CA 93546

> Recordation fee exempt per Government Code §27383 Space Above for Recorder's Use

RESOLUTION NO. PEDC 2025-07

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A RESOLUTION OF THE MAMMOTH LAKES PLANNING AND ECONOMIC DEVELOPMENT COMMISSION APPROVING VARIANCE 25-001 TO ALLOW A REDUCTION OF ONE EXTERIOR PARKING SPACE AND A 20 PERCENT REDUCTION OF THE FRONT YARD SETBACK AND SOUTH SIDE YARD STBACK FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A STEEP UPSLOPING LOT LOCATED AT 307 JOHN MUIR ROAD (APN: 031-053-008-000)

WHEREAS, a request for consideration of a Variance (VAR 25-001) was filed by the applicant, Craig Tapley, on behalf of the property owners, Karen and Mike Gutt, to allow for a reduction of one (1) exterior parking space and a 20 percent reduction of the front yard setback (4-feet instead of 5-feet) and south side yard setback (8-feet instead of 10-feet) for the construction of a new single-family residence on a steep upsloping vacant lot, in accordance with Chapter 17.72 (Variances) of the Town of Mammoth Lakes Municipal Code, for property located at 307 John Muir Road; and

WHEREAS, the Planning and Economic Development Commission conducted a duly noticed public hearing on the application request on May 14, 2025, at which time all those desiring to be heard were heard; and

WHEREAS, the Planning and Economic Development Commission considered, without limitation:

- 1. The staff report to the Planning and Economic Development Commission with attachments;
- 2. The General Plan, Municipal Code, and associated Land Use Maps;
- 3. Oral evidence submitted at the hearing;
- 4. Written evidence submitted at the hearing; and
- 5. Project plans consisting of fourteen (14) sheets dated received by the Town on March 18, 2025.

NOW THEREFORE, THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE TOWN OF MAMMOTH LAKES DOES RESOLVE, DETERMINE, FIND AND ORDER AS FOLLOWS:

SECTION 1. FINDINGS.

I. CEQA.

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures, of Title 14 of the California Code of Regulations. CEQA Guidelines Section 15303 applies to the construction of new, small facilities or structures, such as the construction of one single-family residence in a residential zone, which the State has determined to be a class of projects that will not have significant environmental impacts. The project consists of the construction of one (1) new single-family residence in a residential zone and therefore is eligible for use of the Section 15303 categorical exemption. In addition, none of the exceptions set forth in CEQA Guidelines Section 15300.2 are present.

Therefore, because the project meets the criteria for use of the above-described categorical exemption, and the application of that categorical exemptions is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2, the project is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(2).

II. MUNICIPAL CODE FINDINGS.

A. FINDINGS FOR VARIANCE (Municipal Code Section 17.72.040)

1. There are special circumstances applicable to the property , including size, shape, topography, location, or surroundings, so that the strict application of this Zoning Code deprives the property of privileges enjoyed by other property in the vicinity and under the identical zoning district;

There are special circumstances applicable to the property including the topography of the site, which slopes upward from the roadway at a roughly 59% slope within the front 50-feet of the property. The slope of the property qualifies for a reduced front setback of 5-feet pursuant to MC Section 17.20.030.B – *Residential Front Yard Setbacks on Steep Upsloping Lots*.

While the steep slope of the lot allows for a reduced 5-foot front setback, the proposed structure cannot be located within 5-feet of the front property line because the property owner is required to provide the Town an Irrevocable Offer of Dedication (IOD) for a 10-foot-wide strip along the street frontage. The IOD is required because the roadway width along John Muir Road is substandard. Additionally, Engineering Division staff cannot allow any required exterior parking space to encroach into the 10-foot-wide IOD area. Adherence to the Town's IOD requirement results in an area that is too small to accommodate an exterior parking space within the proposed driveway.

The width of the property is also substandard at approximately 55-feet-wide, where new lots created within the Residential Single-Family (RSF) zoning district are required to have a minimum lot width of 75-feet. The smaller lot width combined with the extensive retaining wall system proposed for the site creates a hardship for the property owner to adhere to the 10-foot side yard setback along the south property line for the enclosed access stairway.

Due to the special circumstances described above, the strict application of the zoning code deprives the property of privileges enjoyed by other property in the vicinity and under the identical zoning district.

2. The approval of the variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone;

The Variance is necessary to provide the property with land use privileges enjoyed by other properties in the vicinity and under identical zoning classification since the variance will allow for a single-family residential use consistent with the land use privileges enjoyed by others in the vicinity. Despite the request for a 1-foot reduction of the front setback (20% reduction), the property will ultimately have a larger setback than other single-family homes along John Muir Road since the requirement for the property owner to provide a 10-foot-wide strip of land along the property frontage via an irrevocable offer of dedication (IOD) was not required of previously developed properties located on John Muir Road. The subject property will effectively have a 14-foot setback (10-foot IOD + 4-foot setback) from the property line. The reduced south side yard setback will allow for a covered entry stairway located along the south side of the garage which provides a layout that is similar to other steep upsloping residential properties on the same street.

3. Granting the variance would not authorize a use or activity which is not otherwise expressly authorized by the zone governing the property for which the application is made;

The use authorized by this variance consists of a new single-family residence with an attached two-car garage, which is a permitted use in the RSF zone and is consistent with neighboring properties and uses in the vicinity of the site.

4. Granting the variance would not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located;

Granting the requested variance would not be detrimental to public health, safety, or welfare because the proposed single-family residence is consistent with what would be permitted on similar single-family residential lots and the development intensity is consistent with what was envisioned for the subject zone. The significant retaining wall system proposed for the new single-family home will improve roadway safety by stabilizing the slope and preventing dirt and rocks from falling onto the roadway.

5. The variance is consistent with the General Plan and any applicable Specific Plan;

The variance is consistent with the Town's General Plan, as the land use designation for the subject property is Low-Density Residential 2 (LDR-2). This land use designation allows for single-family detached residential development, and therefore the use is consistent since it is a new detached single-family residence.

There is no specific plan applicable to the property.

6. The variance is the minimum departure from the requirements of this Zoning Code necessary to grant relief to the applicant, consistent with Subsections A and B, above; and The variance is the minimum departure from the requirements of the zoning code necessary to grant relief to the applicant because one exterior parking space was originally proposed within the new driveway area, but this layout could not be approved because the parking space would encroach into the 10-foot IOD required by the Engineering Division. Other properties on the same street have a similar parking arrangement with two enclosed parking spaces and no exterior parking space.

The additional request for a 20 percent reduction to the front setback and south side yard setback are consistent with the allowable range of setback reductions that would typically be processed administratively via an adjustment application. Since a Variance application was required for this project in order to allow the elimination of the required exterior parking space, the setback reduction request was included with this application to enable concurrent review and approval.

7. The approval of the variance is in compliance with the requirements of the California Environmental Quality Act.

The project is in compliance with the requirements of the California Environmental Quality Act (CEQA) because it is categorically exempt from CEQA pursuant to CEQA Guidelines §15303, *New construction or conversion of small structures*. The Project qualifies for this exemption because the exemption allows for the construction of small new structures, including a single-family residence in a residential zone, to not be subject to additional environmental review. The proposed project consists of the construction of one single-family residence located within a residential zone, and is therefore consistent with the types of projects that qualify for this exemption.

SECTION 2. PLANNING AND ECONOMIC DEVELOPMENT COMMISSION ACTIONS.

The Planning and Economic Development Commission hereby takes the following actions:

- 1. Finds that this project is categorically exempt pursuant to Section 15303, New Construction or Conversion of Small Structures pursuant to the California Environmental Quality Act (CEQA) Guidelines; and
- 2. Approves Variance 25-001 subject to the following conditions:

(SEE EXHIBIT "A"); and

3. Directs staff to file a Notice of Exemption.

PASSED AND ADOPTED this 14th day of May 2025, by the following vote, to wit:

AYES:

NAYS:

ABSENT:

ABSTAIN:

RECUSED:

ATTEST:

Nolan Bobroff, Community and Economic Development Director Michael Vanderhurst Chair of the Mammoth Lakes Planning and Economic Development Commission

NOTE: This action is subject to Chapter 17.104 of the Municipal Code, which specifies time limits for legal challenges.

Resolution No. PEDC 2025-07 Page 6 of 10

PROPERTY OWNER:

We, Karen and Mike Gutt, are the property owners and we do hereby attest that we have read, and agree to, the conditions of approval stipulated within this Resolution.

	Date:
Karen Gutt Property Owner (Notary Required)	
Mike Gutt	Date:
Property Owner (Notary Required)	
CALIFORNIA ALL-P	URPOSE ACKNOWLEDGMENT
	ting this certificate verifies only the identity of the ownich this certificate is attached, and not the at document.
State of California County of Mono }	
On, before me,	, Notary
Public, personally appeared	, who
proved to me on the basis of satisfactory e	evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and ac	knowledged to me that he/she/they executed the
same in his/her/their authorized capacity(id	es), and that by his/her/their signature(s) on the
instrument the person(s), or the entity upo	n behalf of which the person(s) acted, executed
the instrument.	
I certify under PENALTY OF PE	RJURY under the laws of the State of California
that the foregoing paragraph is true and co	prrect.
WITNESS my hand and official seal.	
Signature of Notary	_

EXHIBIT "A" Resolution No. PEDC 2025-07 Case No. VAR 25-001 CONDITIONS OF APPROVAL

STANDARD PLANNING CONDITIONS

- 1. This approval authorizes the following: Reduction of one exterior parking space and a 20% reduction of the 5-foot front setback and 10-foot south side yard setback, to permit the construction of a new single-family residence with attached two-car garage located at 307 John Muir Road.
- 2. The approved site and building plans consisting of fourteen (14) sheets, dated received by the Town on March 18, 2025, shall be adhered to and maintained for the duration of the permit.
- 3. This permit and all rights hereunder shall automatically terminate unless the site preparation or construction has been commenced within two years after the issuance of this approval and such work is diligently carried on until completion, or an extension of time has been granted in accordance with Municipal Code §17.60.060.B.
- 4. All new improvements constructed on the site shall be in compliance with all Town of Mammoth Lakes, County of Mono, Mammoth Community Water District, the Mammoth Lakes Fire Protection District, the CRWQCB Lahontan District, Great Basin Air Pollution Control District, OSHA, State of California and United States of America laws, statutes, ordinances, regulations, directives, orders, and the like applicable thereto and in force at the time thereof. Any violation of the above may constitute grounds for revocation under Chapter 17.128 of the Mammoth Lakes Municipal Code.
- 5. This resolution of approval, as conditioned herein, shall be recorded for the subject property by the Mono County Recorder's Office to commence the approved use on the property or the issuance of any building permits for new or remodeled structures.
- 6. The site shall be maintained in a neat, clean and orderly manner. All improvements shall be maintained in a condition of good repair and appearance. Outdoor storage of equipment and other materials, except for firewood, is prohibited. Non-operating vehicles, equipment and materials inappropriate to the site and its use shall not be stored within outdoor areas on the site.
- 7. Storage of construction materials and equipment off-site shall not be permitted without a permit issued by the Community and Economic Development Department of the Town. Any public or private property altered, damaged or destroyed by site preparation, grading, construction or use shall be restored to its pre-existing condition by the permittee.
- 8. All conditions of this permit shall be met or secured prior to final occupancy approval of any tenant improvements or new structures.
- 9. All uses are subject to review by the Building Official of the Town of Mammoth Lakes and must conform to occupancy ratings of the structures to obtain occupancy.
- 10. Town staff shall have the right to enter the subject property to verify compliance with these conditions. The holder of any permit associated with this project shall

make the premises available to Town staff during regular business hours and shall, upon request make records and documents available to Town staff as necessary to evidence compliance with the terms and conditions of the permit.

- 11. Prior to the issuance of a building permit, the applicant shall pay all applicable fees as prescribed by ordinance and/or resolution and pay any fees due on the project processing account.
- 12. Where compliance with the conditions of approval or applicant-initiated changes to the plans require additional staff review, that review time shall be billed at the Town's established billing rates. Prior to the issuance of a building or grading permit, the applicant shall pay all outstanding costs for the processing of this application.
- 13. This action may be appealed to the Town Council within fifteen (15) calendar days from the date of Planning and Economic Development Commission approval in accordance with Municipal Code Chapter 17.104.
- 14. The applicant shall defend, with counsel selected by the Town, indemnify, and hold harmless the Town and its agents, officers, and employees from any claim, action, or proceeding against the Town and its agents, officers, or employees to attack, set aside, void, or annul, an approval of the Town, advisory agency, appeal board, or legislative body concerning this approval. The Town shall promptly notify the applicant of any claim, action, or proceeding and shall be entitled to control the defense of any action.
- 15. All exterior lighting shall comply with Chapter 17.36.030 of the Town of Mammoth Lakes Municipal Code, Exterior Lighting. Exterior light fixtures having a total of over 400 lumens of output shall be equipped with shields that extend below the horizontal plane of the light source to direct the light downward onto the structure or surrounding grounds. Accent lighting is permitted as described in Municipal Code Section 17.36.030.F.6. This shall be verified prior to issuance of a certificate of occupancy.
- 16. If the aggregate landscaped area exceeds 500 sq. ft., a landscape documentation package shall be required prior to final sign-off of the Building Permit from the Planning Division. Said landscape documentation package shall conform with the requirements identified in Municipal Code Chapter 17.40 (Water Efficient Landscape Regulations). The aggregate landscape area is defined as the total horizontal surface area dedicated to plant installation and irrigation plus the wet surface of any decorative water features. The landscape area for shrubs and trees shall be determined using the shrub/tree mature growth diameter or drip line. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, or other pervious or non-pervious hardscapes outside of planted areas. Landscape area does not include undisturbed areas with established non-irrigated vegetation, or landscaping that is exempt pursuant to Municipal Code Section 17.40.020.D.
- 17. A valid building permit and a permit from the Mammoth Lakes Fire Protection District are required before any building can begin on-site.
- 18. If necessary, water and sewer connections require a Connection Permit from Mammoth Community Water District. Prior to the Town authorizing any construction, the applicant shall obtain water and sewer permits from Mammoth Community Water district and pay applicable fees to the District.

19. All conditions of approval shall be printed verbatim on all of the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the index.

SPECIAL PLANNING CONDITIONS

- 20. The Building Division will require that a string line be run between the property monuments along the front property line and the south side property line at the time of foundation inspection to verify the actual field distance from the structure to the property line.
- 21. Soil shall be brought back to cover the garage roof structure. The fill area shall provide the appearance of a gentle slope between the garage and the new single-family home. This area shall be re-vegetated with a native seed mix and/or planted with various grasses and shrubs.
- 22. No snow shall shed or be deposited onto adjacent properties or Town right-ofway. This shall include snow that is removed from any portion of the property, including, but not limited to, the structure, driveway, and/or common areas. All interim snow storage areas shall be on the subject property. The property owner shall be subject to fines pursuant to Municipal Code §12.16.030 (*Snow Removal* – *Violation/Penalty*) if found to be in violation of this condition.
- 23. The parking requirements of the Town of Mammoth Lakes for parking within the right-of-way or on Town streets shall be adhered to at all times, including, but not limited to, Municipal Code §10.12.10 (winter parking prohibition) and Municipal Code §10.12.106 (Obstructing snow removal), which prohibits the parking of vehicles within any town right-of-way at any time which will obstruct, hinder, or delay Town snow removal operations or leave vehicles in such a position that they are subject to damage from Town snow removal operations.
- 24. Pursuant to Municipal Code §17.64.040, the approval of the Variance shall run with the land through any change of ownership of the subject site, from the effective date of the permit. All applicable conditions of approval, as specified in this resolution of approval, shall continue to apply after a change in property ownership.

ENGINEERING DIVISION CONDITIONS

- 25. The property owner shall execute a "hold harmless" agreement with the Town, releasing the Town from any liability for damage to vehicles parked in the right of way as a result of snow removal operations or any other construction or maintenance of the ROW. At the time of application for building permit, please provide a copy of the most recent grant deed for the property to assist the Town in preparing the document. The agreement will need to be executed prior to obtaining final inspection/certificate of occupancy.
- 26. Drip line trenches are required below all eaves (which do not have roof gutters or downspouts) that receive direct runoff from rooftops. See Storm Drainage Design Manual p 2-24.
- 27. Existing drainage patterns across the property shall be maintained.
- 28. Prior to building permit issuance, the applicant shall execute an Irrevocable Offer of Dedication (IOD) for the easterly 10 feet of the subject property adjacent to John

Muir Road. The IOD shall be for street, pedestrian infrastructure, and snow storage purposes.

29. Temporary and permanent erosion control plans shall be included with the grading, improvement, and building plans. Continuous water spraying or other approved methods shall be used during grading operations to control fugitive dust. Drop inlet filters and other temporary Best Management Practices shall be employed to filter nuisance water from storm drain inlets affected by construction, on-site and off-site. Groundwater pollution from urban run-off water generated by the project shall be mitigated using best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Lahontan District, and as indicated in the "New Development and Redevelopment Guidelines". The applicant shall apply for and obtain all required permits, written clearances or exemptions from the Lahontan District prior to any grading. All BMPs shall be shown on the erosion control plans. If the Town inspector determines that the BMPs in place are not adequate, then additional BMPs shall be installed at the discretion of the Town inspector or a revised erosion control plan shall be prepared for approval by the engineering services division. Gravel bags shall be used in lieu of sandbags. All permanent erosion control measures shall be irrigated for at least one season. Permanent BMPs shall include sediment traps upstream of infiltrators and oil water separators for parking areas consistent with the General Plan.

Attachment B

COVERAGE ANALYSIS

TOTAL LOT AREA	100%	7 535	SQ.FT.
ALLOWABLE COVERED AREA	40%		SQ.FT.
PROPOSED HOUSE / UPPER AREA		1.094	SQ.FT.
PROPOSED GARAGE, FOYER / STAIRS /	NREA	972	SQ.FT.
PROPOSED PAVED DRIVE AREA (INSID	E THE IOD.)	220	SQ.FT.
PROPOSED ENTRY PORCH AREA		53	SQ.FT.
ACTUAL COVERED TOTAL AREA	35.0%	2.649	SQ.FT.
SNOW STORAGE (530 x .75)		524.5	SO.FT.

PROPOSED GARAGE FOYER/ STAIRS

PROPOSED MID FLOOR/ STAIRS

PROPOSED GROUND FLOOR/ STAIRS

PROPOSED UPPER FLOOR AREA

=

=

=

=

744 SQ.FT.

296 SQ.FT.

263 SQ.FT.

906 SQ.FT.

239 SQ.FT.

946 SQ.FT.

GARAGE/SHOP AREA

STAIR/MECH. AREA

CONDITIONED AREA

COVERED DECK/PORCH

CONDITIONED AREA =

CONDITIONED

STAIR #1/ENTRY AREA

LEGAL DESCRIPTION

ASSESSOR PARCEL NUMBER: 031-053-008-000 LOT- 8, TIMBER RIDGE ESTATES 1 307 JOHN MUIR RD. MAMMOTH LAKES, CA. 93546

SCOPE OF WORK

NEW CONSTRUCTION OF A 1,852 SQ. FT. CONDITIONED AREA, ASSOCIATED STAIRWAY AND MECHANICAL ROOM TYPICAL FOR A SINGLE FAMILY HOME, W 441 SQFT, ATTACHED GARAGE AND ENCLOSED STAIRWAY'A LISO DECK AND PORCH AREA AT GROUND AND SECOND FLOOR PLANS.

SHEET INDEX

A1 A3.0 A3.1 A3.2 A3.3 A3.4 A4.0 A4.1 A4.2 A4.3 A4.4 A5.0 A5.1 A5.2	SITE / ROOF PLAN COVER INFO. GARAGE LOWER BLDS, FLOOR PLAN INDEFLOOR MECH STARE IF ICOR PLAN UNDEFLOOR MECH STARE IF ICOR PLAN UPPER FLOOR PLAN HOOF PLAN NOTES BUILDING CROSS SECTION- A 8 BUILDING CROSS SECTION- B BUILDING CROSS SECTION- B BUILDING CROSS SECTION- E BUILDING CROSS SECTION- E BUILDING CROSS SECTION- E BUILDING CROSS SECTION- E BUILDING CROSS SECTION- E SULDING CROSS SECTION- E S
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OWNERS

KAREN & MIKE GUTT 6723 MURRAY AVE. SOUTHWEST SEATTLE, WA. 98136 PH. 206.605.9759

DESIGNER P.O. BOX 7193 MAMMOTH LAKES, CA 93546 TEL/FAX (760) 934-4348

DESIGN

DIMENSION

Val

0 PLAN / ROOF

elimin

SITE

PROPOSED (

MURRAY AVE. SOUTHWEST SEATTLE, WA. 98136 307 JOHN MUIRHD. H LAKES, CA 93546

6723 1

& MIKE GUT

KAREN

AME: KARE ADDRESS:

CLIENT NAM

PROJECT ADDRESS

2024

03.18.25

A1

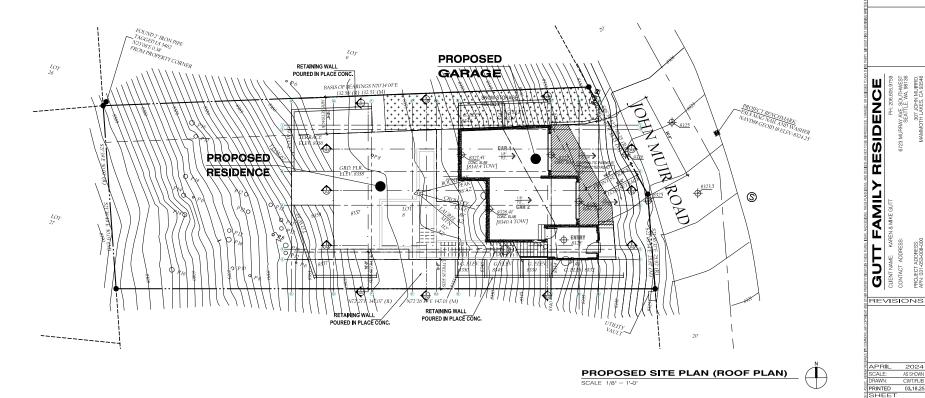
AS SHOW CWT/RJB

DESIGN DIMENSION ASSOC., INC. CRAIG TAPLEY/ PRINCIPAL, AIA. ASSOC. PO BOX 7193 MAMMOTH LAKES, CA. 93546 PH. 760.934.4348

CIVIL SURVEY

EASTERN SIERRA LAND SURVEYS GUY BIEN 19 SHANA CIRCLE CROWLEY LAKE, CA. 93546 CL 760.914.2580





TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES 2

- MITORANT ERKNOLOGY AND SELEMENT CONTINUES CONTINUES TO CONTINUES TO A VIEW OF A SECOND SECON
- neparation are not been.
 In Building address must be on a contrasting background, 4 inches in size, located in the vicinity of the Garage, and be readily visible and legible from the road occurs (the structure. Numbers shall contast with background be varies or vibible or vibibletical intern a structure of a starbar shall be animum structure of a 17.
 5. Igenitor-orient amortized Lipitior-excitant material shall be determined in accordance with the test procedures set from 16 NM banadim Lipitior-excitant Material
- 6-91-926 requ Cut and Fill slopes shall not exceed a ratio of (2:1) two units horizontal to one unit vertical.

OUTDOOR WATER USE & LANDSCAPING

- New residential developments with aggregate landscape area equal to or greater than 500 sq. ft. shall comply with one of the following options: 1. A local water efficient landscape ordinance of the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more
- stringent; or 2. Projects with aggregate landscape area less than 2,500 sq. ft. may comply with MWELO's Appendix D Prescriptive Compliance Option.
- Defensible Space: The existence or maintenance of any of the following conditions is prohibited: 1. Tree branches within 10 feet of a chimmoy outlet or storepipe cutlet; 2. Dada of ohjng ure branches adjacent to evendinging a baldingt 3. Leaves, needles, or other dada vegetarise growth on the root of any structure; 4. Flammable vegetarise or other cutoducting production baldingt cutter; 4. Flammable vegetarise or other cutoducting production baldingt cutter; 4. Flammable vegetarise or other cutoducting production baldingt cutter; 5. Jacks of an excepted dwelling or structure that

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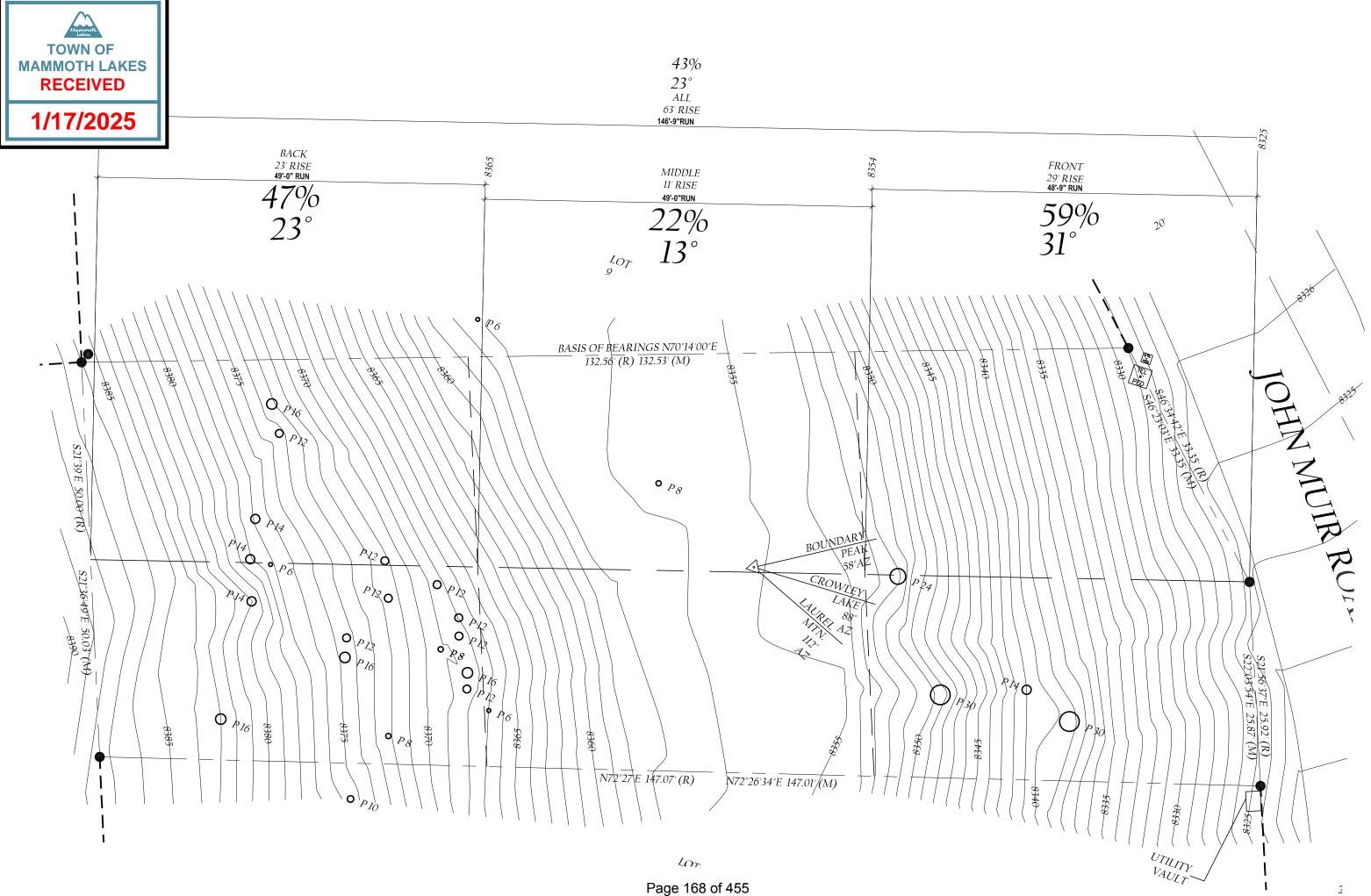
WILDLAND URBAN INTERFACE REOUIREMENTS

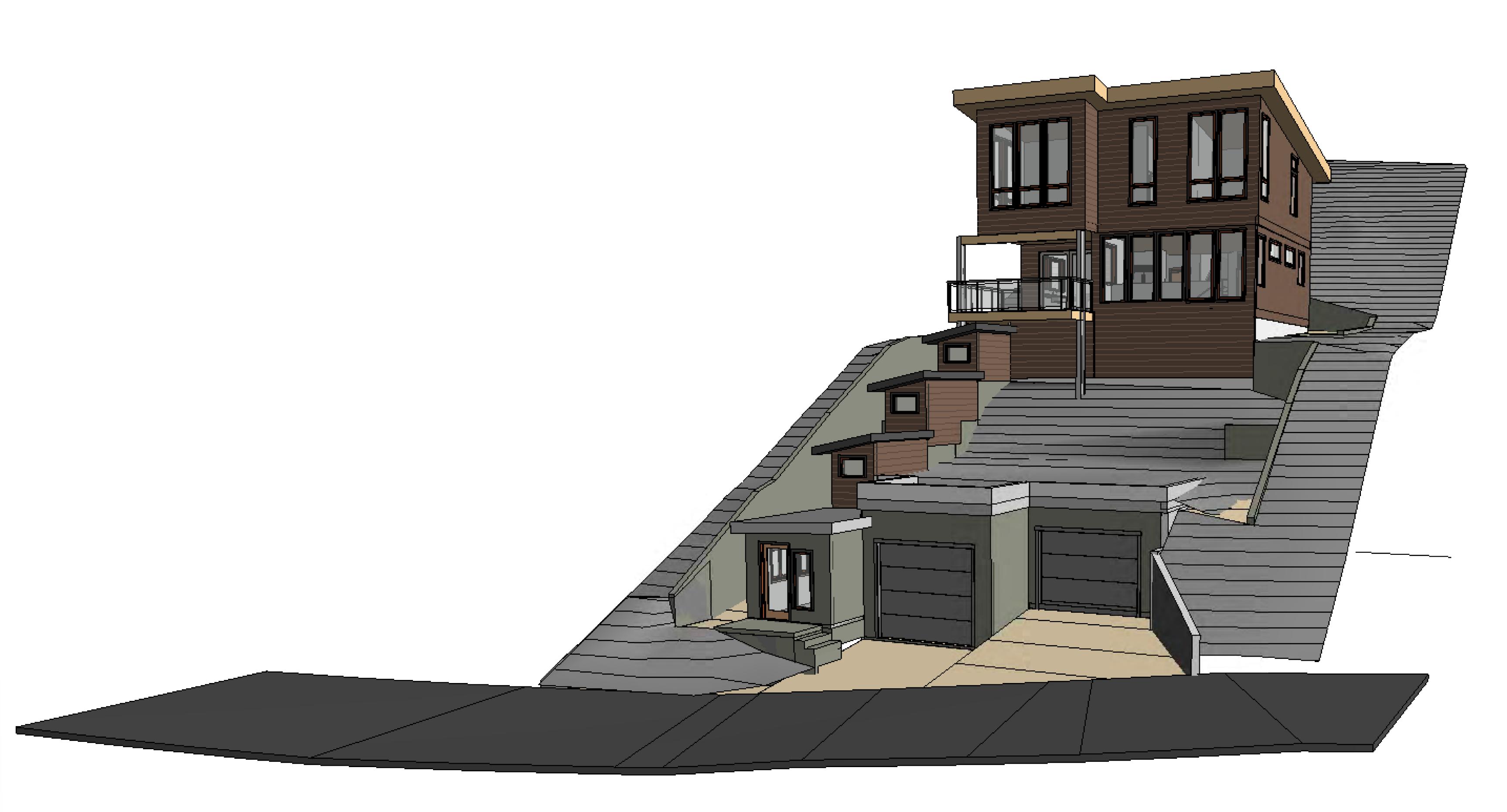
This project shall comply with the Wildland Urban Interface standards in the high hazard zone and must meet the required fire protection measures of California Residential Code Chapter 83.0 he completed following Fire & Life Safety review to guidlines in accorda with 2022 california Fire Code.

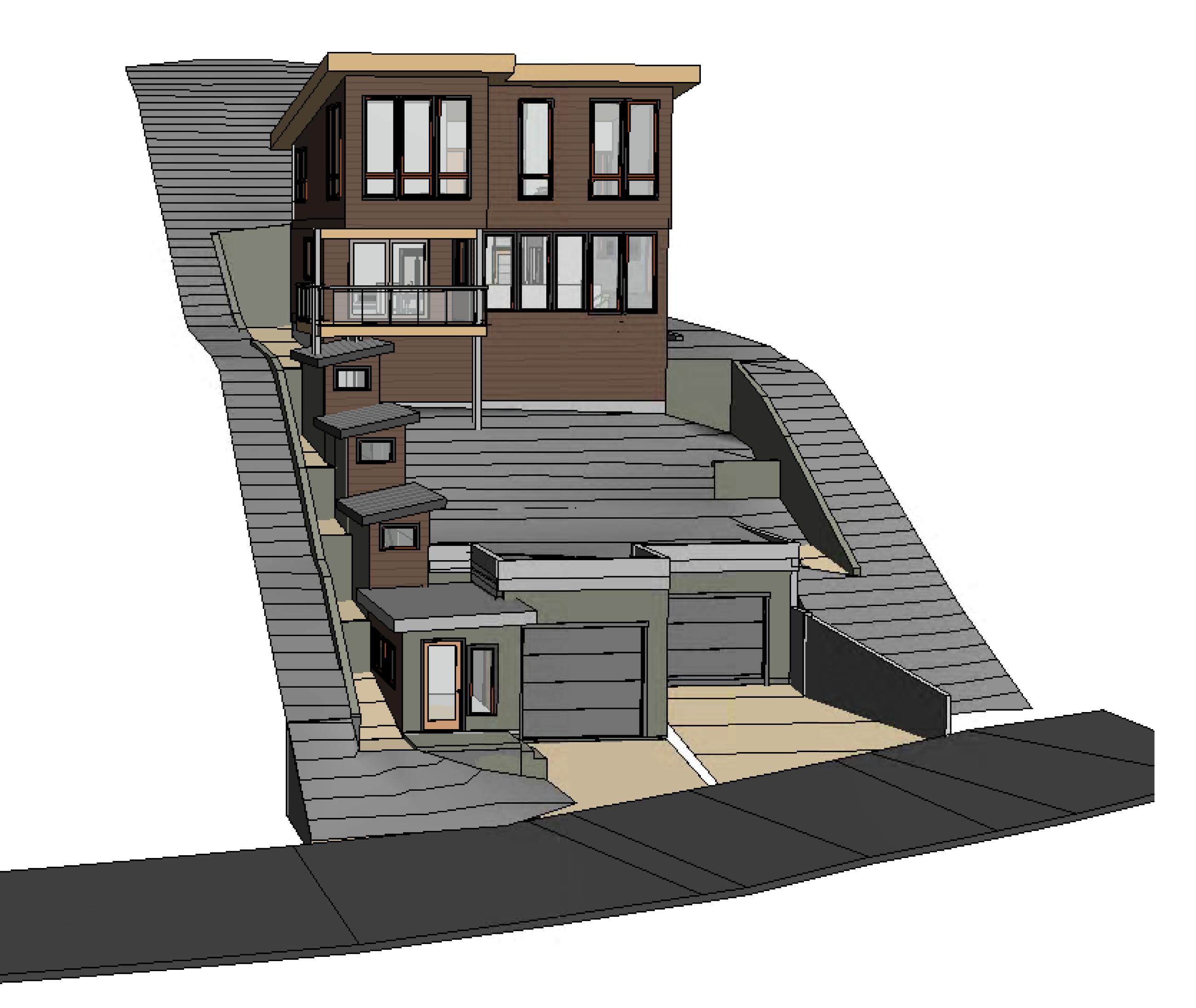
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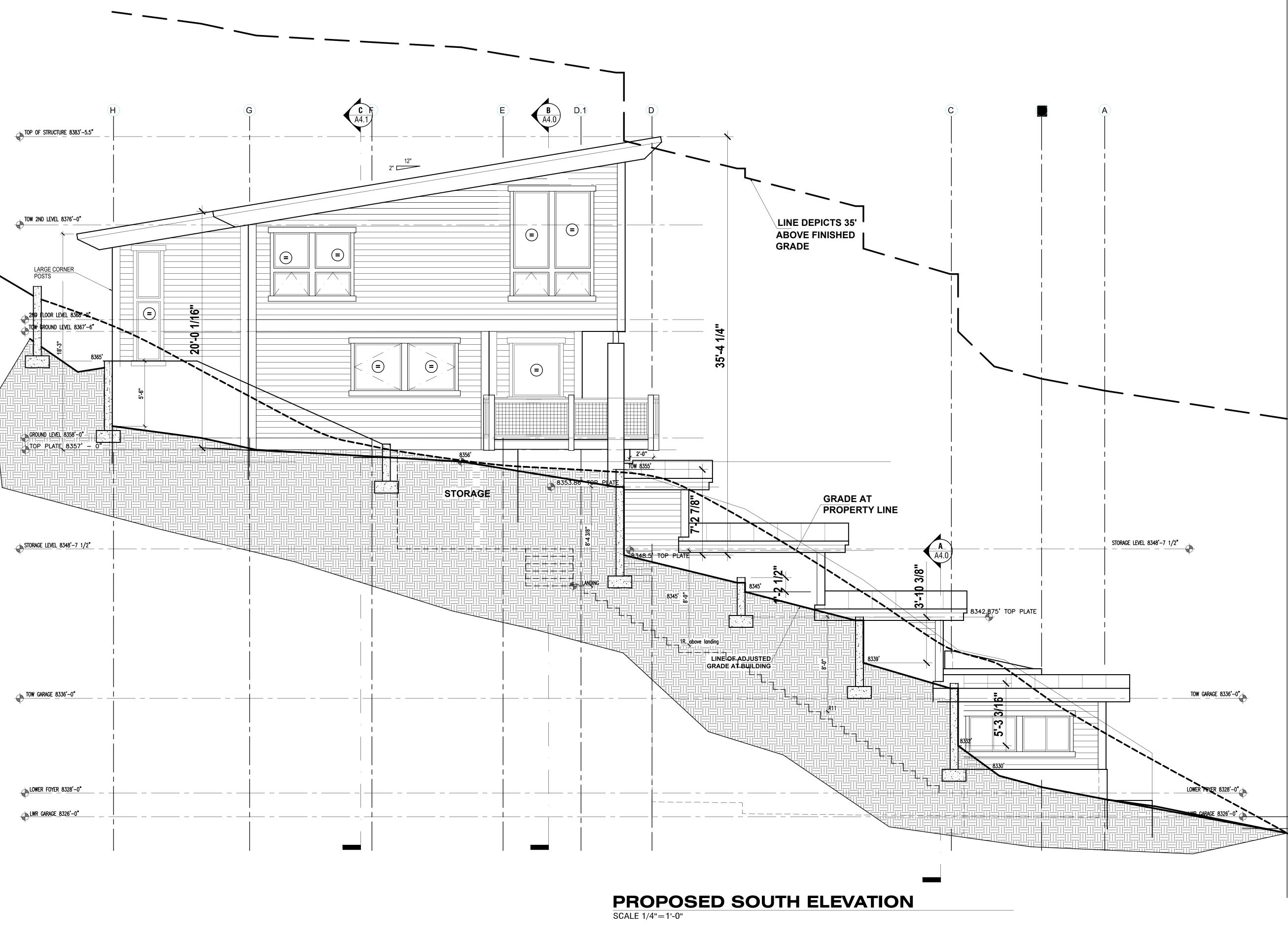
An approved Spark arrestor will be required for all Fireplaces, Barbeques, or other heaters in which solid or liquid fuels are used.

	Brush, flammable vegetation, or combustible vegetation located between 30 and 100 feet of an occupied
	dwelling or structure that prevents the creation of a Reduced Fuel Zone;
6.	Brush or other flammable material within 10 feet of a propane tank.

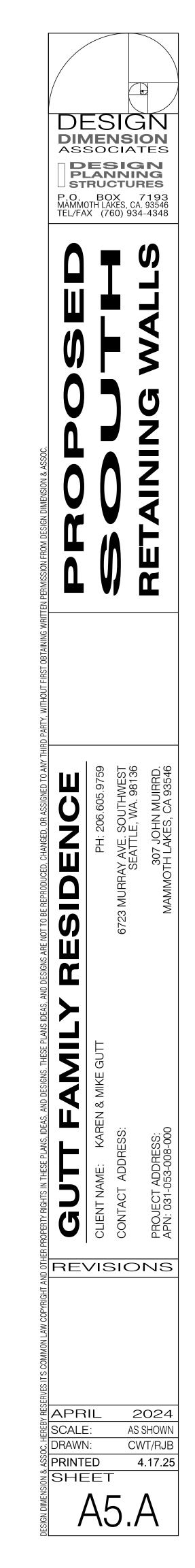


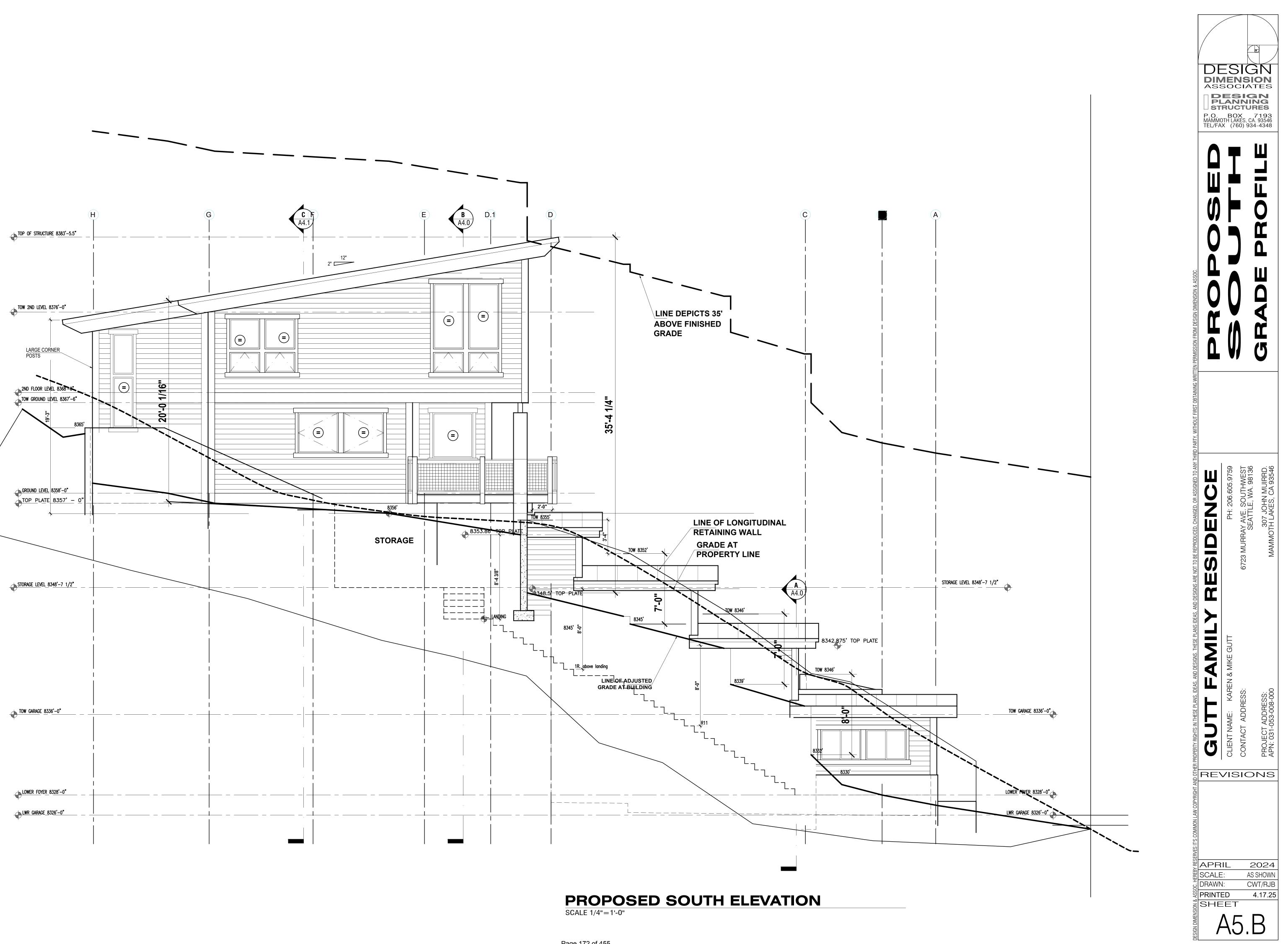




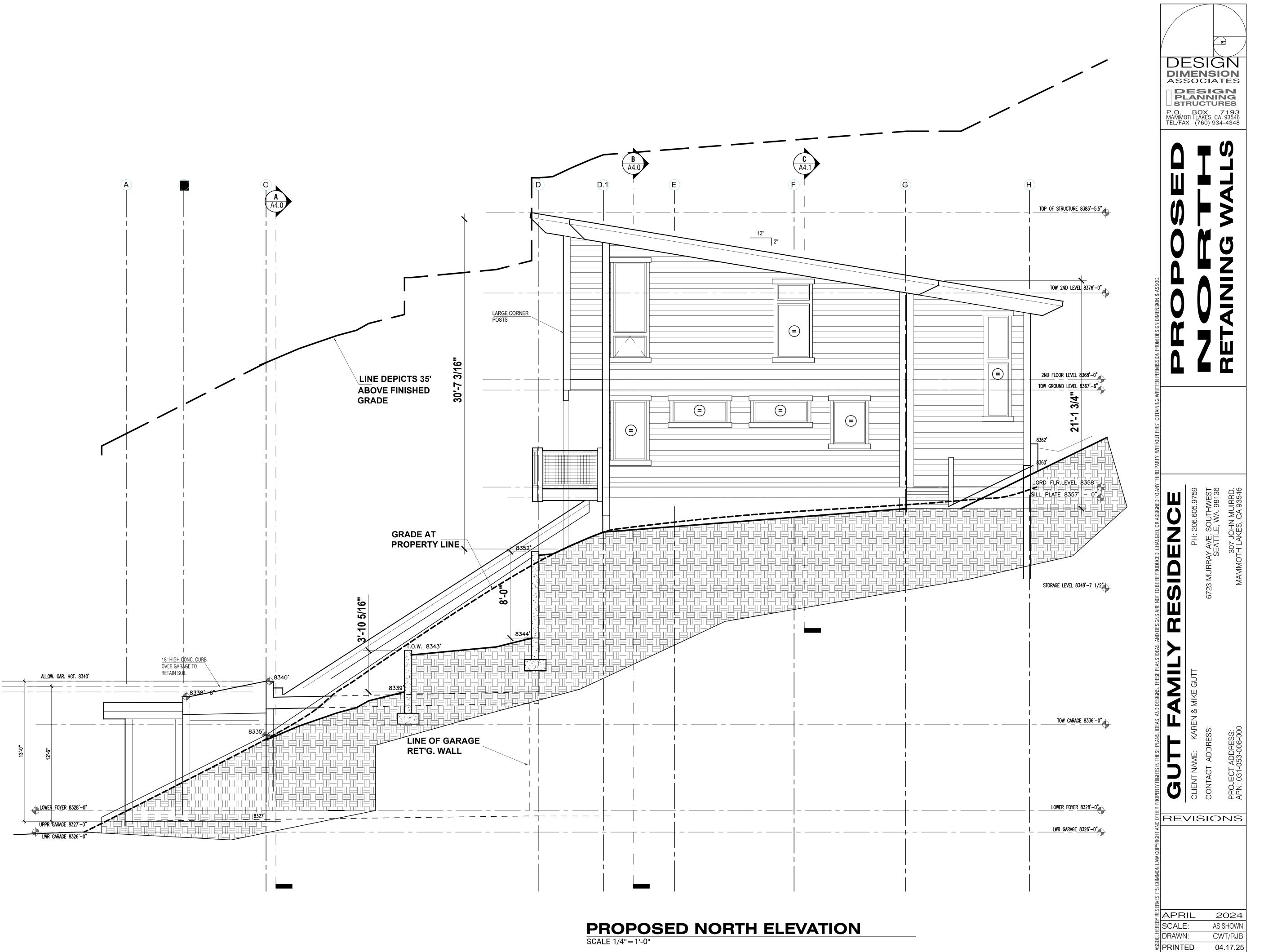


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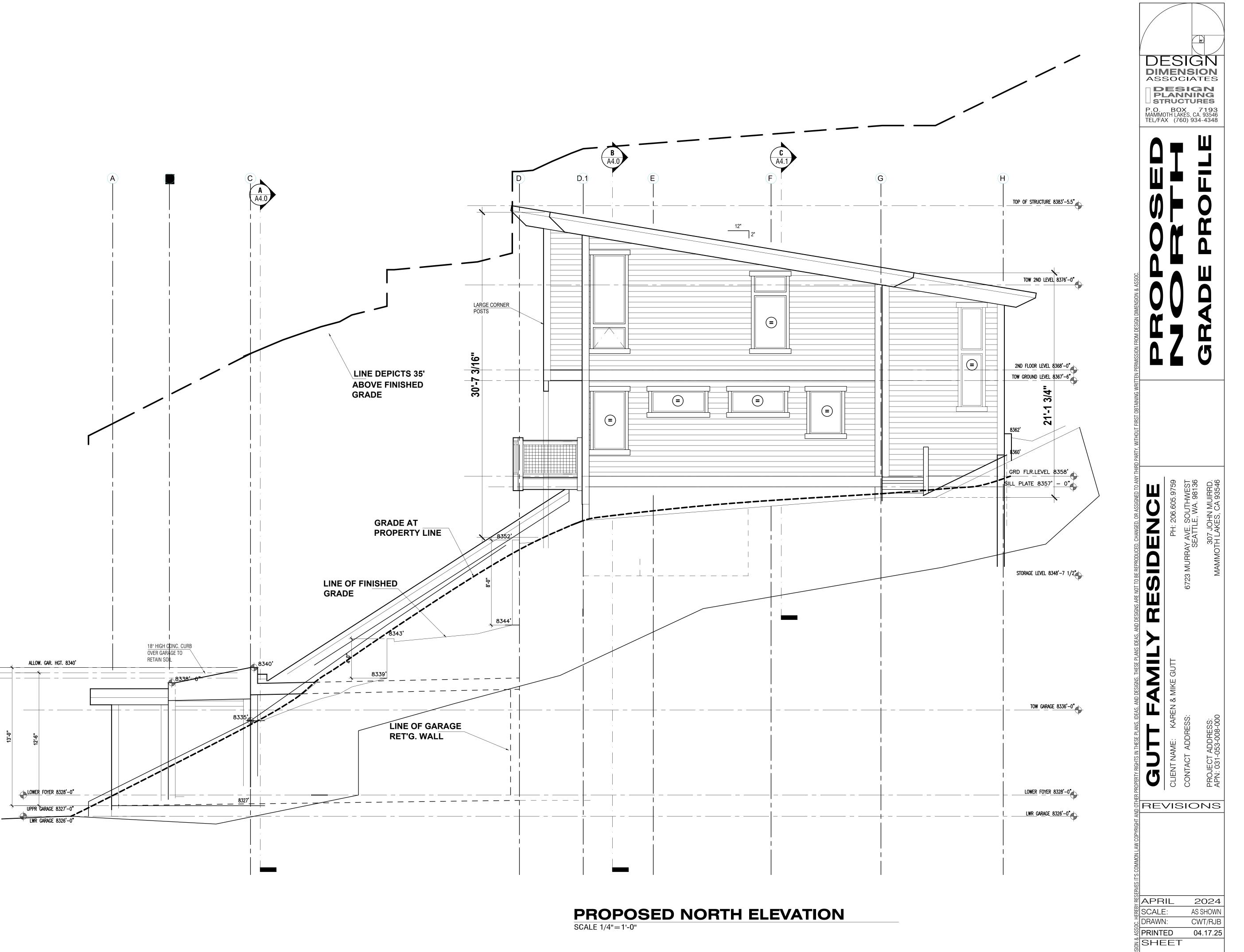


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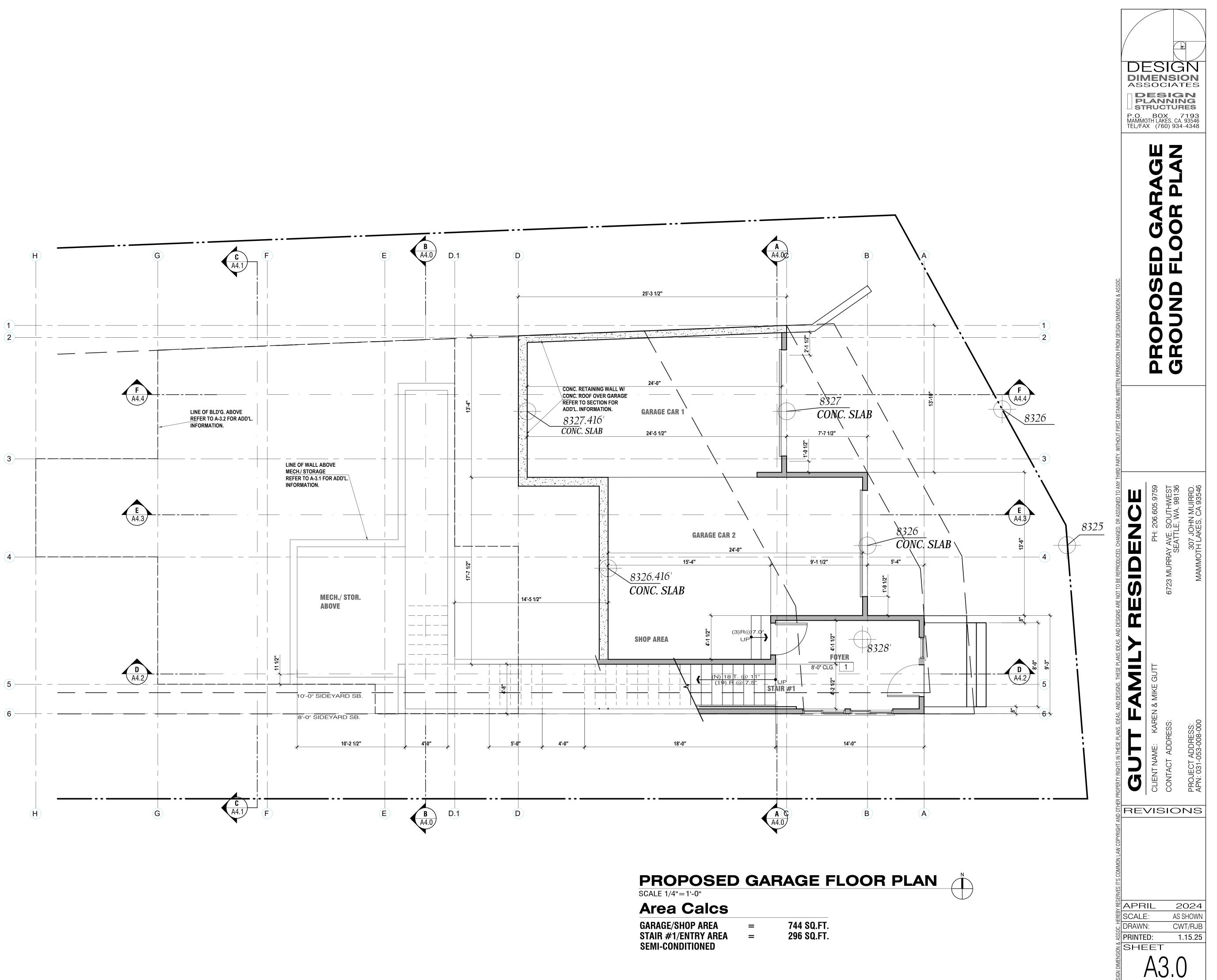


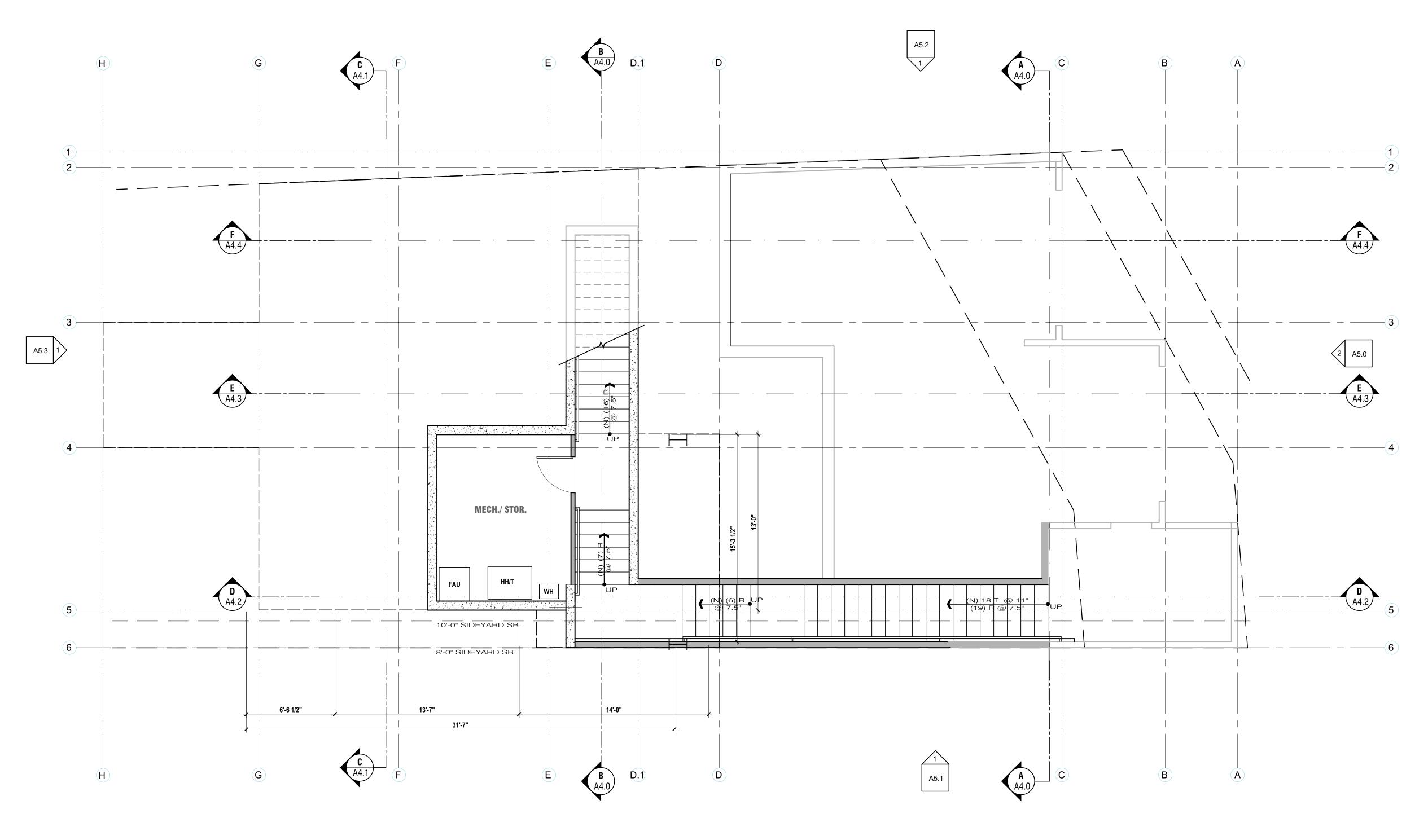
SHEET

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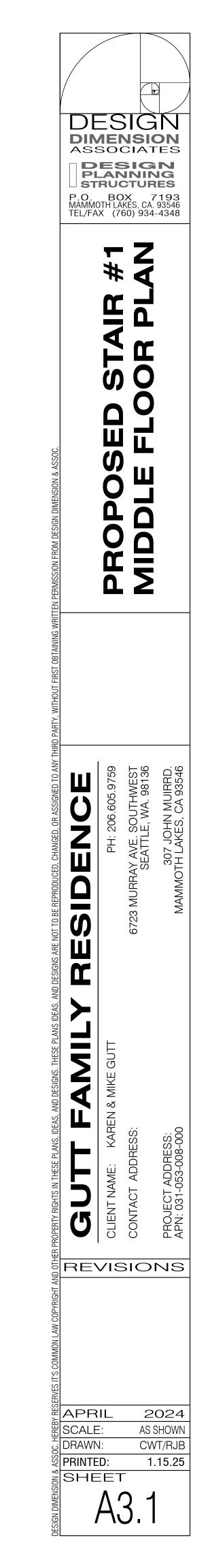
 PROPOSED MID FLOOR PLAN

 SCALE 1/4"=1'-0"

 Area Calcs

 STAIR #1/MECH. AREA
 =
 263 SQ.FT.

 SEMI- CONDITIONED



CALIFORNIA BUILDING CODE SPECIFICS REQUIRED per PLAN

Submittal documents for deferred submittal items such as **ROOF TRUSSES or** STRUCTURAL STEEL and SPECIAL INSPECTIONS shall be submitted to, or by the architect or engineer of record. Who shall review them and forward them, to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with design of the building. The deferred submittal items shall not be installed until their design, and submittal documents have been approved by the building official.

Glazing in the following locations should be of safety glazing material in accordance with section R308 (See exceptions):

- A.) Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- B.) Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

All egress windows may exceed the following dimensions: Clear operable area of 5.7 sq. ft. Clear width of 20" min. and Clear Height of 24" min. Not to exceed 44" above finished floor CRC, R-310.

Guardrails

- A.) Shall have a MINIMUM height of 42"
- B.) Openings between railings shall be less than 4". The triangular openings formed by the riser, tread, and bottom element of a guardrail at a strair shall be less than 4".

Handrails

- A.) Handrails are required on each side of stairways. Stairways less than 44" wide
- B.) at stairways serving one dwelling unit may have one handrail (if not open on both sides).
- C.) Handrails and extensions shall be 34" to 38" above nosing of treads and be
- D.) The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from walls shall have at least 1-1/2" between the wall and the handrail. Ends of the handrails shall be returned or shall have rounded terminations or bends.

Attic ventilation openings shall be covered with corrosion-resistant metal mesh with mesh openings of 1/4" in dimension. Section 1505.3. Provide not less than 1 square foot vented area for every 150 square feet of attic area.

Note: Provide 15# felt underlayment for the compo roof.

Anchor Bolt Requirements

The nominal anchor bolt diameter shall be 5/8" (for Seismic Zone 4 only). Note: This will require a minimum distance from the ends of sill plates to be 4- 3/8" (and a maximum of 12").

Plate washers (minimum size of 3" x 3" x .0299") shall be used on each anchor bolt. Where hold-downs require anchors for embedment, the hold down anchors must be secured in place prior to foundation inspection.

A.I.T.C. Certificate of Compliance for glued laminated wood members shall be given to the building inspector prior to installation. Section 2304.

In kitchens and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12" by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.

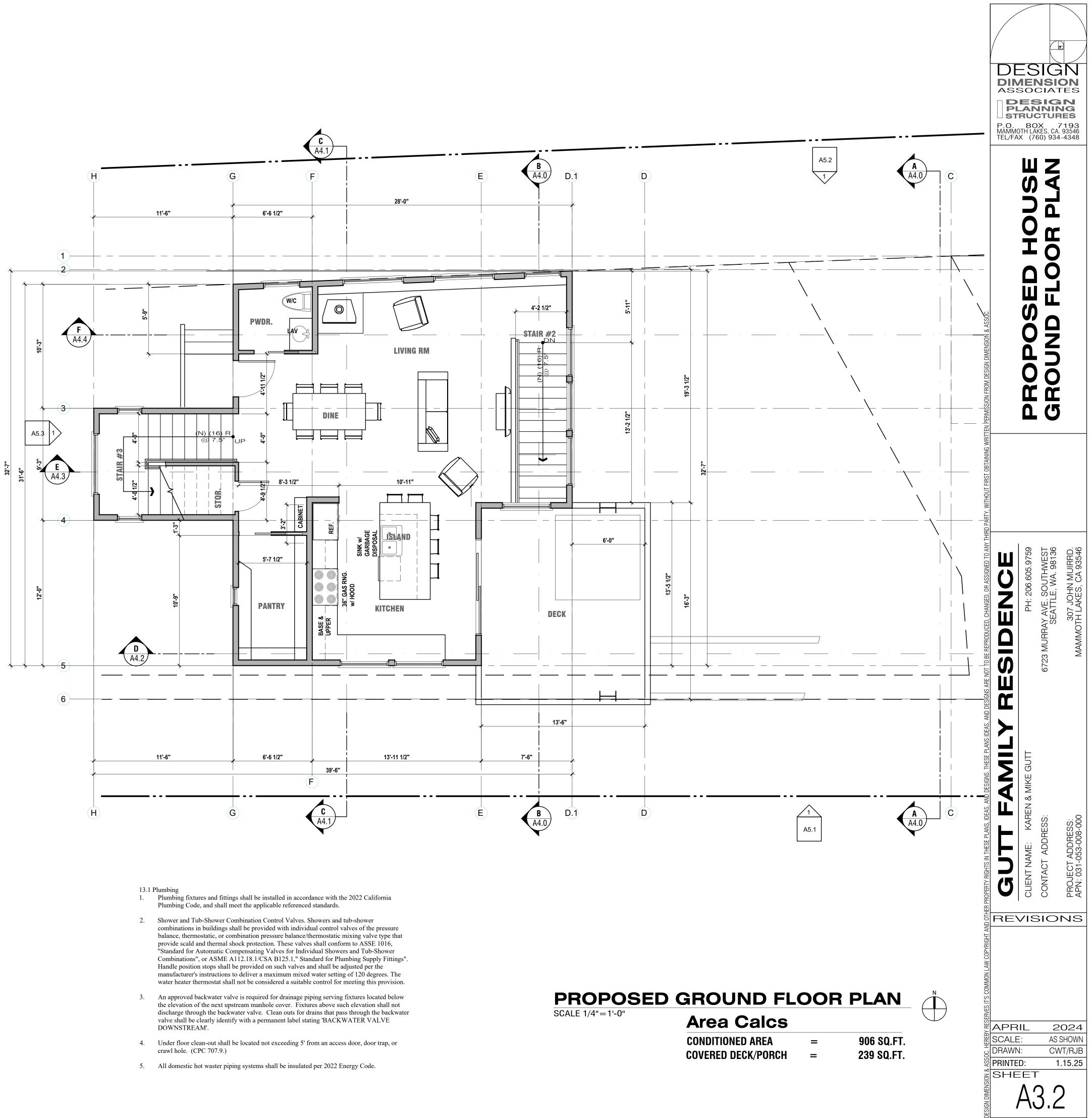
Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).

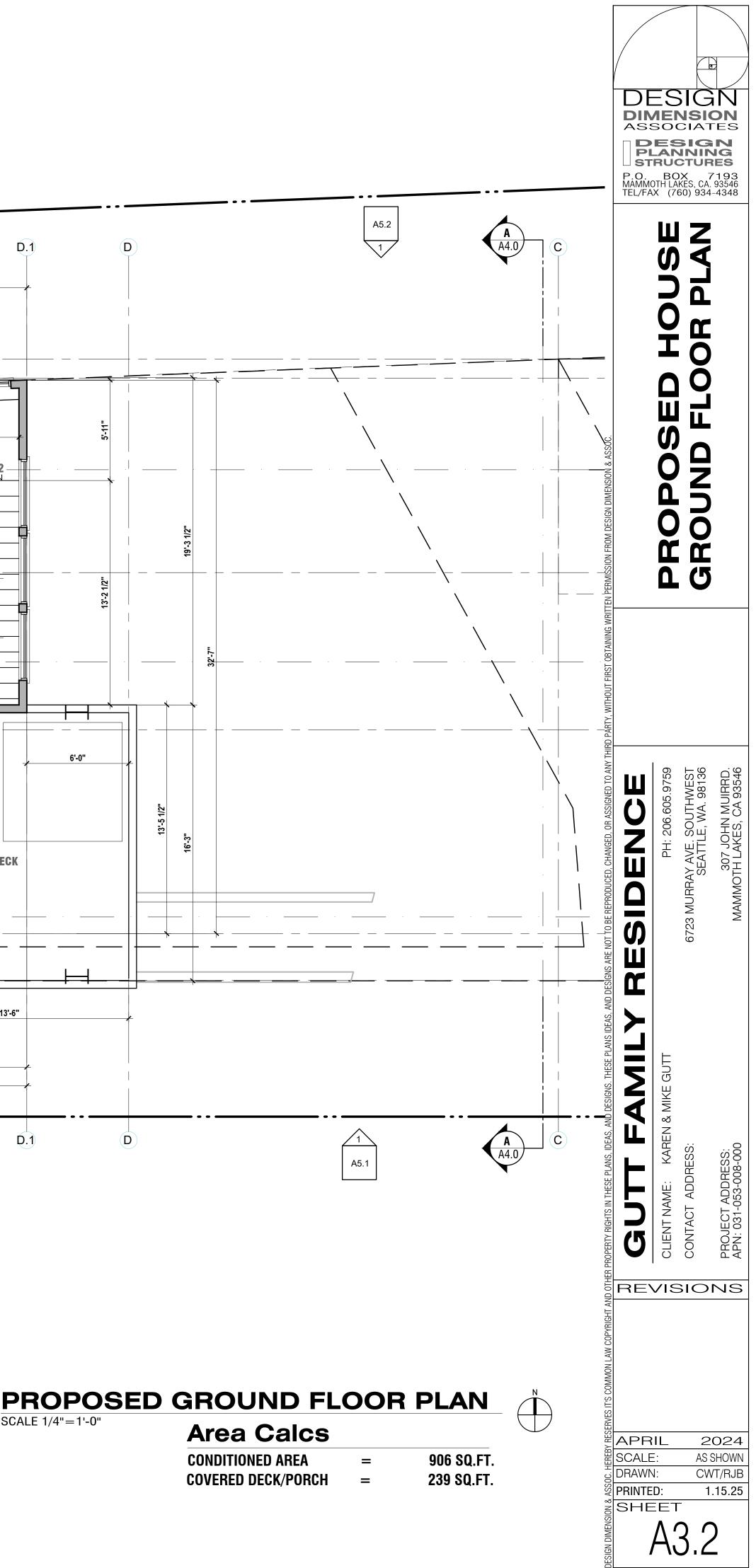
NOTES:

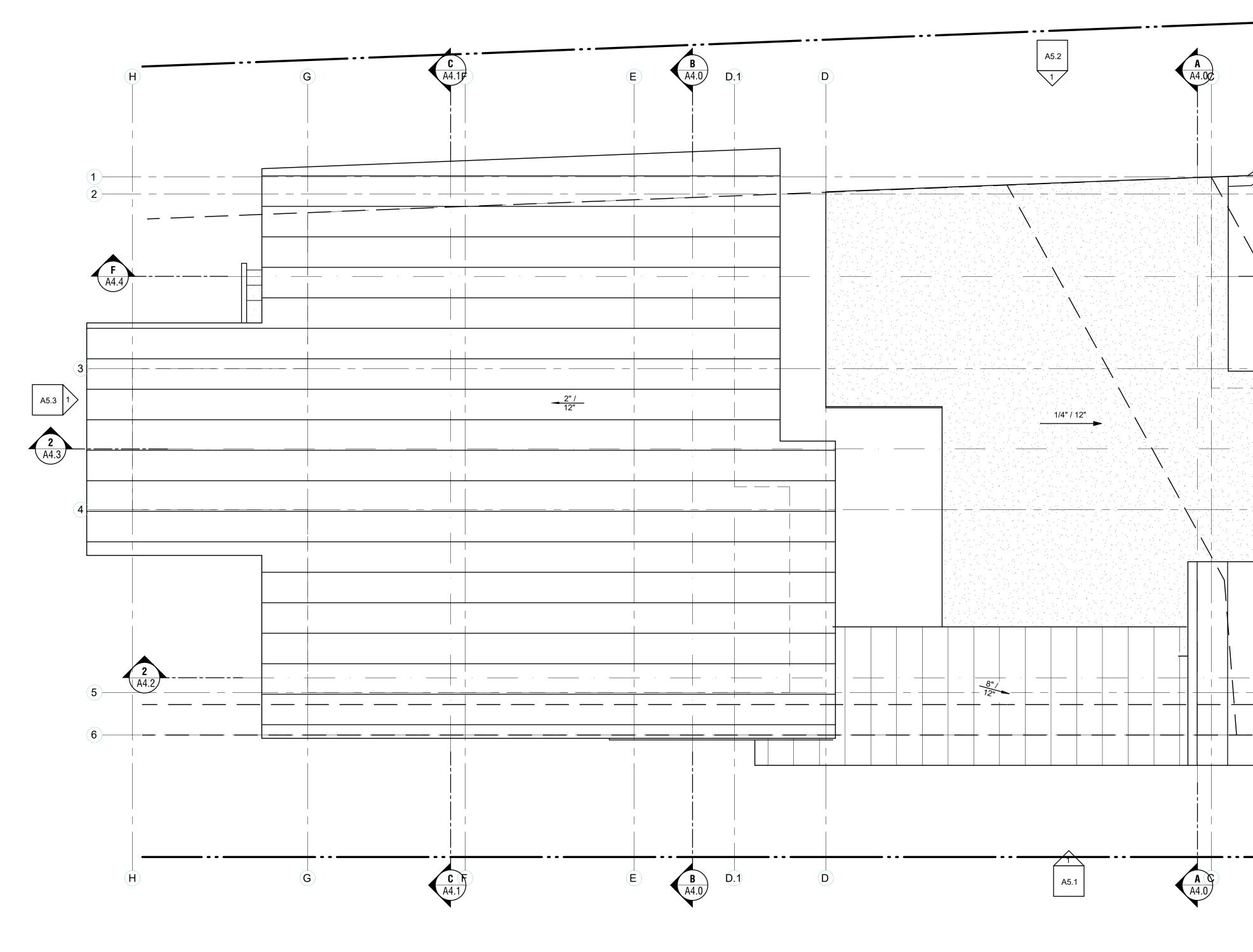
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- Combination Smoke / Carbon Monoxide Detectors to be supplied/placed @ all
- bedrooms, corridors leading to bedrooms, above top of stairs and at least one at every level. They should be hardwired to a primary power source and be supported by battery back up, wire to audible alarm system (CRC R315.1).
- a. Smoke detectors to be hard wired to primary power source and must be equipped with battery back-up. Detectors to be wired together so as to sound alarm system that is audible in all areas of the dwelling.
- b. Lpg detectors to be hard wired to primary power source and must be equipped with battery back up; as well as commonly wired to other detectors so as to sound alarm system that is audible in all areas of the dwelling.
- 3. Use 1- layer 5/8" type "X" Gyp. Bd. @ Garage walls & Ceiling. All joints to be taped and sealed, paint finish. Provides for occupancy separation as installed per 2019 CBC requirements.
- All interior walls to be 2x4, U.N.O.
- 5. All exterior walls to be 2x6, U.N.O.
- 6. All dimensions on plans override actual scale, contractor to contact Designer prior to any changes or deviations from plan.
- 7. Any new wood construction or framing required per plan shall meet or exceed any requirements of 2019 CBC.
- 8. Any doors that have glazing are required to be tempered glass.
- 9. Any windows or glazing with in 2'-0" from end of door swing to be tempered.
- 10. All egress windows may exceed the following dimensions: Clear openable area of 5.7 sq.ft. Clear width of 20" min. and a Clear Height of 24" min. Not to exceed 44" above finished floor per CRC R310.2
- 11. All LPG appliances to be directly vented to roof or exterior termination addressing all requirements per Mfr. specifications.
- 12. Provide LPG Sensor/Alarm @ all appliances and lowest point of floor area, and provide (a) subfloor, wire to audible alarm system.
- 13. Proposed Water Heater, NAVIEN Flash Boiler NPE-150 S2, 15K-150K BTU/Hr.,96% eff. LPG Fired ,conform to 2022 CBC requirements. Contractor to provide drain from appliance to exterior of building via PVC piping. New appliance supply to be connected to House plumbing system. Refer to Title 24 calculations on sheet T-1.
- 14. Proposed House heating to be provided by YORK TG9S LATITUDE, LPG fired 80,000 btu/hr, 95.5% AFUE. Refer to CEC Title -24 report and Calculations provided on Sht. T-1.
- 15. House to be provided with Code required Panasonic FV-10 Heat Recovery Unit. Located in Laundry room Ceiling with Mfr. ducting from exterior make up air to unit, then from unit to exterior.
- 16. All windows at exterior to be Aluminum tempered, dual pane, thermally broken .30 U-factor max.
- 17. All new glazing shall be installed with labels which shall remain in place for inspection. 18. Provided all required LPG drains, venting per Mfr. @ Mechanical appliances, to allow protection for equipment at their specific locations and brought to exterior via Class b
- 19. Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas (CRC R702.4.2)
- 20. The residence shall have address numbers placed in a position that is plainly legible from the street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and a minimum of 4" high with a minimum stroke of ¹/₂" (CRC R319.1).
- 21. Per practice through Design Dimension suggests Gas and Carbon Monoxide detectors need to be verified/installed throughout the residence per CRC R314.3, etc. Liquid Propane Gas sensors need to be located in the lowest point of the residence and lowest point of any under floor crawl space and connected to an audible alarm within the living area(s).Carbon monoxide detectors (or combo smoke/monoxide detectors) are needed within 20' of combustion appliances including, Natural gas, Propane, woodstoves, etc., in close proximity to the bedrooms. Carbon monoxide alarms to be "listed" as complying with UL 2034 and UL 2075. CRC R315.3
- 22. All exterior Glue Laminated Beams to be protected from elements with roof cover and treated with a minimum of Semi-Tarnsparent oil based stain.
- 23. All exterior mounted vents for Bathroom fans, Kitchen hoods, clothes dryer, to be protected with a metal back draft damper that is fit into the wall mounted GI., ICBO approved protected appropriate device. The vent termination should be water tight and painted to match exterior.
- 24. Where valley flashing is installed, the flashing shall not be less than .019-inch, 26 gage galvanized sheet or match color of drip edge metal corrosion-resistant metal installed over not less than one layer of minimum 72 pound mineral- surfaced non-perforated cap sheet complying with ASTM D 3909, at least 36" wide running the full length of the valley.
- 25. Site information provided by owner

vent for exhaust or PVC for liquid.

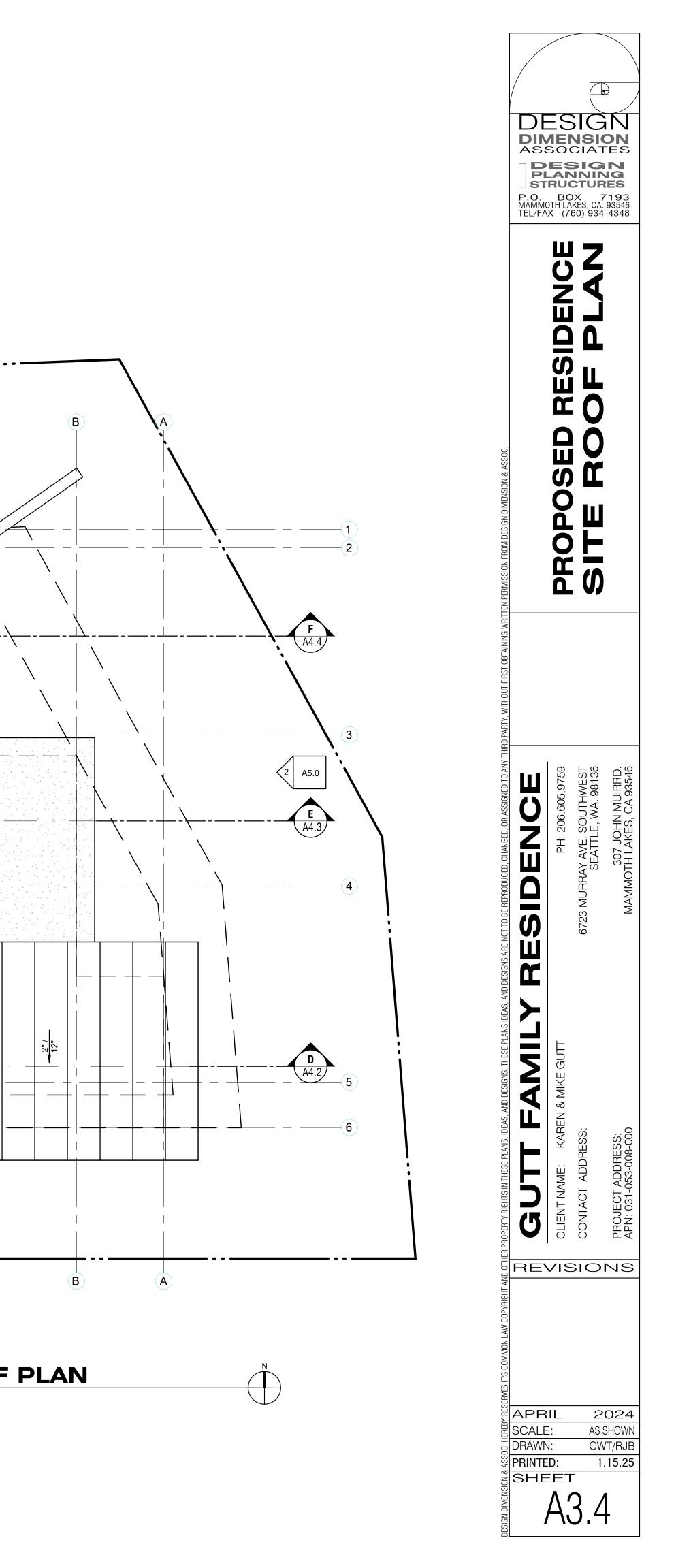
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- 27. All adhesives, sealants, caulking, paints and coatings shall not exceed the limits specified in CGBC Section 4.504.2.1.
- 28. At the time of final inspection, an Operation and Maintenance manual shall be provided to the building occupant or owner describing (CGBSC Section 4.410)
- 29. At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all ducts and other air related distribution component methods shall be covered with tape, plastic, sheet metal or other methods acceptable to reduce the amount of dust or debris which may collect in the system.
- 30. All exterior windows and exterior doors to be dual glazed with "owner approved" color. Windows are to be of a Alum. thermally broken manufactured frame. All exterior doors to be dual pane tempered glass. Refer to plans to verify windows that are to be tempered.
- 30. Instantaneous water heaters or "Flash Boilers" with an input rating greater than 6.8 kBTU/hr shall have isolation valves on both the cold-water supply and the hot water pipe leaving the water heater, and hose bibbs or other fittings on each valve for flushing the water heater when the valves are closed. (110.3(c)(7)) California Energy Code. سىر mma.







PROPOSED ROOF PLAN SCALE 1/4"=1'-0"



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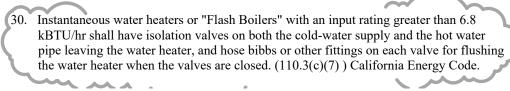
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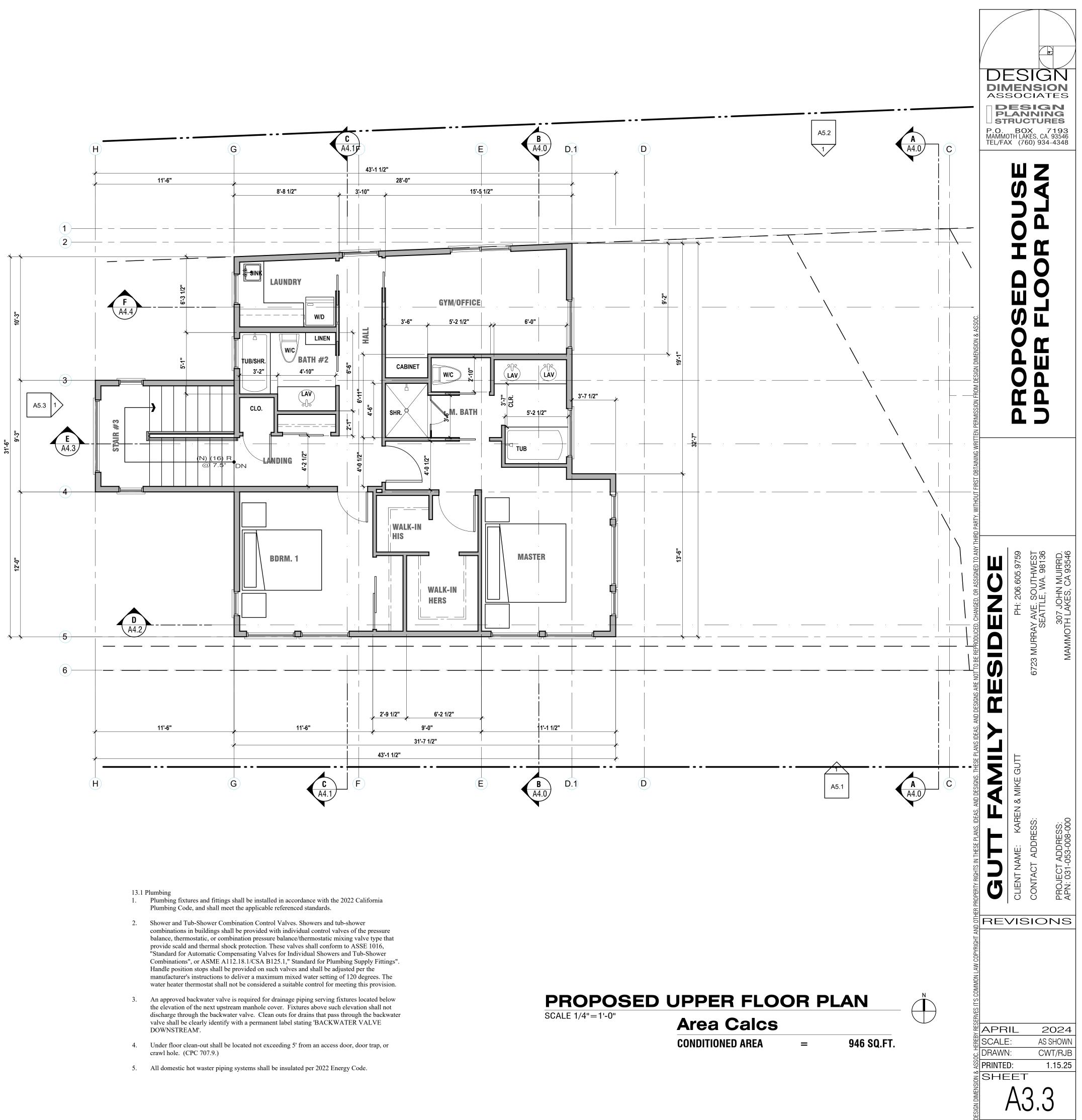
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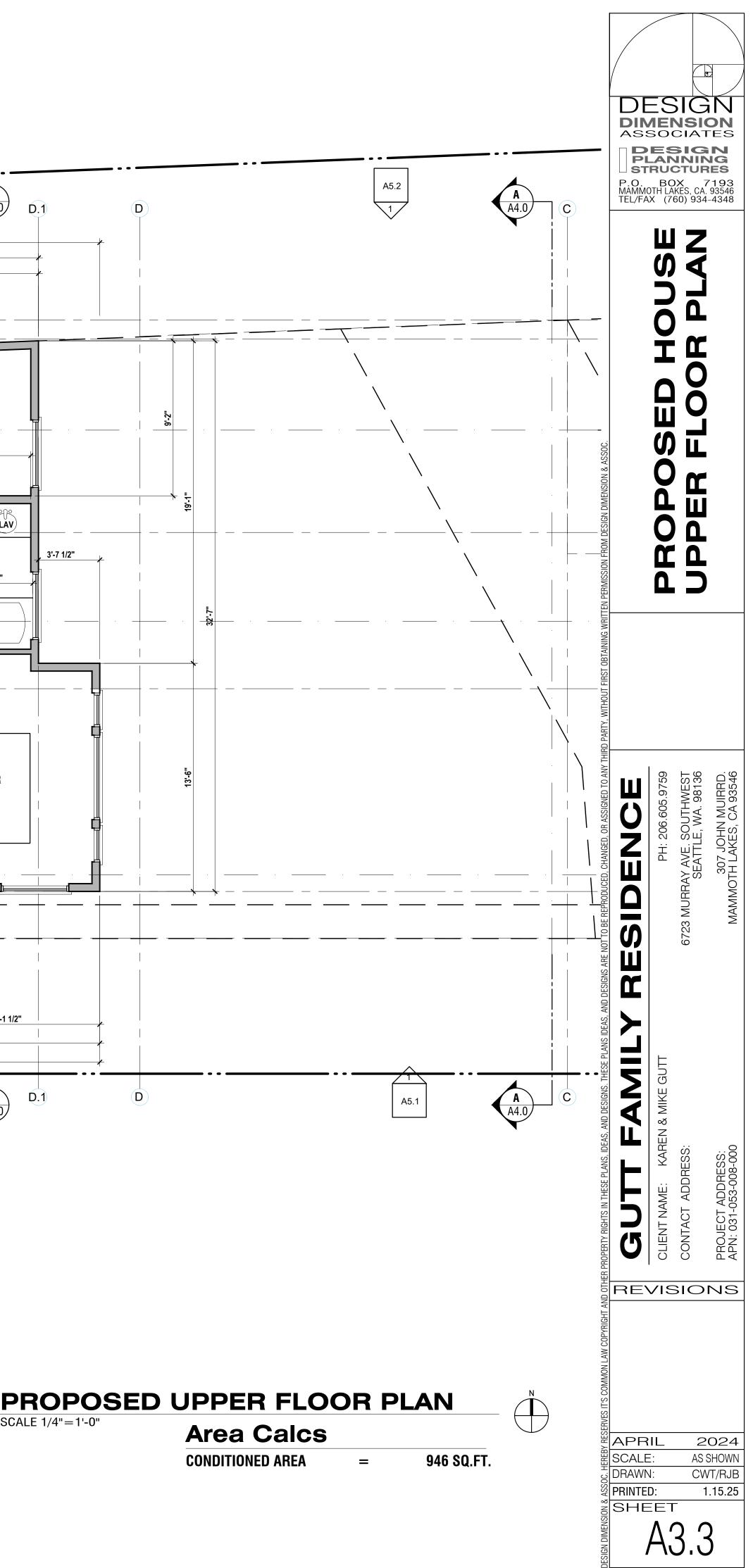
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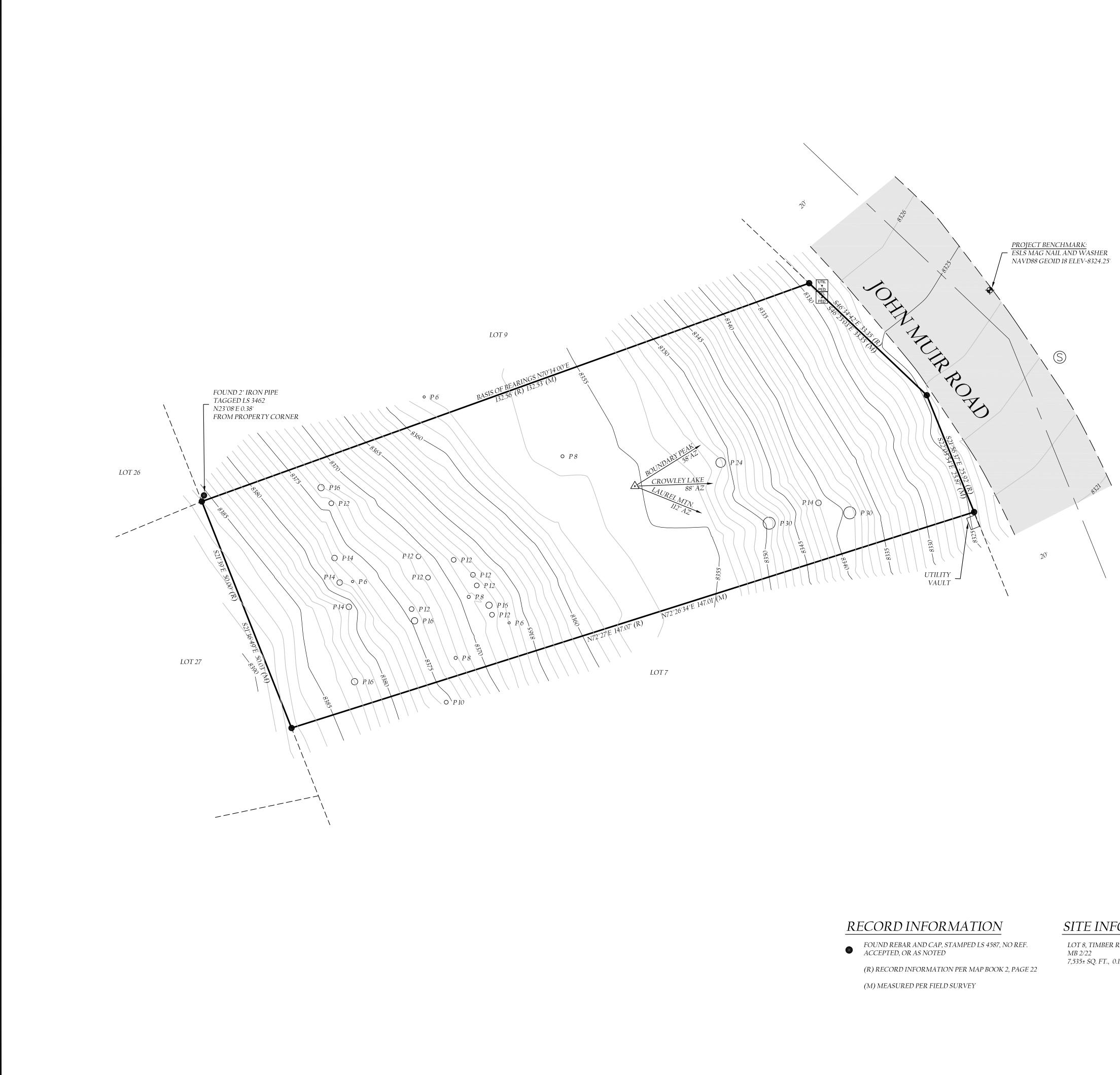
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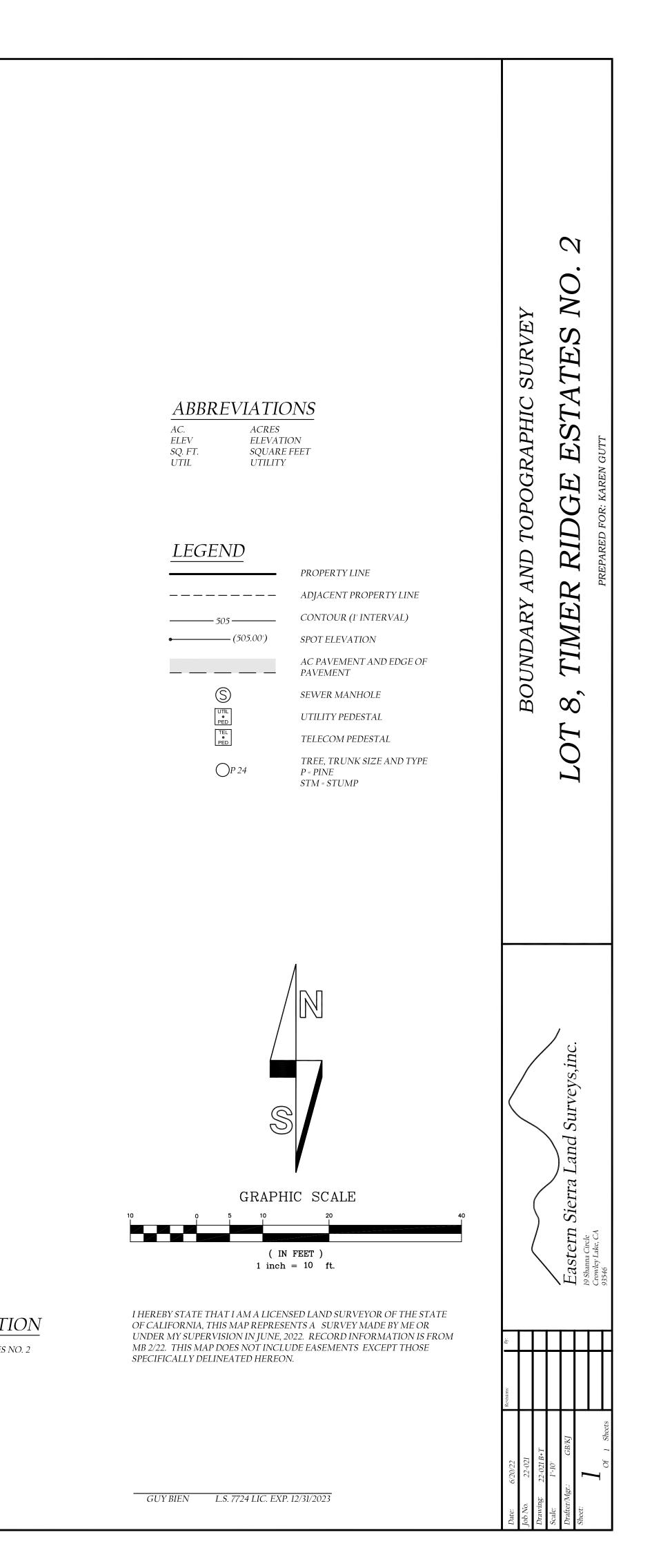






SITE INFORMATION

LOT 8, TIMBER RIDGE ESTATES NO. 2 7,535± SQ. FT., 0.17± AC.



Attachment C

Town Of Mammoth Lakes Planning Dept.

Variance Submittal – Project narrative/ 307 John Muir Rd., Single Family Residence

Craig Tapley/ Principal, Project Manager Design Dimension Associates, Inc. P.O. Box 7193 Mammoth Lakes, CA. 93546

A new Single-Family residence is proposed to be built on an extremely steep upsloping lot. The project is located at 307 John Muir Rd. The existing slope of the Lot at the Front third averages over a 45-degree incline (height of over 25'-30'), the middle third has a 22% slope and then up to a 47% incline. Typically, with this type of up-slope the Garage could be placed 5'-0" from the Front Property line. However, the Town's Public works dept. is imposing a 10'-0" Irrevocable Offer of Dedication (I.O.D.). Then the required front setback of 5'. That would place the face of the Garage 15' from the Front property line, all adjacent existing upsloping properties are placed at 5' from the Property line. An average depth of excavation at the 15' Setback would be 10'-0". We would ask in the effort to bring the project a bit closer to equal use as the adjacent homes, Front Setback be reduced the allowed 20% to 4'-0", plus the I.O.D. equal to 14'-0".

The width of the Property at 50 feet meets the Towns' definition of a substandard lot. We are observing the standard 10'-0" Side yard setback on the North side. The need for an Enclosed stairway to access the 30'-0" vertical feet from the Street Entry to the proposed Ground Floor in imperative. Due to the restrictive narrowness of the Lot, we are requesting a 20% reduction in the South side yard setback to 8'-0". The use in the 20% will be for access or Enclosed Stairway only.

As the I.O.D. is deemed as egress only to the property there is no allowance for parking. The Home that is proposed for this site is very modest in its scope at 1,852 square feet plus 2-car Garage. We are required to have 2-covered spaces and 1-exterior space. The Towns' zoning ordinance cannot approve the proposed exterior space as it is located within the I.O.D. We would request that the exterior Parking space be excluded as we have two covered spaces within the Garages. All the adjacent properties have available parking and are at the 5'-0" setback. Whereas we must design to a 14'-0" setback and could have parking within the I.O.D., with appropriate Hold Harmless documents.

In Summary we are asking the reduction to two Setbacks, 5'-0" Front reduced by 20% to allowed 4', plus the 10'-0" I.O.D.

South Side yard setback reduced by 20% to allowed 8'-0" for the use of enclosed Stairway.

Elimination of 1 exterior parking space as we have designed a 2-car Garage.

Respectfully,

Craig Tapley, Project Designer



1/16/25

Planning and Economic Development Commission Agenda Action Sheet

<u>**Title:**</u> Consideration of Design Review 24-004 for the revised Mammoth Arts and Cultural Center (MACC) project located in the Public/Quasi-Public zoning district. The project consists of the addition of an approximately 7,482 square foot performing arts theatre at

Commission Meeting Date: 5/14/2025

Prepared by: Kim Cooke, Senior Planner

<u>Recommended Motion</u>: Adopt the Planning and Economic Development Commission Resolution making the required Design Review and CEQA findings, and approving Major Design Review Application 24-004 as recommended by staff.

Summary: Major Design Review application for the construction of a 7,482 square foot performing arts theatre attached to the east side of the existing Edison Hall building.

The scope of the current MACC project includes the addition of a single-story performing arts theatre attached to the east side of the existing Edison Hall building. Use of the Edison Hall building in the project redesign has reduced the need for additional 'back of house' space in the new facility and minimizes the amount of new construction. The proposed theatre is approximately 7,482 square feet in size and the layout provides a 259 +/- seat performing arts auditorium which is designed to accommodate a mix of users and different types of performances. The design of the addition was primarily driven by the specific requirements for theatre operations and programming, resulting in the tall rectangular building form. The building is 46 feet tall with a flat roof design to minimize overall height.



Town of Mammoth Lakes

Planning & Economic Development Commission Staff Report

Meeting Date: May 14, 2025

AGENDA TITLE: Consideration of Major Design Review Application (DR) 24-004 for the revised Mammoth Arts and Cultural Center (MACC) project located in the Public/Quasi-Public (P/QP) zoning district. The project consists of the addition of an approximately 7,482 square foot performing arts theatre attached to the east side of the existing Edison Hall building located at 100 College Parkway. Pursuant to the California Environmental Quality Act (CEQA), the project was found to be consistent with the scope of development analyzed in the November 2023, Addendum to the Mammoth Arts and Cultural Center Initial Study/Mitigated Negative Declaration (State Clearinghouse No. 2019012023) which determined the revised project design would not result in any new environmental impacts that were not previously analyzed in the approved IS/MND.

Applicant/ Property Owner: Amy Callanan, TOML Engineering Manager / Mammoth Lakes Foundation

REQUESTING DEPARTMENT:

Community & Economic Development Nolan Bobroff, CED Director Kimberly Cooke, Senior Planner

OBJECTIVE:

- 1. Receive Staff and Applicant presentations
- 2. Planning & Economic Development Commission (PEDC) discussion
- 3. PEDC action to:
 - a. Adopt the attached Planning and Economic Development Commission Resolution (the Resolution), making the required Design Review and CEQA findings, and approving Major Design Review Application (DR) 24-004 as recommended by staff.
 - b. Adopt the Resolution with modifications; or
 - c. Deny the Resolution

SUMMARY:

Proposal:	Major Design Review application for the construction of a 7,482 square foot performing arts theatre attached to the east side of the existing Edison Hall building.
Project Name:	Mammoth Arts and Cultural Center (MACC)
Location:	100 College Parkway (APN: <u>035-010-049-000</u>)
Size of Property:	7.9 Acres
Zoning:	Public / Quasi Public (P/QP)
General Plan:	Institutional Public (IP)

Environmental Review: The revised MACC project is consistent with the scope of development analyzed in the 2023 Addendum to the Initial Study / Mitigated Negative Declaration for the Mammoth Arts and Cultural Center (SCH No. 2019042023). A Notice of Determination (NOD) will be filed pursuant to CEQA Guidelines §15162 and 15164.

KEY ISSUES:

- 1. Does the proposed project meet the Design Review criteria and required findings pursuant to Municipal Code (MC) Chapter 17.88?
- 2. Is the proposed project consistent with the California Environmental Quality Act (CEQA)?

I. INTRODUCTION AND BACKGROUND

In 1994, a Program Environmental Impact Report (PEIR) was prepared for the Eastern Sierra College Center (ESSC) Project. The project sponsor was the Mammoth Lakes Foundation via the Kern Community College District (KCCD), and the project objective was to locate a permanent college center in the Mammoth Lakes area and to expand course offerings and educational opportunities in the Eastern Sierra Region. The PEIR included the evaluation of several related projects that were planned for the 80-acre site, which included an Upper Division College facility, a Mammoth Unified School District facility, and a Cultural Center.

The Mammoth Lakes Foundation, a non-profit, tax-exempt organization, was the local sponsor for the project. MLF evolved from the Eastern Sierra College Committee, and acted as the primary college advocacy organization whose stated purpose at that time was to "Support development of higher education and cultural enrichment in the Eastern Sierra region, including the establishment of a permanent campus in the Mammoth Lakes area that would provide facilities for academic studies, appreciation of the arts and student housing..."

The PEIR prepared for the ESCC described a College Center, Cultural Center, Upper Division College, Student Housing, and a Mammoth Unified School District (MUSD) Facility. The Cultural Center was described as Phase 2 of the project which would include a 21,000 square foot theater with 500 seats on 2.5 acres and a 35,000 square foot amphitheater with 1,000 sloped seats and 800 grass seats on 2.7 acres.

More than twenty years later, in 2017, the Mammoth Arts and Cultural Center Project (Project) was proposed. The project was the result of a partnership between the Mammoth Lakes Foundation, Cerro Coso Community College, Town of Mammoth Lakes, and private donors.

The PEDC approved the MACC project and associated CEQA Initial Study/Mitigated Negative Declaration on April 10, 2019. The approved project included construction of a 298-seat Performing Arts Theater building, a 500-seat outdoor amphitheater, and associated parking lot.

FIGURE 1 - 2019 APPROVED MACC DESIGN AND LAYOUT



A few years after the 2019 approval of the original MACC design, the Mammoth Lakes Foundation requested approval for modifications to the approved design and layout of the project which would reduce the square footage of the theatre and situate the structure closer to the existing Edison Hall building. The modified project also included leasing the remainder of the project site to the Town for construction and operation of a new childcare center, dog park, and parking lot. An Addendum to the Initial Study/Mitigated Negative Declaration was prepared in 2023 to document the analysis of the modified project.

In June 2024, the Town Public Works Department submitted a Major Design Review application to the Planning Division for a revised design of the Mammoth Arts and Cultural Center (MACC) project. The modified design of the MACC has been scaled back from the original approved design due to shortfalls in financing for the project and high construction and operational costs. The Town and the Mammoth Lakes Foundation collaborated on developing a viable project design that will accomplish the goals of providing a year-round venue for performing arts events, including live theater, musical performances, films, lectures, conferences, and community activities.

The Town is currently in negotiations with the Mammoth Lakes Foundation to purchase the 7.9-acre parcel which includes the existing Edison Hall building. The Town intends to assume responsibility for final design and construction of the MACC, as well as future operations. Town staff anticipate putting the project out to bid in May 2025, with a possible groundbreaking this Fall.

Pursuant to the Town's design review requirements (MC Chapter 17.88), the Project requires Major Design Review approval by the Planning and Economic Development Commission (PEDC) because it is new construction that is not exempt from design review or subject to Minor Design Review. Additionally, projects which are deemed significant by the Community and Economic Development Department also require review by the ADP prior to

review and decision by the PEDC. The role of the ADP is to provide impartial and professional advice to Town staff and the PEDC on site planning and building design based on the same guidance that staff uses in their analysis. Those recommendations are then typically used to make changes to the project that improves conformity with the guiding documents, which include the Town's General Plan, Zoning Code, Design Guidelines, and Color Handbook.

The Advisory Design Panel (ADP) reviewed the project on July 25, 2024. Revisions to the building and site design were made to address the ADP's comments and recommendations. ADP members agreed that a second ADP meeting would not be necessary if their comments and recommendations were addressed.

I. PROJECT PROPOSAL

The scope of the current MACC project includes the addition of a single-story performing arts theatre attached to the east side of the existing Edison Hall building. Use of the Edison Hall building in the project redesign has reduced the need for additional 'back of house' space in the new facility and minimizes the amount of new construction. The proposed theatre is approximately 7,482 square feet in size and the layout provides a 259 +/- seat performing arts auditorium which is designed to accommodate a mix of users and different types of performances. The design of the addition was primarily driven by the specific requirements for theatre operations and programming, resulting in the tall rectangular building form. The building is 46 feet tall with a flat roof design to minimize overall height.

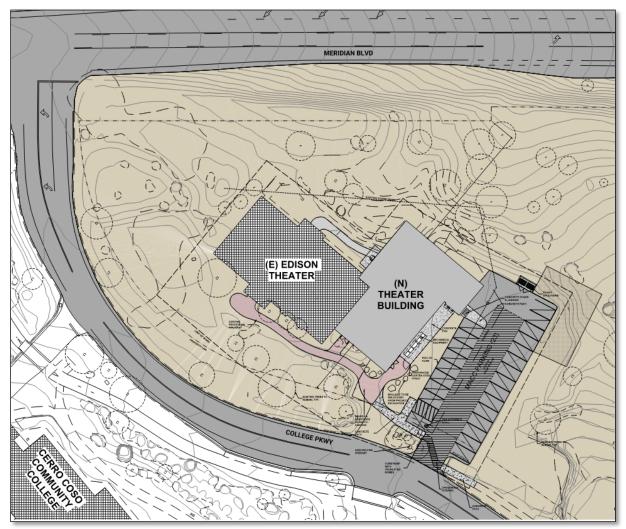
A total of 64 on-site parking spaces will be available for the project, and a condition of approval is included, which requires a shared parking agreement between the Town and Cerro Coso Community College to ensure adequate parking is provided when larger events are scheduled. Other site improvements include a new trash enclosure, reconfiguration of the existing parking lot, walkway connections and landscape/revegetation of disturbed areas.

The theatre addition is designed with sensitivity to the surrounding environment in that the project is situated to preserve existing trees, natural landscaping, and utilizes existing paved areas where feasible. The Edison Theater's current main entrance will be maintained as the building's primary entrance, ensuring continuity to the public. The exits from the proposed addition are downplayed, and new pathways from the addition are designed and landscaped to direct foot traffic to the main entrance.



FIGURE 2 - SOUTH ELEVATION

FIGURE 3 – PROPOSED SITE PLAN



Project Design

In general, the site has been designed to utilize existing infrastructure and to integrate with surrounding natural landscape and adjacent properties. To the extent feasible, the building and the reconfigured parking lot are oriented to take advantage of solar exposure and avoid shadows. Pedestrian and vehicle circulation have been designed to minimize conflicts and provide functional access to the theater building as well as the adjacent childcare center to the east.

The Project was reviewed by the Town's Advisory Design Panel (ADP) on July 25, 2024. A summary of the ADP consensus comments and the applicant's response to each comment are provided below:

- Incorporate a more substantial width to the coping installed around the perimeter of the flat roof portion of the theatre building.
 - Parapet flashing depth was increased.
- Incorporate a darker CMU Block color for the northern section of the theatre building. This may also be beneficial above the shed roof on the south elevation.
 - The CMU block material was changed to a darker earth tone and the concrete pilasters will be painted brown to match the color of the exterior doors.

- Change the shed roof over the northeast corner pop-out to a gable roof design.
 - The direction of the slope of the roof on the northeast pop-out was reversed so the two sloped roofs imply an offset gable. This also prevents snow shedding into equipment areas.
- Add a roof element to the east elevation, creating a gable design by meeting up with the top of the shed roof on the south side of the structure. This element may function to shelter the mechanical equipment underneath and break up the mass of the theatre wall on this side of the structure.
 - The flipped direction of the sloped roof on the northeast pop-out now provides an appearance of an offset gable roof feature.
- Remove the excess pavement between the exterior equipment enclosure and the pop-out to allow for landscape area against the building wall.
 - Reduced paving and added landscape area per comment.
- Provide a Landscape Plan to add evergreen trees along the east elevation and the north elevation to help screen, soften, and break down the mass of the structure.
 - Additional landscape to be provided. Additional landscaping added to the design, removed a section of mechanical yard pavement adjacent to building to allow for more landscaping and screening of the new theatre building.
- Add a pedestrian walkway that leads directly to the Edison Hall entrance from across the street, where most attendees will park and where the bus stop is located.
 - The pedestrian walkway was revised to improve access to site from the Cerro Coso Parking lot.



DESIGN REVIEWED BY ADP ON 7-25-24

FIGURE 4

REVISED DESIGN PER ADP COMMENTS

Existing Site and Surrounding Land Uses

The project site is shown in **Figure 3** below. The 7.9-acre parcel is in the Public and Quasi-Public (P-QP) zoning district and includes the existing Edison Hall building with associated parking lot, childcare facility, public dog park, and a 40-space parking lot. **Table 1** describes the surrounding land uses and zoning. The surrounding uses include other Public and Quasi-Public uses such as the Cerro Coso Community College campus and public schools located across Meridian Boulevard.

TABLE 1: SURROUNDING LAND USES AND ZONING.

Location	Zoning*	Land Use	Notes / Special Considerations
North	P-QP, RSF	Mammoth Elementary School, single- family residential neighborhood (The Trails)	Uses are located across Meridian Boulevard
South	P-QP	Cerro Coso Community College, parking lot, student housing, open space	Uses are located across College Parkway
East	P-QP	Vacant Land	Vacant land owned by the Mammoth Lakes Foundation
West	P-QP	Cerro Coso Community College, vacant land	Uses located across College Parkway

*P-QP = Public and Quasi-Public Zone; RSF = Residential Single-family Zone



FIGURE 5 - PROJECT SITE

Municipal Code Consistency

The project site is located within the Public and Quasi-Public (P-QP) Special Purpose Zoning District, which the Municipal Code describes as follows, "The (P-QP) Zoning District is intended to permit adequate identification of areas reserved and developed for public uses other than street rights-of-way, to provide for educational and cultural activities and facilities, to provide for expansion of their operations or change in use, and, to identify and preserve areas of historic and community significance for the enjoyment of future generations." The proposed project is classified as a performing arts theater, which is a permitted use in the (P-QP) zone.

The project complies with all applicable development standards, as summarized in the following **Table 2**.

Table 2: Zoning Consistency.

General Information			
General Plan: Institutional Public (IP)		Specific Plan: N/A	
Zoning: Public and Quasi-Public (P-QP)		Overlay Zone/District/Master Plan: N/A	
Existing Land Use: Edison Theatre and parking lot, Childcare facility, public dog park, 40-space parking lot		Permit(s) Required for Use: Major Design Review (DR)	
Development Standards			
Standard	Required	Proposed	Complies?
Lot Requirements		I	I
Lot area (s.f.)	20,000 s.f.	No change (~430,000 s.f.)	Yes
Lot width (feet)	100 feet	No change (~1,000 feet)	Yes
Lot depth (feet)	100 feet	No change (~140 feet)	Yes
Setbacks			
Front yard (East)	20 feet	Greater than 600 feet	Yes
Rear yard (West)	20 feet	Approximately 265 feet	Yes
Street side yard (North)	20 feet	85 feet ¹	Yes
Street side yard (South)	20 feet	29 feet	Yes
Lot Coverage	N/A ²	N/A	N/A

¹ The Performing arts theater addition is set back approximately 133 feet from the Meridian Boulevard roadway.

² There is no lot coverage standard in the P-QP Zone.

Snow Storage	60% ³ - 6,407 s.f.	60% - 6,490 s.f.	Yes
Building Height	N/A ⁴	46-Feet	Yes
Parking and Loading Standards			
Number of vehicle spaces⁵	"Off-street parking facilities shall be provided for each use as prescribed for similar uses in this chapter" Retail and Service uses require 4 spaces per 1,000 sq.ft. GLA = 58	64 total on site spaces + Shared off-site parking spaces per Shared off-site Parking Agreement (COA #23)	Yes (14,386/1,000) x 4 = 58
Number of bicycle spaces	8 (7 short-term and 1 long- term spaces)	7 short-term spaces and 1 long-term space	Yes (COA #24)
Trash/Recycling	Required	Provided	Yes

General Plan Consistency

The General Plan land use designation for the site is Institutional Public (IP). This designation allows for institutional uses such as schools, hospitals, governmental offices and facilities, museums, and related uses.

The project is consistent with the following General Plan Vision Statements as described in **Table 3**:

Table 3: General Plan Vision Statement Conformance

General Plan Vision Statement	Explanation of Project Conformance
"Sustainability and continuity of our unique relationship with the natural environment"	The modified project utilizes the existing Edison Hall building, which results in design efficiencies and utilizing existing infrastructure which minimizes new disturbed areas on the site.
"Being a great place to live and work"	The Project would provide a new facility where large cultural events and performances can take place. This cultural amenity would increase Mammoth Lakes' desirability for future residents and workers.

³ Although there is no Snow Storage standard in the P-QP Zone, the commercial zones have a 60% requirement, which is referenced here as being most appropriate for the proposed project.

⁴ Although there is no height limit in the P-QP Zone, building height is limited to the tree canopy height based on General Plan policies (e.g., Policy C.2.X, see Table 3). For reference, commercial zones adjacent to the P-QP Zone to the west have maximum heights of 45 to 55 feet (Old Mammoth Road and Downtown zones, respectively).

⁵ The review authority shall establish the required number of parking spaces for nonresidential uses that are not assigned a specific parking ratio per M.C. § 17.44.030 – *Number of parking spaces required*.

"Being a premier, year-round resort community based on diverse outdoor recreation, multi-day events and an ambiance that attracts visitors."	The performing arts theater and outdoor amphitheater would accommodate year-round events.
"Exceptional standards for design and development that complement and are appropriate to the Eastern Sierra Nevada mountain setting and our sense of a "village in the trees"	The Project incorporates design recommendations from the Advisory Design Panel, limits tree removal to the maximum extent feasible and proposed landscaping includes both evergreen and deciduous trees.

The project is consistent with the following General Plan goals, policies, and actions as described in **Table 4**:

Table 4: General Plan Conformance with Goals, Policies, and Actions

Goal, Policy, or Action	Explanation of Project Conformance with Goal, Policy, or Action	
Policy E.1.D. Encourage restaurants, retail, entertainment, lodging, and services.	The Project provides a venue for cultural and theatrical performances and other arts and entertainment events (e.g., live music).	
Policy E.1.L. Support diverse arts, cultural, and heritage programming, facilities and development of public venues for indoor and outdoor events.	A venue for year-round performances, activities, and events would be realized with the development of the Project.	
Policy E.2.A. Support a range of outdoor and indoor events, facilities, and services that enhance the community's resort economy.	Indoor and outdoor events occurring at the Project would enhance the community's resort economy through the attraction of performers, lecturers, musicians, and others, in addition to creating jobs and work for local businesses as a result of events year- round.	
Policy A.3.B. Encourage development of arts, culture, and heritage facilities and venues.	See Policy E.1.D, above.	
Policy C.2.H. Support transit ridership and pedestrian activity by emphasizing district parking, shared parking, mixed use and other zoning strategies to achieve more efficient use of land and facilities.	Shared parking is proposed among various uses (the Performing Arts Center, Community College, childcare facility and dog park).	
Policy C.2.N. Plan the siting and design of buildings to preserve the maximum amount of open space, trees and natural features to be consistent with themes and district character.	The redesigned performing arts theatre is attached to the existing Edison Hall building which preserves a greater amount of open space, trees and natural features on the site.	
Policy C.2.V. Building height, mass and scale shall complement neighboring land uses and preserve views to the surrounding mountains.	Although building height, mass, and scale would be taller and larger than surrounding uses, height would not exceed the height of trees on-site and the building would be attached to the existing Edison Hall building which results in clustered development that facilitates preservation of views. See Policies C.2.X, below.	

Policy C.2.X. Limit building height to the trees on development sites where material tree coverage exists and use top of forest canopy in general areas as height limit if no trees exist on site.	Building height would be a maximum of 46 feet tall which is consistent with the existing mature trees located adjacent to the proposed theatre.
Goal L.4. Be the symbolic and physical heart of the Eastern Sierra: the regional economic, administrative, commercial, recreational, educational and cultural center.	The Project would create a performing arts and cultural center that would help establish Mammoth Lakes as the educational and cultural center of the Eastern Sierra.
Policy M.6.A. Develop efficient and flexible parking strategies to reduce the amount of land devoted to parking.	Shared parking is proposed to reduce the amount of land dedicated to parking. Conditions of approval ensure a shared parking agreement is provided between the Town and Cero Coso Community College prior to the issuance of a certificate of occupancy.

II. ANALYSIS OF KEY ISSUES

KEY ISSUE #1: Can the findings be made for approval of a Design Review pursuant to pursuant to Municipal

Code (MC) Chapter 17.88?

Design Review is required per MC Section 17.88.020. The purpose of Design Review is to implement the General Plan policies related to community design and character, to promote excellence in site planning and design to complement the natural environment and enhance the image of the town as a mountain resort community, and to ensure that the architectural design of structures and their materials and colors are appropriate to the function of the project and visually harmonious with surrounding development.

Staff has determined that the proposed site layout and building design meets the overall intent of the Design Review criteria described in the required Design Review findings below.

Design Review Findings:

A. The project is consistent with the applicable standards and requirements of the Municipal Code.

The proposed project is consistent with the applicable standards and requirements of the Mammoth Lakes Zoning Code because the proposed project is a permitted use in the Public and Quasi-Public Zone, and the project complies or is conditioned to comply with all of the applicable development standards of the Zone and the Municipal Code, including but not limited to setbacks, parking, landscaping, and exterior lighting.

B. The project is consistent with the General Plan and any applicable specific plan or master plan.

The proposed project is consistent with the General Plan and any applicable specific plan or master plan because the project is within the Institutional Public (IP) land use designation, which allows performing arts and cultural facilities. The project is also consistent with the Economy Element of the General Plan because the project provides a year-round venue for cultural and theatrical performances and special events. The project is consistent with the Community Design Element of the General Plan because the siting and design preserves open space, mature trees, and natural features by utilizing existing infrastructure and clustering development on the site. Building materials and colors reflect Mammoth Lakes' character and setting as recommended by the Town's Advisory Design Panel; building height would remain below the tree canopy.

C. The project is consistent with the Town of Mammoth Lakes Design Guidelines.

The project is consistent with the Town of Mammoth Lakes Design Guidelines because the site layout has been designed to integrate well with surrounding natural features and adjacent properties; buildings and parking lots are oriented to take advantage of solar exposure; pedestrian and vehicle circulation have been designed to minimize conflicts and provide functional access to various buildings; utilities and mechanical equipment are screened; and rooftops are free of equipment clutter. Additionally, while the building may diverge from a more traditional interpretation of the Design Guidelines, the design is reflective of the intent of the Design Guidelines and expressive of the character and function of a theater building as supported by the Town's Advisory Design Panel.

D. The project is consistent with any approved tentative map, use permit, variance, or other planning or zoning approval that the project required.

The proposed project is consistent with the project scope analyzed in the 2023 CEQA Addendum to the Mammoth Arts and Cultural Center Initial Study/Mitigated Negative Declaration.

KEY ISSUE #2: Is the proposed project consistent with the California Environmental Quality Act (CEQA)?

Staff determined that the revised MACC project is consistent with the scope of development contemplated in the 2023 Addendum to the Mammoth Arts and Cultural Center Initial Study / Mitigated Negative Declaration. This CEQA Addendum supports the conclusion that the proposed project would result in minor technical changes that do not result in any new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Overall, based on the smaller scale and massing of the proposed structure under the modified project, compared to those under the approved project, no new significant impacts have been identified, and no new mitigation measures are required.

The applicable mitigation measures from the 2023 Addendum remain applicable and are included as conditions of approval for the project. The 2023 CEQA Addendum is included as **Attachment C**.

III. STAFF RECOMMENDATION

Staff finds that the proposed project meets the applicable requirements and recommends that the Planning and Economic Development Commission adopt the Planning and Economic Development Commission Resolution making the required CEQA and Municipal Code findings, and approving Design Review (DR) 24-004 with conditions as recommended by staff, or with modifications.

Attachments

Attachment A: Planning and Economic Development Commission Resolution PEDC 2025-06

Attachment B: Project Plans, dated received by the Town on March 28, 2025

Attachment C: 2023 Addendum to the Mammoth Arts and Cultural Center CEQA Mitigated Negative Declaration

Attachment A

Recording Requested by and When Recorded Mail To: Town of Mammoth Lakes Community & Economic Development Department P.O. Box 1609 Mammoth Lakes, CA 93546

> Recordation fee exempt per Government Code §27383 Space Above for Recorder's Use

RESOLUTION NO. PEDC 2025-06

)

A RESOLUTION OF THE MAMMOTH LAKES PLANNING AND ECONOMIC DEVELOPMENT COMMISSION **APPROVING DESIGN REVIEW 24-004 FOR CONSTRUCTION OF** THE MAMMOTH ARTS AND CULTURAL CENTER LOCATED AT 100 COLLEGE PARKWAY. (APN: 035-010-049-000)

WHEREAS, a request for consideration of a major design review permit was filed by Amy Callanan, Engineering Manager, on behalf of the Mammoth Lakes Foundation and the Town of Mammoth Lakes Public Works Department, to construct the Mammoth Arts and Cultural Center, including a 7,482 square foot Performing Arts Theater, and associated site improvements, in accordance with Chapter 17.88 (Design Review) of the Town of Mammoth Lakes Municipal Code, for property located within the Public and Quasi-Public zoning district at 100 College Parkway; and

WHEREAS, the Planning and Economic Development Commission conducted an administrative hearing on the application request on May 14, 2025, at which time all those desiring to be heard were heard; and

WHEREAS, the Planning and Economic Development Commission considered, without limitation:

- The staff report to the Planning and Economic Development Commission 1. with exhibits:
- 2. The Town of Mammoth Lakes General Plan, Municipal Code, Design Guidelines:
- 3. Oral evidence submitted at the hearing;
- 4. Written evidence submitted at the hearing; and

a. Project plan set dated March 28, 2025, consisting of 44 sheets including (3) project rendering sheets.

NOW THEREFORE, THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE TOWN OF MAMMOTH LAKES DOES RESOLVE, DETERMINE, FIND AND ORDER AS FOLLOWS:

SECTION 1. FINDINGS.

I. CEQA.

CEQA Guidelines Section 15162

The Planning and Economic Development Commission considered the 2023 CEQA Addendum to the Mammoth Arts and Cultural Center Initial Study/Mitigated Negative Declaration (IS/MND) (State Clearinghouse No. 2019042023), pursuant to the CEQA Guidelines Section 15162, and finds that on the basis of the whole record, there is no substantial evidence that the proposed revised design for the MACC project will result in any new significant effects or a substantial increase in the severity of previously identified significant effects.

- **a.** The Planning and Economic Development Commission finds that there are no substantial changes to the project from what was analyzed in the Addendum to the Mammoth Arts and Cultural Center IS/MND that will require revisions to the Addendum, and therefore, no new significant environmental effects or a substantial increase in the severity of previously identified significant effects will occur.
- **b.** There are no substantial changes with respect to the circumstances under which the project is being undertaken that will require major revisions to the 2023 Addendum to the MACC project IS/MND because the project is consistent with the scope of development analyzed in the Addendum. Therefore, the 2023 Addendum is adequate because it demonstrates that the environmental analysis and impacts identified in the MACC IS/MND remain substantively unchanged by the proposed revised design of the MACC project and supports the finding that the project does not result in any new environmental effects and does not exceed the level of impacts identified in the IS/MND.
- **c.** There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the 2019 IS/MND was adopted and at the time that the 2023 Addendum to the IS/MND was adopted, to show that:

(1) The project will have one or more significant effects not previously discussed in the IS/MND since, as described in the 2023 Addendum to the MACC IS/MND, no changes have occurred with respect to the intensity of the development that was previously analyzed, and all potential environmental effects were found to be adequately analyzed in the 2023 Addendum to the MACC IS/MND;

(2) Significant effects previously examined will be substantially more severe than shown in the previous environmental document. The revised

design of the MACC project does not result in any new significant environmental effects or a substantial increase in the severity of previously identified significant effects. No new information has become available and no substantial changes to the circumstances (under which the project is being undertaken) since the adoption of the 2019 MACC IS/MND and the 2023 Addendum has occurred;

(3) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative. There are no new mitigation measures required and no new alternatives available that would substantially reduce the environmental effects beyond those previously described in the adopted 2019 IS/MND and the 2023 Addendum to the MACC IS/MND; or

(4) Mitigation measures or alternatives which are considerably different from those analyzed in the previous environmental document and would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative. There are no new mitigation measures required and no new alternatives available that would substantially reduce the environmental effects beyond those previously described in the adopted 2019 MACC IS/MND and the 2023 Addendum to MACC IS/MND.

Therefore, none of the criteria in CEQA Guidelines §15162 calling for preparation of subsequent environmental review has occurred. The applicable mitigation measures from the 2023 Addendum remain applicable and are included as conditions of approval for the project.

- **d.** The Planning and Economic Development Commission finds that the proposed Revised design for the MACC project will not result in a safety hazard or noise problem for persons using the Mammoth Yosemite Airport or for persons residing or working in the Project area because the Project site is located approximately seven miles from the Mammoth Yosemite Airport.
- e. A program for reporting on or monitoring the required mitigation measures has been adopted.
- **f.** All applicable mitigation measures shall be conditions of Project approval.

II. MUNICIPAL CODE FINDINGS.

A. FINDINGS FOR DESIGN REVIEW PERMIT (Municipal Code Section 17.88.060)

1. The project is consistent with the applicable standards and requirements of the Municipal Code.

The proposed project is consistent with the applicable standards and requirements of the Mammoth Lakes Zoning Code because the proposed project is a permitted use in the Public and Quasi-Public Zone, and the project complies or is conditioned to comply with all of the applicable development standards of the Zone and the Municipal Code, including but not limited to setbacks, parking, landscaping, and exterior lighting.

2. The project is consistent with the General Plan and any applicable specific plan or master plan.

The proposed project is consistent with the General Plan and any applicable specific plan or master plan because the project is within the Institutional Public (IP) land use designation, which allows performing arts and cultural facilities. The project is also consistent with the Economy Element of the General Plan because the project provides a year-round venue for cultural and theatrical performances and special events. The project is consistent with the Community Design Element of the General Plan because the siting and design preserves open space, mature trees, and natural features by utilizing existing infrastructure and clustering development on the site. Building materials and colors reflect Mammoth Lakes' character and setting as recommended by the Town's Advisory Design Panel; building height would remain below the tree canopy.

3. The project is consistent with the Town of Mammoth Lakes Design Guidelines.

The project is consistent with the Town of Mammoth Lakes Design Guidelines because the site layout has been designed to integrate well with surrounding natural features and adjacent properties; buildings and parking lots are oriented to take advantage of solar exposure; pedestrian and vehicle circulation have been designed to minimize conflicts and provide functional access to various buildings; utilities and mechanical equipment are screened; and rooftops are free of equipment clutter. Additionally, while the building may diverge from a more traditional interpretation of the Design Guidelines, the design is reflective of the intent of the Design Guidelines and expressive of the character and function of a theater building as supported by the Town's Advisory Design Panel.

4. The project is consistent with the following additional Design Criteria (Zoning Code §17.88.050):

a. The site design and building design elements including the architectural style, size, design quality, use of building materials, and similar elements, combine together in an attractive and visually cohesive manner that is compatible with and complements the desired architectural and/or aesthetic character of the area and a mountain resort community, encourages increased pedestrian activity, and promotes compatibility among neighboring land uses.

The site design and building design elements, including architectural style, size, design quality, use of building materials, and similar elements, combine together in an attractive and visually cohesive manner that is compatible with and complements the desired architectural character and/or aesthetic character of the area and a mountain resort community, encourages increased pedestrian activity, and promotes compatibility among neighboring uses because the project is consistent with the standards for the

Public and Quasi-Public Zone, Institutional Public land use designation, and the Design Guidelines. Additionally, the project is compatible with neighboring uses because a cultural center has been conceived as part of the Eastern Sierra College Center for over twenty-five years, and therefore, the project provides complementary and compatible use to the Cerro Coso College and South Gateway Student Housing. Walkways and bicycle parking are included in the project and configured to provide convenient access between parking lots and buildings and ease of use.

Exterior building materials complement the existing Edison Hall structure. The color and finish selected for the metal siding featured at the south elevation of the theatre is a rustic rust brown color and provides a neutral appearance. The reddish-brown color of the split face block siding material paired with the dark brown concrete columns, which blends with the natural surroundings and is compatible with the architectural character of the area and mountain community.

b. The design of streetscapes, including street trees, lighting, and pedestrian furniture, is consistent with the character of commercial districts and nearby residential neighborhoods.

The design of streetscapes, including street trees, lighting, and pedestrian furniture, is consistent with the character of commercial districts and nearby residential neighborhoods. The project is not located in a commercial district, but the project provides pedestrian walkways, bicycle parking, and patio reception area adjacent to the performing arts theater. All exterior parking lot lighting would comply with Municipal Code requirements and would be consistent with the character in the Public and Quasi-Public Zone.

c. Parking areas are located, designed and developed to foster and implement the planned mobility system for the area; buffer surrounding land uses; minimize visibility; prevent conflicts between vehicles and pedestrians and cyclists; minimize stormwater run-off and the heat-island effect; and achieve a safe, efficient, and harmonious development.

Parking areas are located, designed and developed to foster an implement the planned mobility system for the area; buffer surrounding land uses; minimize visibility; prevent conflicts between vehicles and pedestrians and cyclists; minimize stormwater run-off and the heat-island effect; and achieve a safe, efficient, and harmonious development because walkways and alternate materials for pedestrian paths within parking areas are provided to minimize pedestrian and vehicle conflicts and shared parking is proposed to minimize the amount of impervious surface. The site is located along an existing transit route and multi-use path and a shared off-site parking agreement is required as a condition of project approval to replace the existing shared parking agreement between the Kern Community College District and Mammoth Lakes Foundation.

d. Down directed and shielded lighting and lighting fixtures are designed to complement buildings, be of appropriate scale, provide adequate

light over walkways and parking areas to create a sense of pedestrian safety, minimize light pollution and trespass, and avoid creating glare.

Down-directed and shielded lighting and lighting fixtures will be provided over walkways and parking areas to create a sense of pedestrian safety, minimize light pollution and trespass, and avoid creating glare. A condition of approval requires an outdoor lighting plan to be prepared and approved consistent with Municipal Code requirements.

e. Landscaping is designed to conserve water resources, promotes a natural aesthetic, and be compatible with and enhance the architectural character and features of the buildings on site, and help relate the building to the surrounding landscape.

The proposed landscaping is designed to conserve water resources, promotes a natural aesthetic, and be compatible with and enhance the architectural character and features of the buildings on site, and help relate the building to the surrounding landscape because landscaping is proposed to be installed around the theatre addition and will include a mix of evergreen and deciduous trees, native low water grass, shrubs/perennials. A condition of project approval requires the final landscape plan to be prepared and approved consistent with Municipal Code requirements, including water-efficient landscaping standards.

5. The project is consistent with any approved tentative map, use permit, variance, or other planning or zoning approval that the project required.

The proposed project is consistent with the scope of development analyzed in the 2023 CEQA Addendum to the Mammoth Arts and Cultural Center Initial Study/Mitigated Negative Declaration (SCH# 2019042023).

SECTION 2. PLANNING AND ECONOMIC DEVELOPMENT COMMISSION ACTIONS. The Planning and Economic Development Commission hereby takes the following actions:

1. Approves Design Review 24-004 subject to the following conditions:

(SEE EXHIBIT "A"); and

2. Directs staff to file a Notice of Determination.

PASSED AND ADOPTED this 14th day of May 2025, by the following vote, to wit:

AYES:

NAYS:

ABSENT:

ABSTAIN:

ATTEST:

Nolan Bobroff,	Michael Vanderhurst,
Community and Economic Development	Chair of the Mammoth Lakes Planning
Director	and Economic Development
	Commission

NOTE: This action is subject to Chapter 17.104 of the Municipal Code, which specifies time limits for legal challenges.

APPLICANT:

I, Rob Patterson, Town Manager, for the Town of Mammoth Lakes, the applicant and property owner, do hereby attest that I have read, and agree to, the conditions of approval stipulated within this Resolution.

Date: _____

Rob Patterson, Mammoth Lakes Town Manager (Notary Required)

CALIFO	ORNIA ALL-PURPOSE ACKN	IOWLEDGMENT	
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.			
State of California County of Mono }			
On, bo	efore me,	, Notary	
		, who	
proved to me on the basis o	f satisfactory evidence to be th	ne person(s) whose name(s) is/are	
subscribed to the within inst	rument and acknowledged to r	me that he/she/they executed the	
same in his/her/their authori	zed capacitv(ies), and that by	his/her/their signature(s) on the	
		h the person(s) acted, executed	
the instrument.			
I certify under PE	NALTY OF PERJURY under the second sec	ne laws of the State of California	
that the foregoing paragraph is true and correct.			
WITNESS my hand and of	ficial seal.		
Signature of No	tary		

PROPERTY OWNER:

I, Luan Mendel, am the authorized signatory for the Mammoth Lakes Foundation, the property owner, do hereby attest that I have read, and agree to, the conditions of approval stipulated within this Resolution.

Date:

Luan Mendel, Board Chair (Notary Required)

CALIFORNIA ALL-PURPO	SE ACKNOWLEDGMENT
A notary public or other officer completing th individual who signed the document, to whic truthfulness, accuracy, or validity of that doc	h this certificate is attached, and not the
State of California County of Mono }	
On, before me,	, Notary
Public, personally appeared	, who
proved to me on the basis of satisfactory evidence	ce to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowle	edged to me that he/she/they executed the
same in his/her/their authorized capacity(ies), ar	nd that by his/her/their signature(s) on the
instrument the person(s), or the entity upon beha	alf of which the person(s) acted, executed
the instrument.	
I certify under PENALTY OF PERJUR	Y under the laws of the State of California
that the foregoing paragraph is true and correct.	
WITNESS my hand and official seal.	
Signature of Notary	

EXHIBIT "A" Resolution No. PEDC-2025-06 Major Design Review 24-004

STANDARD PLANNING CONDITIONS

1. This approval authorizes the following: Construction of a 7,482 square foot, 259-seat performing arts theater attached to the east side of the existing Edison Hall building. The approval includes the reconfiguration of the existing parking lot, and other site improvements for the Mammoth Arts and Cultural Center Project. No signage is approved

with this approval.

- 2. This permit and all rights hereunder shall automatically terminate unless the business operation, site preparation or construction has commenced within two years after the issuance of this permit and such work is diligently carried on until completion, or an extension of time has been granted in accordance with Municipal Code Section 17.64.060.B.
- 3. All new improvements constructed on the site shall be in compliance with all Town of Mammoth Lakes, County of Mono, Mammoth Community Water District, the Mammoth Lakes Fire Protection District, the CRWQCB Lahontan District, Great Basin Air Pollution Control District, OSHA, State of California and United States of America laws, statutes, ordinances, regulations, directives, orders, and the like applicable thereto and in force at the time thereof.
- 4. This resolution of approval, as conditioned herein, shall be recorded for the subject property by the Mono County Recorder's Office to commence the approved use on the property or the issuance of any building permits for new or remodeled structures.
- 5. The site shall be maintained in a neat, clean and orderly manner. All improvements shall be maintained in a condition of good repair and appearance. Outdoor storage of equipment and other materials, except for firewood, is prohibited. Non-operating vehicles, equipment and materials inappropriate to the site and its use shall not be stored within outdoor areas on the site.
- 6. Storage of construction materials and equipment off-site shall not be permitted without a permit issued by the Community and Economic Development Department of the Town. Any public or private property altered, damaged or destroyed by site preparation, grading, construction or use shall be restored to its pre-existing condition by the permittee.
- 7. All conditions of this use permit shall be met or secured prior to final occupancy approval of any tenant improvements or new structures.
- 8. All uses are subject to review by the Building Official of the Town of Mammoth Lakes and must conform to occupancy ratings of the structures to obtain occupancy.
- 9. Town staff shall have the right to enter the subject property to verify compliance with these conditions. The holder of any permit associated with this project shall make the premises available to Town staff during regular business and shall, upon request, make records and documents available to Town staff as necessary to evidence compliance with the terms and conditions of the permit.
- 10. Prior to the issuance of a building permit, the applicant shall pay Development Impact Fees and all other fees as prescribed by ordinance.
- 11. Where compliance with the conditions of approval or applicant-initiated changes to the plans require additional staff review, that review time shall be billed at the Town's established billing rates. Prior to the issuance of a building or grading permit, the applicant shall pay all outstanding costs for the processing of this application.
- 12. The approved site and building plans shall be adhered to and maintained for the

duration of the permit.

- 13. This action may be appealed to the Town Council within fifteen (15) calendar days from the date of Planning and Economic Development Commission approval in accordance with Municipal Code Chapter 17.104.
- 14. The applicant shall defend, with counsel selected by the Town, indemnify, and hold harmless the Town and its agents, officers, and employees from any claim, action, or proceeding against the Town and its agents, officers, or employees to attack, set aside, void, or annul, an approval of the Town, advisory agency, appeal board, or legislative body concerning this approval. The Town shall promptly notify the applicant of any claim, action, or proceeding and shall be entitled to control the defense of any action.
- 15. All exterior lighting shall comply with Chapter 17.36.030 of the Town of Mammoth Lakes Municipal Code, Exterior Lighting. Exterior light fixtures having a total of over 400 lumens of output shall be equipped with shields that extend below the horizontal plane of the light source to direct the light downward onto the structure or surrounding grounds. This shall be verified prior to issuance of a certificate of occupancy.
- 16. A valid building permit and a permit from the Mammoth Lakes Fire Protection District are required before any work can begin on-site.
- 17. Water and sewer improvements require construction and/or connection permits from Mammoth Community Water District. Prior to the Town authorizing any construction, the applicant shall obtain water and sewer permits from Mammoth Community Water district and pay applicable fees to the District.
- 18. Zoning entitlement conditions of approval shall be printed verbatim on all of the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the index.
- 19. New or changed improvements, exterior illumination, elevations, designs, materials, or colors shall conform to the adopted Design Guidelines of the Town of Mammoth Lakes and will require review and approval from the Town of Mammoth Lakes Community and Economic Development Department or Planning and Economic Development Commission pursuant to Municipal Code Chapter 17.88 (*Design Review*).
- 20. A certificate of occupancy is required for all future tenant improvements within the subject structure. Tenant improvements shall identify occupancy separation requirements, disabled access requirements and compliance with all applicable building, electrical, plumbing, and fire code requirements.
- 21. Roof vents, exhaust, pipes and flues shall be combined and/or collected together on slopes of roof out of public view to the greatest extent possible. All Roof elements and any room mounted equipment shall be painted a dark matte color.
- 22. The trash enclosure shall have an appearance that is consistent with the primary structure and be constructed of similar materials and colors. All trash enclosures, receptacles, and food storage areas shall be animal resistant. Adequate space for recyclable materials shall be provided within the enclosure. The access for the trash

enclosure shall comply with the requirements of Mammoth Disposal. This shall be reviewed and approved by the Community and Economic Development Department and the Public Works Department prior to issuance of a building permit and be verified for compliance prior to issuance of a certificate of occupancy.

SPECIAL PLANNING CONDITIONS

- 23. An off-site shared parking agreement shall be executed between the Town of Mammoth Lakes and the Kern Community College District to supersede and replace the existing Agreement between Mammoth Lakes Foundation and Kern Community College District for the use and management of the college campus parking lot for events occurring at the MACC, whether or not such events are affiliated with District. This requirement shall be completed prior to the issuance of a certificate of occupancy.
- 24. A minimum of seven (7) short-term and one (1) long-term bicycle parking spaces shall be provided for the project. This condition shall be verified prior to issuance of a certificate of occupancy.
- 25. A landscape documentation package shall be required prior to issuance of a building permit. Said landscape documentation package shall conform with the requirements identified in Municipal Code Chapter 17.40 (Water Efficient Landscape Regulations) and 17.44.100.H (Landscaping).

All required landscaping and irrigation improvements shall be completed prior to the issuance of a certificate of occupancy for the project. A form of security listed in Government Code Section 66499(a) and acceptable to the Town shall be posted with the Town to the satisfaction of the Community and Economic Development Department for any required landscaping and irrigation improvements to be deferred and a schedule shall be submitted to the town for the construction of the deferred improvements. Deferral of the construction of any landscaping and/or irrigation improvements shall be at the sole discretion of the Community and Economic Development Development Director.

26. An outdoor lighting plan shall be prepared in compliance with Municipal Code 17.36.030.G (Outdoor lighting plans) and reviewed and approved by the Community and Economic Development Director prior to the issuance of a building permit.

SPECIAL ENGINEERING CONDITIONS

- 27. The applicant shall obtain an engineered grading permit for the grading work and improvements required for the project prior to building permit issuance. In addition to the application, fee, and grading plans, the submittal shall include:
 - a. A Stormwater Pollution Prevention Plan (SWPPP) and National Pollutant Discharge Elimination System (NPDES) permit, if applicable.
 - b. A Great Basin Unified Air Pollution Control District (GBUAPCD) permit.
 - c. A soils report for the subject site(s) and containing recommendations for retaining walls and foundation support for adjacent structures during construction.

- d. Applicant will prepare an Engineers Estimate for the restoration of the site if work is proposed to begin under an Engineered Grading Permit in advance of a Building Permit
- 28. A tree removal plan shall be approved prior to any land disturbance and the issuance of a grading or building permit. A pre-construction meeting shall be held on-site prior to any land disturbance to inspect clearing limit fencing. If required, the applicant shall obtain the necessary Timber Harvest Permit prior to any tree removal.
- 29. The grading plan shall include tree protection measures to address how construction can occur with minimal disturbance to the drip-line of retained trees. The drip-line areas shall be "fenced" off with barriers to prevent disturbance during site grading. Additionally, finish grading shall minimize disturbance of existing understory vegetation and retained trees. Grading operations shall not commence until all erosion control measures and tree protection measures are in place as shown on the approved plan, and as required by the Town.
- 30. The project shall comply with the Guidelines for Erosion Control in the Mammoth area. This shall include submittal of a Report of Waste Discharge, if applicable.
- 31. All driveways shall be constructed in accordance with the driveway standards of the Town.
- 32. All export shall be taken to, and all import shall be taken from a permitted site, which shall be identified at grading permit issuance. The applicant shall prepare a haul route, subject to the approval of the Public Works Director prior to the import or export of material for the site.
- 33. All new utility lines within, adjacent to or serving the site shall be placed underground.

CEQA MITIGATION MEASURES

- 34. AES-1: Prior to issuance of Building Permits, the Town shall identify on the building plans that potential reflective building materials (e.g., the vertical ribbed metal siding, aluminum windows and doors, raw steel columns and beams, metal roofing, and steel doors) shall use a non-reflective finish.
- 35. AQ-1: Prior to approval of the project plans and specifications, the Public Works Director, or designee, shall confirm that the plans and specifications stipulate that, in compliance with GBUAPCD Rule 401, excessive fugitive dust emissions shall be controlled by regular watering or other dust preventive measures, as specified in the GBUAPCD Rules and Regulations. In addition, GBUAPCD Rule 402 requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. Implementation of the following measures would reduce short-term fugitive dust impacts on nearby sensitive receptors:
 - a. All active portions of the construction site shall be watered to prevent excessive amounts of dust;

- b. On-site vehicles' speed shall be limited to 15 miles per hour (mph);
- c. All on-site roads shall be paved as soon as feasible or watered periodically or chemically stabilized;
- d. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust; watering, with complete coverage, shall occur at least twice daily, preferably in the late morning and after work is done for the day;
- e. If dust is visibly generated that travels beyond the site boundaries, clearing, grading, earth moving or excavation activities that are generating dust shall cease during periods of high winds (i.e., greater than 25 mph averaged over one hour); and
- f. All material transported off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust.
- 36. BIO-1: If construction activities are to be initiated during the nesting season (January 1st to August 31st), a pre-construction nesting bird clearance survey shall be conducted by a qualified biologist no more than three days prior to the start of any vegetation removal or ground-disturbing activities. A qualified biologist shall survey all suitable nesting bird habitat within the project impact area, and within a biologically defensible buffer distance surrounding the project impact area. Documentation of surveys and findings shall be submitted to the Town of Mammoth Lakes for review and file. If no active nests are detected, project construction activities may begin. If an active nest is found, the bird(s) shall be identified to species and a "no disturbance" buffer shall be estimated and established around the active nest(s). The distance of the "no disturbance" buffer may be increased or decreased according to the judgement of the qualified biologist depending on the level of construction activity and sensitivity of the species. The qualified biologist shall periodically monitor any active nests to determine if the "no disturbance" buffer should be increased based on increased or moved construction activities. Once the young have fledged and left the nest, or the nest otherwise becomes inactive under natural conditions, project construction activities within the "no-disturbance" buffer may occur.
- 37. CUL-1: Workers Environmental Awareness Program. Prior to ground disturbing activities, the Project Applicant shall prepare and implement a Workers Environmental Awareness Program (WEAP) training to address cultural resources issues anticipated at the project site for review and approval by the Public Works Director. The WEAP shall include information of the laws and regulations that protect cultural resources, the penalties for a disregard of those laws and regulations, what to do if cultural resources are unexpectedly uncovered during construction, and contact information for a qualified archaeologist, defined as an archaeologist who meets the Secretary of the Interior's Professional Qualification Standards for archaeology, who shall be contacted in the case of unanticipated discoveries. The WEAP shall also include project specific information regarding the potential for and types of prehistoric and historic resources that may potentially be encountered.
- 38. CUL-2: Archaeological and Native American Monitoring. A qualified archaeologist, defined as an archaeologist who meets the Secretary of the Interior's Professional

Qualification Standards for archaeology, and qualified Native American monitor shall be retained to perform all mitigation measures related to prehistoric and historic cultural and tribal cultural resources for the project. An archaeologist and Native American monitor shall be present to monitor all initial ground disturbing activities associated with the project, including but not limited to: removal of building asphalt, pot-holing or auguring, grubbing, weed abatement, boring/grading of soils, drilling/trenching for utilities, excavations associated with development, etc. The monitors shall complete monitoring logs on a daily basis. The logs shall provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. In addition, the monitors are required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k).

- 39. NOI-1: Prior to issuance of any Grading Permit or Building Permit for new construction, the Public Works Director, or designee, shall confirm that the Grading Plan, Building Plans, and specifications stipulate that:
 - a. All construction equipment, fixed or mobile, shall be equipped with properly operating and maintained mufflers and other State required noise attenuation devices.
 - b. The Contractor shall provide a qualified "Noise Disturbance Coordinator." The Disturbance Coordinator shall be responsible for responding to any local complaints about construction noise. When a complaint is received, the Disturbance Coordinator shall notify the Town within 24-hours of the complaint and determine the cause of the noise complaint (e.g., starting too early, bad muffler, etc.) and shall implement reasonable measures to resolve the complaint, as deemed acceptable by the Public Works Director, or designee. The contact name and the telephone number for the Disturbance Coordinator shall be clearly posted on-site.
 - c. When feasible, construction haul routes shall be designed to avoid noise sensitive uses (e.g., residences, schools, hospitals, etc.).
 - d. During construction, stationary construction equipment shall be placed such that emitted noise is directed away from sensitive noise receivers.
 - e. Construction activities that produce noise shall not take place outside of the allowable hours specified by the Town's Municipal Code Section 8.16.090 (7:00 a.m. and 8:00 p.m. Monday through Saturday; construction is prohibited on Sundays and/or federal holidays).

Attachment B



CONSTRUCTION LEGEND

- (1) GRADE EARTH SWALE PER DETAIL ON SHEET C4.
- (2) INSTALL 42" PERFORATED RETENTION PIPE PER DETAIL ON SHEET C4.
- (3) CONSTRUCT CONCRETE WALKWAY PER TOML STANDARD PLAN 107 AND DETAIL ON SHEET C4.
- (4) RELOCATE EXISTING UTILITY.
- 5 REMOVE EXISTING UTILITY.
- 6 INSTALL JENSEN PRECAST 36" STORM DRAIN JUNCTION BOX PER MANUFACTURER'S RECOMMENDATIONS OR APPROVED EQUAL.
- (7) INSTALL 12" HDPE STORM DRAIN PIPE PER TRENCH DETAIL SHEET C4.
- 8 REMOVE 10' OF EX. TRENCH DRAIN. INSTALL 12" CMP W/COLLARS, CONNECT TO EACH END OF EX. TRENCH DRAIN.
- (9) INSTALL TRUNCATED DOMES PER DETAIL ON SHEET C4.
- (10) RECONSTRUCT AC PARKING PER ELEVATIONS ON PLAN. SAW CUT 1' EXISTING AC. MATCH EX. AC THICKNESS.
- (11) CONSTRUCT CONCRETE PAD PER SECTION ON SHEET C4.
- (12) STRIPE 4" WIDE WHITE THERMOPLASTIC PARKING LINES.
- (13) STRIPE VAN ACCESSIBLE PARKING PER ARCHITECTURAL PLANS.
- (14) CONSTRUCT TYPE II ROLLED CURB PER TOML STANDARD PLAN 102 AND DETAIL ON SHEET C4.
- (15) CONSTRUCT PEDESTRIAN RAMP PER ELEVATION AS SHOWN.
- (16) PLACE 4" AC ON 6" BASE. SAW CUT 1' EXISTING AC.
- (17) REMOVE AC AND EXTEND PLANTER PER ARCHITECTURAL PLANS.
- (18) RECONSTRUCT AC PARKING PER AC TRENCH PATCH DETAIL ON SHEET C4
- (19) INSTALL JENSEN PRECAST 24"X24" DROP INLET PER MANUFACTURER'S RECOMMENDATIONS OR APPROVED EQUAL.
- (20) INSTALL 4" HDPE STORM DRAIN PIPE FOR ROOF DRAINS PER TRENCH DETAIL SHEET C4.

<u>NOTE:</u>

CONSTRUCTION MANAGEMENT PLAN TO BE PREPARED BY THE

Rainfall Quantity	1 in	=	0.083 ft
ibutary Area and Av	erage Runoff C	oefficient	
	An	ea	C
Roof	7,302 sf	87%	0.95
AC	940 sf	11%	0.90
Concrete	0,198 sf	2%	0.95
Total Area	8,440 sf	100%	0.94

Volume Required = Tributary Area * Average Runoff Coefficient * Rainfall Volume Required 664 cf

	PE ETER	PIPE VOLUME	STONE VOID VOLUME	TOTAL RETENTION STORAGE	PERC VOLUME	RETENTION STORAGE W PERC	LENGTH OF TYPICAL CROSS SECTION	LINEAR FEET OF PIPE REQ'D
in.	ft.	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft.	ft.
24	2.00	3.14	2.29	5.43	1.42	6.84	97	97
30	2.50	4.91	3.86	8.77	1.88	10.65	62	62
36	3.00	7.07	4.64	11.71	2.08	13.80	48	48
42	3.50	9.62	5.46	15.08	2.29	17.37	38	38
48	4.00	12.57	6.31	18.88	2.50	21.38	31	31

INPUT SIZE OF PIPES (ft):	3.00	
INPUT NUMBER OF ROWS OF PIPES:	1	
INPUT PERCOLATION RATE (ft/hr):	0.25	
INPUT REQ'D. STORAGE VOLUME (cf):	664	

AGENCY **APPROVAL:**





2375-009-100

3546 CONCOURS STREET ONTARIO, CA 91764



KEYNOTES

NOTES

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: MAMMOTH ARTS & CULTURAL CENTER PHASE 2

SHEET NAME: GRADING AND DRAINAGE PLAN



DATE: 03/28/2025 SHEET:

PLEASE RECYCLE

GRAPHIC SCALE

(IN FEET) 1 inch = 10 ft.



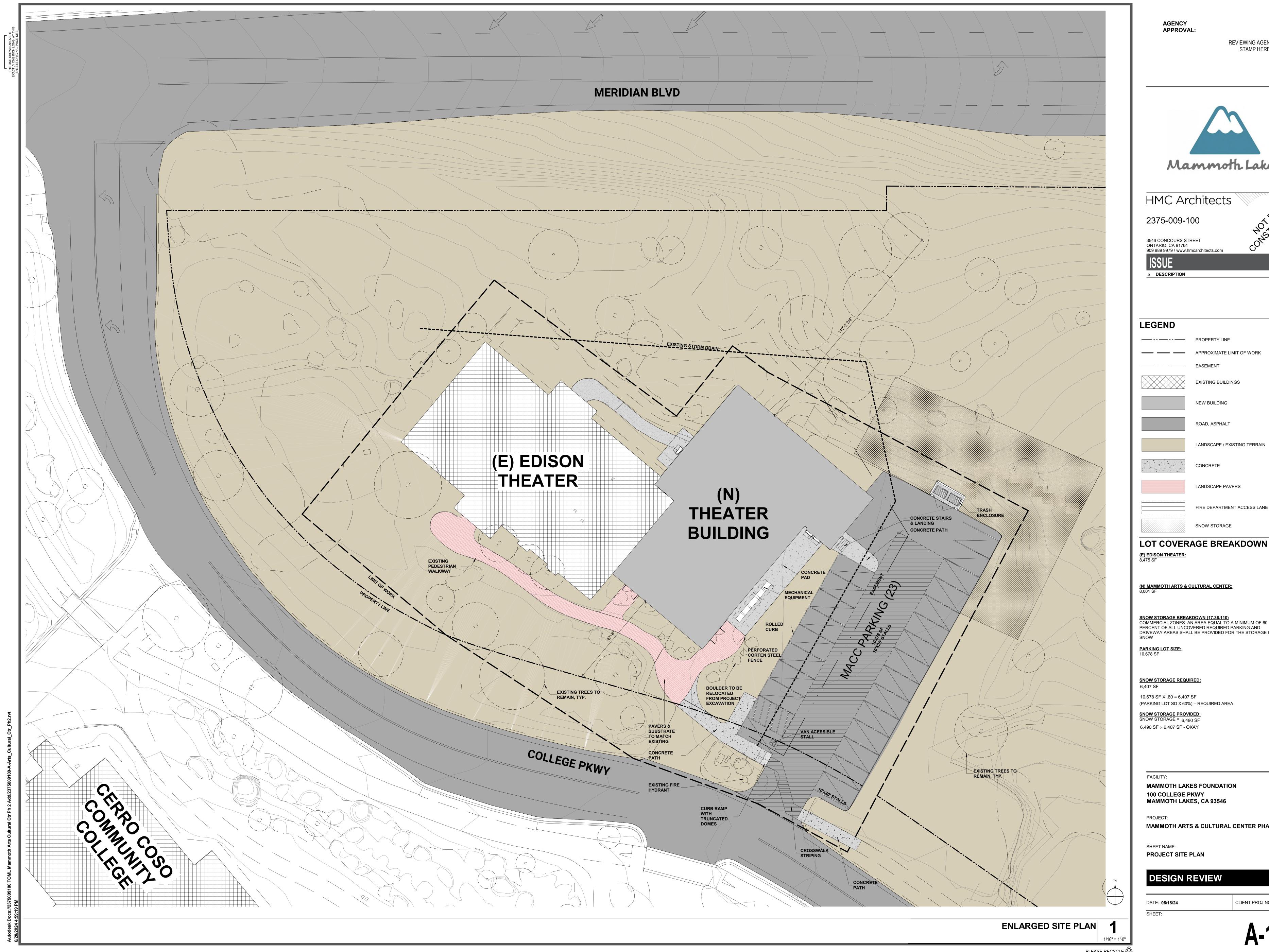
CLIENT PROJ NO:

AGENCY SUBMITTAL





DATE



PLEASE RECYCLE



CLIENT PROJ NO:

DESIGN REVIEW

MAMMOTH ARTS & CULTURAL CENTER PHASE 2

MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

(PARKING LOT SD X 60%) = REQUIRED AREA

SNOW STORAGE BREAKDOWN (17.36.110) COMMERCIAL ZONES. AN AREA EQUAL TO A MINIMUM OF 60 PERCENT OF ALL UNCOVERED REQUIRED PARKING AND DRIVEWAY AREAS SHALL BE PROVIDED FOR THE STORAGE OF

SNOW STORAGE
FIRE DEPARTMENT ACCESS LANE
LANDSCAPE PAVERS
 CONCRETE
LANDSCAPE / EXISTING TERRAIN
ROAD, ASPHALT
NEW BUILDING
EXISTING BUILDINGS
 EASEMENT

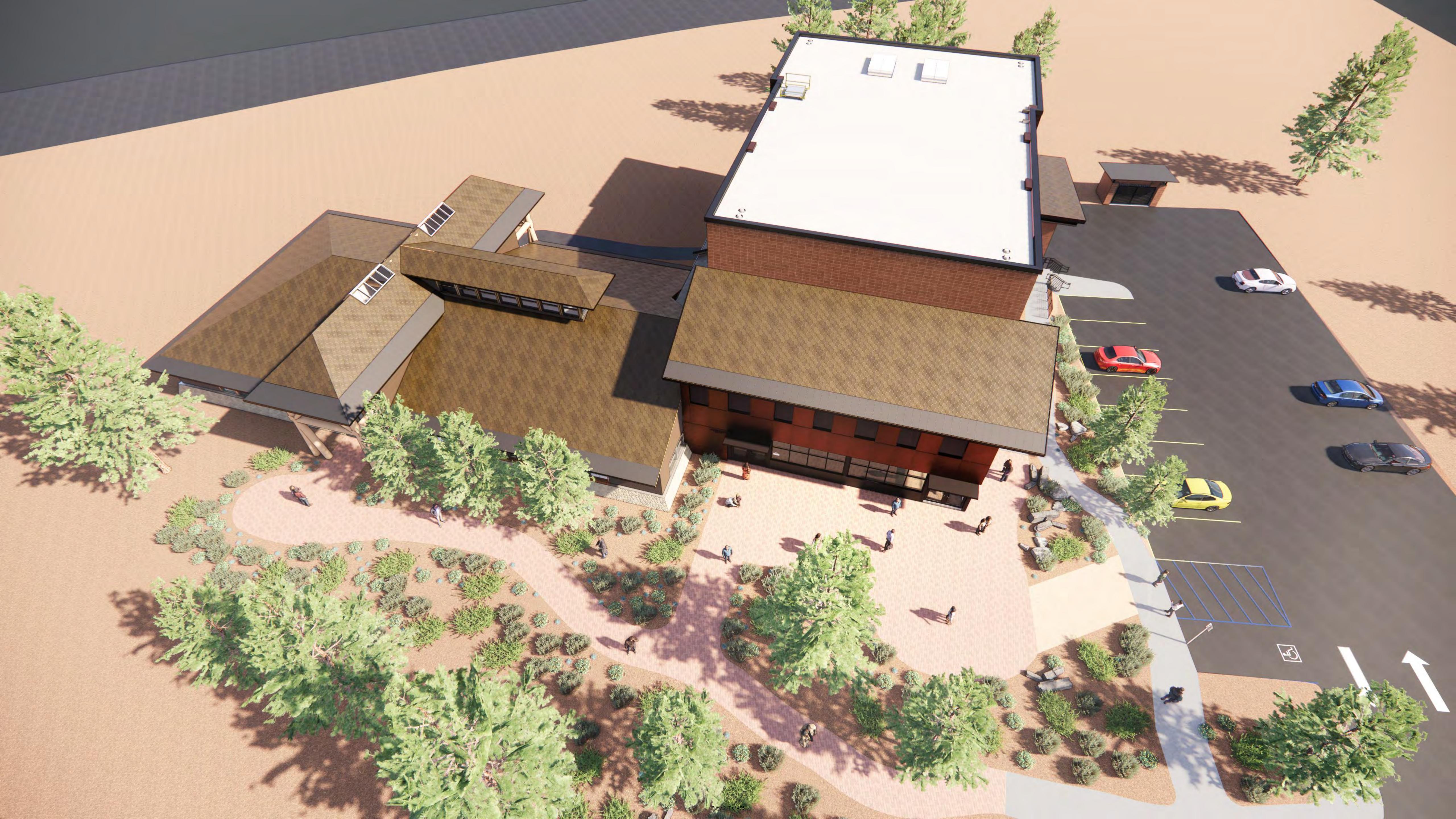
APPROXIMATE LIMIT OF WORK











MAMMOTH LAKES FOUNDATION MAMMOTH ARTS & CULTURAL CENTER NEW BUILDING 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546



Page 218 of 455

AGENCY APPROVAL:

Mammoth Lakes

HMC Architects

2375-009-100

C-32052 REN. 05/31/25

3546 CONCOURS STREET ONTARIO, CA 91764 909 989 9979 / www.hmcarchitects.com **PROJECT TEAM**

CIVIL THA 549 OLD MAMMOTH RD. STE. 202 MAMMOTH LAKES, CA 93546 760.934.7588

STRUCTURAL MHP 9920 PACIFIC HEIGHTS BLVD. STE. 225 SAN DIEGO, CA 9212 858.204.2402

MEP/ FA/ FP **DESIGN WEST ENGINEERING** 412 E VANDERBILT WAY SAN BERNARDINO, CA 92408 909.890.3700

THEATER/ ACOUSTICS & AUDIO VISUAL SALAS O'BRIEN 1935 N MARSHALL AVE. EL CAJON, CA 92020 760.560.0100

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: MAMMOTH ARTS & CULTURAL CENTER NEW BUILDING

SHEET NAME: **COVER SHEET**



DATE: 04/01/2025 SHEET:

PLEASE RECYCLE



CLIENT PROJ NO:

AGENCY SUBMITTAL

GENERAL NOTES

- CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION, AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT. THE CONSTRUCTION DOCUMENT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.
- PERFORMANCE BY THE CONSTRUCTION TEAM SHALL BE CONSISTENT WITH THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AS NECESSARY TO DELIVER THE INDICATED RESULTS OF THE DESIGN INTENT. VERIFY ALL DIMENSIONS, LOCATIONS OF
- EXISTING UTILITIES, AND CONDITIONS ON THE JOB SITE PRIOR TO THE START OF WORK OR PORTIONS OF THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS. EXISTING CONDITIONS ARE INDICATED AS A RESULT OF FIELD OBSERVATIONS, INFORMATION SHOWN ON AVAILABLE DOCUMENTS AND FIELD CONDITIONS AT THE TIME OF
- PREPARATION. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS AND LAWS. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS AND
- SCAFFOLDING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
- DETAILS MARKED 'TYPICAL' SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. ENACT ALL MEASURES TO PROTECT AND 10. SAFEGUARD ALL EXISTING ELEMENTS TO
- REMAIN FROM BEING DAMAGED. REPLACE OR REPAIR EXISTING ELEMENTS DAMAGED BY THE EXECUTION OF THIS CONTRACT TO EQUAL OR BETTER CONDITION. 11. PRIOR TO THE START OF WORK THE CONTRACTOR SHALL COORDINATE BETWEEN THE REQUIREMENTS OF ALL DISCIPLINES HEREIN AND BETWEEN THE
- REQUIREMENTS OF ALL DRAWINGS AND SPECIFICATIONS IN ORDER THAT ALL ITEMS SATISFACTORILY RELATE TO ONE ANOTHER. NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY ITEMS THAT CANNOT BE COORDINATED. 12. CONTRACTOR SHALL EXCERCISE EXTREME
- CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING DUCTS, PIPING, CONDUIT, ETC. AND TO PREVENT HAZARD TO PERSONNEL AND/OR TO EXISTING UNDERGROUND UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD SUCH UNIDENTIFIED CONDITIONS
- BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CHANGES TO THE APPROVED DRAWINGS 13. AND/OR SPECIFICATIONS SHALL BE MADE BY ADDENDA OR A CHANGE ORDER.
- CUTTING, BORING, SAWCUTTING OR 14 DRILLING THROUGH THE EXISTING OR NEW STRUCTURAL ELEMENTS SHALL NOT TO BE STARTED UNTIL THE DETAILS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT, AND STRUCTURAL ENGINEER OF RECORD.

SYMBOL LEGEND

- ALL WORK SHALL CONFORM TO 2022 15. EDITION TITLE 24, CALIFORNIA CODE OF **REGULATION (CCR)** THE LIMIT OF WORK LINE SHOWS THESE DRAWINGS IS AN APPROXIMATE LIMIT OF WORK ONLY. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL WORK, INCLUDING BUT NOT LIMITED TO INSTALLATION OF CONDUIT, MANHOLES, PULLBOXES, ETC WHICH ARE TO BE PART
- OF THIS WORK, ALTHOUGH OCCURING OUTSIDE OF SHOWN LIMIT OF WORK LINES. FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR'S DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE AHJ. LIST
- DEFERRED SUBMITTAL ITEMS FOR THIS PROJECT. CHANGE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY AHJ (AUTHORITY HAVING JURISDICTION). A CERTIFIED PROJECT INSPECTOR
- EMPLOYED BY THE OWNER AND APPROVED BY AHJ SHALL PROVIDE CONTINUOUS INSPECTION OF WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR. INSPECTOR TO BE CLASS 1 A ACCEPTED TESTING LABORATORY 20.
- DIRECTLY EMPLOYED BY THE OWNER SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT. THE REPORTS SHALL BE SUBMITTED TO ARCHITECT OF RECORD, STRUCTURAL ENGINEER OF RECORD, OWNER, INSPECTOR OR RECORD, AND THE FIELD ENGINEER. THE REPORTS OF ANY FAILURES OF TESTS AND INSPECTIONS ARE TO BE SUBMITTED TO THE STRUCTURAL
- ENGINEER. GRADING PLANS, DRAINAGE 21 IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES. SAFETY DURING CONSTRUCTION SHALL 22.
- COMPLY WITH CFC CHAPTER 33. 23. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION, OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE APPROVED CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR,, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY AHJ BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR)
- CONTRACTOR IS TO REVIEW AND COMPLY 24 WITH ALL REQUIREMENTS AND MITIGATION MEASURES SET FORTH IN BOTH THE ENVIRONMENTAL IMPACT REPORT (ADDENDUM TO THE ENVIRONMENTAL IMPACT REPORT | SCH NO. 2002071120) INCLUDING ATTACHED BIOLOGICAL RESOURCES TECHNICAL REPORT. NO DUMPING OR PLACING OF ANY DIRT OR 25. DEBRIS SHALL BE ALLOWED OUTSIDE OF

THE CONTRACTORS LIMIT OF WORK AREA.

CODES

PARTIAL LIST OF APPLICABLE CODES 2022 CALIFORNIA ADMINISTRATIVE CODE, PAR TITLE 24 C.C.R. 2022 CALIFORNIA BUILDING CODE (CBC), PART TITLE 24 C.C.R. (2021 INTERNATIONAL BUILDING CODE VOLUMES 1 & 2 AND 2022 CALIFORNIA AMENDMENTS) 2022 CALIFORNIA ELECTRICAL CODE (CEC), PA TITLE 24 C.C.R. (2020 NATIONAL ELECTRICAL CODE AND 2 CALIFORNIA AMENDMENTS) CALIFORNIA MECHANICAL CODE (CMC) P 2022 4, TITLE 24 C.C.R. (2021 UNIFORM MECHANICAL CODE AND CALIFORNIA AMENDMENTS) 2022 CALIFORNIA PLUMBING CODE (CPC), PAR TITLE 24 C.C.R. (2021 UNIFORM PLUMBING CODE AND 202 CALIFORNIA AMENDMENTS) 2022 CALIFORNIA ENERGY CODÉ (CEC), PART (TITLE 24 C.C.R. 2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), PART 8, TITLE 24 C.C.R. 2022 CALIFÓRNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2021 INTERNATIONAL FIRE CODE AND 20 CALIFORNIA AMENDMENTS) 2022 CALIFORNIA GREEN BUILDING STANDARI CODE (CALGREEN), PART 11, TITLE 24 C.0 2022 CALIFORNIA REFERENCED STANDARDS, 12,TITLE 24 C.C.R. ITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS. 2020 ASME A18.1 - SAFETY STANDARD FOR

TN	
	NORTH ARROW
PN	— TICK INDICATES PLAN NORTH
	- ARROW INDICATES TRUE NORTH
	ELEVATION CALLOUT (TYPICAL FOR EXTERIOR)
AX.XX	— LOCATION ON SHEET
	— SHEET WHERE ELEVATION IS DRAWN
A1	ELEVATION CALLOUT (TYPICAL FOR INTERIOR)
4 (AX.XX) A2	
A3	— SHEET WHERE ELEVATION IS DRAWN
	ELEVATION CALLOUT - ALT. (FOR EXTERIOR AND INTERIOR)
18/AX.XX	 LOCATION & SHEET WHERE ELEVATION IS DRAWN
SIM	SECTION CALLOUT
	— INDICATES A SIMILAR CONDITION
AX.XX	 LOCATION ON SHEET SHEET WHERE SECTION IS DRAWN
	SHEET WHERE SECTION IS DRAWN
SIM	DETAIL CALLOUT
	— INDICATES A SIMILAR CONDITION
	 LOCATION ON SHEET SHEET WHERE SECTION IS DRAWN
	CONTROL OR DATUM POINT
FIRST FLOOR_+	- NAME OF ELEVATION (IF APPLICABLE)
· +0·-0" ●	— ELEVATION ABOVE FINISHED FLOOR
	GRID BUBBLE
	— EXISTING BUILDING GRID SYMBOL
	- GRID NUMBER
	- NEW BUILDING GRID SYMBOL
	DOOR CALLOUT
(101A)	- DOOR NUMBER
	INTERIOR FINISH CALLOUT
FA	 MATERIAL FINISH TYPE (SEE FINISH SCHEDULE)
	WINDOW CALLOUT
09-WF1	
	(SEE WINDOW SCHEDULE)

AS6A AS4A	- WALL TYPE MARK - SEE A10.11 - WALL STC RATING
55 [•] 1FB	- WALL FIRE RATING TYPE
Χ •	MATCHLINE REFERENCE
X •	 LOCATION ON SHEET SHEET WHERE PLAN IS DRAWN
	KEYNOTE
? •	 KEYNOTE NUMBER (SEE LEGEND ON SHEET)
OFFICE	- AREA (SQ FT)
	 OCCUPANT LOAD (AREA DIVIDED BY LOAD FACTOR) OCCUPANT LOAD FACTOR (REFER TO TABLE 1004.5) OCCUPANCY TYPE NUMBER OF EXITS REQUIRED (REFER TO TABLE 1006.2.1)
	WIC CASEWORK TAG
	— MANUFACTURER REFERENCE AND MODEL NUMBER
	– LOCK
	- CABINET DEPTH
	- CABINET HEIGHT
DISCIPLINE	SHEET TYPE BUILDING LETTER,
G GENERAL C CIVIL L LANDSCAPE A ARCHITECTURE I INTERIORS Q EQUIPMENT S STRUCTURAL P PLUMBING M MECHANICAL E ELECTRICAL FA FIRE ALARM T TELECOM AV AV EQUIPMENT	0 CODE ANALYSIS, NOTES 1 SITE PLAN 2 FLOOR PLAN 3 CEILING PLAN 4 ROOF PLAN 5 EXTERIOR ELEVATIONS 6 SECTIONS 7 ENLARGED PLANS 8 INTERIOR ELEVATIONS 9 SCHEDULES 10 DETAILS
K KITCHEN FP FIRE PROTECTIO	N DISCIPLINE SHEET TYPE SERIES / ORDER (IF APPLICABLE)
	A A 1 . 1 1 A . A

 BULIDING LETTER
 FLOOR LEVEL OR
 SEGMENT

 (IF APPLICABLE)
 SEQUENTIAL
 (IF APPLICABLE)
 ORDER

WALL TYPE CALLOUT

A4

AL LIST OF APPLICABLE CODES	PARTIAL LIS	T OF APPLICABLE STANDARDS	
CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.	NFPA 13	STANDARD FOR AUTOMATIC FIRE SPRINKLER SYSTEMS (CA	2022 ED
CALIFORNIA BUILDING CODE (CBC), PART 2,		AMENDED)	
TITLE 24 C.C.R.	NFPA 14	STANDARD FOR STANDPIPE	2019 ED
(2021 INTERNATIONAL BUILDING CODE		AND HOSE SYSTEMS (CA	
VOLUMES 1 & 2 AND 2022 CALIFORNIA		AMENDED)	
AMENDMENTS)	NFPA 17	STANDARD FOR DRY	2021 ED
CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.		CHEMICAL EXTINGUISHING SYSTEMS	
(2020 NATIONAL ELECTRICAL CODE AND 2022	NFPA 17A	STANDARD FOR WET CHEMICAL	2021 ED
CALIFORNIA AMENDMENTS)		EXTINGUISHING SYSTEMS	
CALIFORNIA MECHANICAL CODE (CMC) PART	NFPA 20	STANDARD FOR STATIONARY	2019 ED
4, TITLE 24 C.C.R.		PUMPS FOR FIRE PROTECTION	
(2021 UNIFORM MECHANICAL CODE AND 2022	NFPA 24	STANDARD FOR THE	2019 EC
CALIFORNIA AMENDMENTS)		INSTALLATION OF PRIVATE FIRE	
CALIFORNIA PLUMBING CODE (CPC), PART 5,		MAINS AND THEIR	
TITLE 24 C.C.R.		APPURTENANCES (CA AMENDED)	
(2021 UNIFORM PLUMBING CODE AND 2022	NFPA 72	NATIONAL FIRE ALARM &	2022 ED
		SIGNALING CODE (CA AMENDED)	
CALIFORNIA ENERGY CODE (CEC), PART 6,	NFPA 80	STANDARD FOR FIRE DOORS AND	2019 EL
TITLE 24 C.C.R.		OTHER OPENING PROTECTIVES	
	NFPA 2001	STANDARD ON CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2018 ED
(CHBC), PART 8, TITLE 24 C.C.R. CALIFORNIA FIRE CODE, PART 9, TITLE 24		(CA AMENDED)	
C.C.R.	UL 300	STANDARD FOR FIRE TESTING OF	2005
(2021 INTERNATIONAL FIRE CODE AND 2022	01 300	FIRE EXTINGUISHING SYSTEMS	(R2014)
CALIFORNIA AMENDMENTS)		FOR PROTECTION OF	(112014)
CALIFORNIA GREEN BUILDING STANDARDS		COMMERCIAL COOKING	
CODE (CALGREEN), PART 11, TITLE 24 C.C.R.		EQUIPMENT	
CALIFORNIA REFERENCED STANDARDS, PART	UL 464	AUDIBLE SIGNAL APPLIANCES	2003 ED
12,TITLE 24 C.C.R.		FOR FIRE ALARM AND SIGNALING	
19 C.C.R., PUBLIC SAFETY, STATE FIRE		SYSTEMS, INCLUDING	
MARSHAL REGULATIONS.		ACCESSORIES	
ASME A18.1 - SAFETY STANDARD FOR	UL 521	STANDARD FOR HEAT	1999 ED
PLATFORM LIFTS AND STAIRWAY CHAIR LIFTS		DETECTORS FOR FIRE	(R2005)
		PROTECTIVE SIGNALING	
		SYSTEMS	
	UL 1971	STANDARD FOR SIGNALING	2002 EI
		DEVICES FOR THE HEARING	(R2018)
		IMPAIRED	
		LETE LIST OF APPLICABLE NFPA STAND	ARDS
		22 CBC (SFM) CHAPTER 35 AND CALIFO	
	CODE CHAPT		
		NIA BUILDING CODE, CHAPTER 35 FOR	

CALIFORNIA AMENDMENTS TO NFPA STANDARDS.

PROJECT DESCRIPTION PROJECT DATA

1. CONSTRUCTION OF PERFORMANCE THEATER
AND SUPPORTIVE SPACES & UTILITIES AS AN
ADDITION TO THE EXISITNG EDISON THEATER
BUILDING.

2. DEMOLITION OF (E) SITE HARDSCAPE, PARKING LOT & SITE ELEMENTS TO MAKE READY FOR NEW CONSTRUCTION. 3. CONSTRUCTION OF SITE WORK INCLUDING BUT

NOT LIMITED TO GRADING, PARKING LOT RESTRIPING, SITE LIGHTING, PAVING, UNDERGROUND UTILITIES, FIRE HYDRANT, CURB RAMPS AND ASSOCIATED SITE WORK DUE TO THE NEW CONSTRUCTION.

PROJECT ADDRESS:	100 COLLEGE PKWY, MAMMOTH LAKES, CA 93546			
APN #:	035-010-049-000			
SITE ACREAGE:	0.55 +/-			
OCCUPANCY GROUP:	A-1, A-3, B, S-1			
CONSTRUCTION TYPE:	V-B			
OCCUPANCY SEPARATION:	NON-SEPARATED			
FIRE SPRINKLERS:	YES			
NO. OF BUILDING STORIES:	1 + MEZZANINE			
NEW CONST. FLOOR AREA:	7,482 SQ. FT.			
(E) BUILDING FLOOR AREA:	6,904 SQ. FT.			
TOTAL BUILDING FLOOR AREA: 14,386 SQ. FT.				

REFER TO SHEET G1.21 & G1.22 CODE ANALYSIS SHEETS F MORE INFO.

DEFERRED APPROVAL

NONE.

BIDDING ALTERNATE

THE FOLLOWING SHALL BE DEDUCTIVE ALTERNATES TO THE BASE BID 1. ALL CONCRETE MASONRY UNITS STACKED BOND BASIS OF DESIGN: ANGELUS BLOCK

COLOR - SHOTBLAST SIENNA BROWN

POST TENSIONED CONCRETE

ABBREVIATIONS

ACC ACCESSACCESSIBLE GB ACT ACOUSTICAL CEILING PANEL GFRC ACT ACOUSTICAL CEILING PANEL GL ADJ ADJACENTIADJUSTABLE GL AFF ABOVE FINISH FLOOR GLB AGG AGGREGATE GYP PL ARCH ARCHTECTURAL HB ATT ATTENUATION HD AUTO AUTOMATIC HDR BD BOARD HDWR BLCG BLOCKING HGT BUR BUIL TUP ROOFING HM CFCI CONTRACTOR FURNISHED, ID CAST CABINET HP CFC CUBIC FEET HSS CFOI CONTRACTOR FURNISHED, IANV CG CONTRACTOR FURNISHED, IANV CJ CONTRACTOR FURNISHED, IANV CJ CONTRACTOR FURNISHED, IANV CG CONTRACTOR FURNISHED, IANV CJ CONTRACTOR FURNISHED, IANV CJ CONTRA	ÀB AC PAVING	EXISTING ANCHOR BOLT ASPHALTIC CONCRETE PAVING	FRP FRT FS FTG
CFOICONTRACTOR FURNISHED, OWNER INSTALLEDLANDSCJCORNER GUARDLLHCJCONTROL JOINTLLVCLCENTER LINELPCLFCHAIN LINK FENCELT WTCLRCLEARLVRCMUCONCRETE MASONRY UNITMACHCOCLEANOUTMBCOLCOUMNMDFCOMPCOMPRESSION / COMPOSITEMEDCORRCORRUGATEDMEMBCTCORRUGATEDMEMBCTCORRUGATEDMEMBCTCORRUGATEDMEMBCTCORRUGATENMTLDFDEPRESSED / DEPRESSIONMTLDFDERINKING FOUNTAINMTLDIMDIMENSIONNICDISPDSPENSERNRDSDOWNSPOUTNRCDTLDETAILOTADWDISHWASHERO'AELECELECTRICALOFOIELECELECTRICALOFOIENCLENCLOSE / ENCLOSUREOFOIENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELOFENCLELECTRICAL PANELPAFDFLOOR DRAINPAFDFLOOR DR	AHU ARCH ATT AUTO BD BLCG BUR CABT CF	AIR HANDLING UNIT ARCHITECTURAL ATTENUATION AUTOMATIC BOARD BLOCKING BUILT UP ROOFING CABINET CUBIC FEET CONTRACTOR FURNISHED,	GB GFRC GLB GYP BD GYP PLAS HB HD HDR HDR HDWR HGT HM HP HSS ID INT
	CG CJ CL CLF CLR CMU CO CO CO CO CO CO CO CO CO CO CO CO CO	OWNER INSTALLED CORNER GUARD CONTROL JOINT CENTER LINE CHAIN LINK FENCE CLEAR CONCRETE MASONRY UNIT CLEANOUT COLUMN COMPRESSION / COMPOSITE CUBIC FEET COORDINATE CORRUGATED CERAMIC TILE COUNTER SKUNK CURTAINWALL DEPRESSED / DEPRESSION DRINKING FOUNTAIN DIMENSION DISPENSER DOWNSPOUT DETAIL DISHWASHER EACH WAY EXTERIOR INSULATION FINISH EXPANSION JOINT ELECTRICAL ELEVATION / ELEVATOR ENCLOSE / ENCLOSURE EDGE OF SLAB ELECTRICAL PANEL EQUAL EXCUTCHEON ELECTRIC WATER COOLER EXPOSED FIRE ALARM FLOOR DRAIN FIRE DEPARTMENT CONNECTION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE HYDRANT FINISH FLOOR FINISH FLOOR FACE OF FOUNG	LANDS LAV LLH LLV LP LT WT LVR MACH MB MDF MDO MECH MED MEMB MFR MH MO MTD MTL NIC NR NRC NTS O/ O/A OC OD OFCI OFOI OFOI OFOI OFVI OFOI OFVI OFVI OH OPER OPNG ORD P/L PA PAF PCC PED PERF PERIM PERP PH PLAM PLAS PLUMB PNL PNT POC POLY ISO PREFIN

	FIBERGLASS REINFORCED PLASTIC FIRE RETARDANT TREATED FINISH SURFACE FOOTING GRAB BAR	PTC PTD PTN PTS
;	GLASS FIBER REINFORCED CONCRETE GLASS TYPE GLUE LAMINATED BEAM	PVC PVMT QT R
3D PLAS	GYPSUM BOARD GYPSUM PLASTIC HOSE BIBB HEAVY DUTY	RB RD RECE REF
२	HEADER HARDWARE HEIGHT HOLLOW METAL HIGH POINT	REFL REFL REFR REINF
_	HOLLOW STEEL SECTION INSIDE DIAMTER INTERIOR INVERT	REM RH RHS RO
S	LANDSCAPE LAVATORY LONG LEG HORIZONTAL LONG LEG VERTICAL LOW POINT	ROW SCH SCHE SD SECT
Г	LIGHT WEIGHT	SG
ł	LOUVER MACHINE MACHINE BOLT MEDIUM DENSITY FIBERBOARD	SHT SHTG SMS SND
ł	MEDIUM DENSITY OVERLAY MECHANICAL	SOV SPEC
3	MEDIUM MEMBRANE	SS STC
	MANUFACTURER MANHOLE MASONRY OPENING MOUNTED METAL NOT IN CONTRACT	STL STSM SCRE SUSP SV SYM
	NON RATED NOISE REDUCTION COEFFICIENT NOT TO SCALE OVER	T T&B TO TOC
	OVERALL ON CENTER OUTSIDE DIAMTER OWNER FURNISHED, CONTRACTOR INSTALLED	TOP TOS TOW TPD TS
	OWNER FURNISHED, OWNER INSTALLED OWNER FURNISHED, VENDOR INSTALLED OPPOSITE HAND	U/C UNO UR VAC VB
3	OPERABLE OPENING OVERFLOW ROOF DRAIN PROPERTY LINE PUBLIC ADDRESS POWDER ACTUATED FASTENER PAVING	VCT VIF VTR VWC W/ W/O WB
Л	PORTLAND CEMENT CONCRETE PAVING PEDESTRIAN PERFORATED PERIMETER	WC WD WDW WGT WH
	PERPENDICULAR PANIC HARDWARE POST INDICATOR VALVE PLATE	WP WR WRGI
В	PLASTIC LAMINATE PLASTER PLUMBING PANEL	WS WSCT WWF
ISO IN	PAINT / PAINTED POINT OF CONNECTION POLYISOCYANURATE PREFINISHED PREP / PREPARATION	NOTE OTHE DRAW THE B FOR N

PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
PTS	PNEUMATIC TUBE STATION /
PVC	SYSTEM POLYVINYL CHLORIDE
PVMT	PAVEMENT
QT	QUARRY TILE
	RADIUS, RISER
	RESILIENT BASE
	ROOF DRAIN ECEPTACLE
REF	REFERENCE
REFL	REFLECT(ED), (IVE)
REFL	REFLECT(ED), (IVE)
REFR	REFRIGERATOR
REINF	REINFORCE/REINFORCED/ REINFORCEMENT
REM	REMOVE
RH	ROUND HEAD
	ROUND HEAD SCREW
	ROUGH OPENING
	RIGHT OF WAY SCHEDULE (FOR PIPE)
SCHED	SCHEDULE / SCHEDULING
SD	STORM DRAIN / SOAP DISPENSER
SECT	SECTION
SG	SAFETY GLASS
SHT SHTG	SHEET SHEATHING
SMS	SHEET METAL SCREW
SND	SANITARY NAPKIN DISPOSAL
SOV	SHUT OFF VALVE
SPEC	SPECIFICATIONS
SS STC	STAINLESS STEEL SOUND TRAMISSION CLASS
STL	STEEL
STSMS	SELF TAPPING SHEET METAL
SCREW	
SUSP	SUSPENDED
SV SYM	SHEET VINYL SYMMETRICAL
T	TREAD
T&B	TOP AND BOTTOM
ТО	TOP OF
TOC	TOP OF CURB / CONCRETE
TOP TOS	TOP OF PARAPET TOP OF STEEL
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TS	TACKABLE SURFACE
U/C	UNDER CABINET (OR COUNTER
UNO UR	UNLESS NOTED OTHERWISE URINAL
VAC	VACUUM
VB	VAPOR BARRIER
	VINYL COMPOSITION TILE
	VERIFY IN FIELD
VTR VWC	VENT THROUGH ROOF VINYL WALL COVERING
W/	WITH
W/O	WITHOUT
WB	WOOD BASE
WC	WATER CLOSET
WD WDW	WOOD WINDOW
	WEIGHT
	WATER HEATER
WP	WATERPROOFING/WALL
	PROTECTION
WR WRGB	WATER RESISTANT WATER RESISTANT GYPSUM
	BOARD
WS	WOOD SCREW
WSCT	WAINSCOT
WWF	WELDED WIRE FABRIC
NOTE:	
	VIATIONS USED ON THESE
	E CONSIDERED STANDARDS IN

DRAWINGS ARE CONSIDERED STANDARDS IN THE BUILDING INDUSTRY. CONTACT ARCHITECT FOR NECESSARY CLARIFICATION.

STATEMENT OF	GENERAL CO	NFORMANCE	APPROVAL:
() THIS DRAWING PAGE OF	ETS LISTED ON THE INDEX SHE SPECIFICATIONS/CALCULATIO	DNS	
DRAWINGS IN THIS STATE. IT HA 1) DESIGN INTENT AND APP	S BEEN EXAMINED BY ME FOR PEARS TO MEET THE APPROPF	OR CONSULTANTS WHO ARE LICENSED AND/OR AUTHORIZED TO PREPARE SUCH REAL REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS AND	
PROJECT.	PLANS AND SPECIFICATIONS	AND IS ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS	
UNDER SECTIONS 17302 AND 81 SECTION 4-317 (B))	138 OF THE EDUCATION CODE	E CONSTRUED AS RELIEVING ME OF MY RIGHTS, DUTIES, AND RESPONSIBILITIES AND SECTIONS 4-336, 4-341 AND 4-344" OF TITLE 24, PART 1. (TITLE 24, PART 1,	
	ED ON THE SHEET INDEX WITI WITH THE PROJECT PLANS AN	H AN (*) IS/ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN AND ND SPECIFICATIONS.	
SIGNATURE ARCHITECT OR ENGINEER DESIG	GNATED TO BE IN	04/01/2025 DATE	Mam
GENERAL RESPONSIBLE CHARG Kyle Peterson PRINT NAME	E		
C-32052 LICENSE NUMBER	05-31-25 EXPIRATION DATE		HMC Archi
			2375-009-100
			3546 CONCOURS STREET ONTARIO, CA 91764 909 989 9979 / www.hmcarchi
ΓΑΤΕ ΜΑΡ			
CA		MAIN ST	
		TAVERN RD (203)	
*			
		MERIDIAN BLVD	
		HO PROJECT SITE MAMMOTH CREEK RD	
/ERALL SITE PLAN			
			FACILITY:
	COLLEGE		MAMMOTH LAKES FO
			MAMMOTH LAKES, C
			MAMMOTH ARTS & C BUILDING
			SHEET NAME: PROJECT DATA SHE
			AGENCY SU
			DATE: 04/01/2025 SHEET:

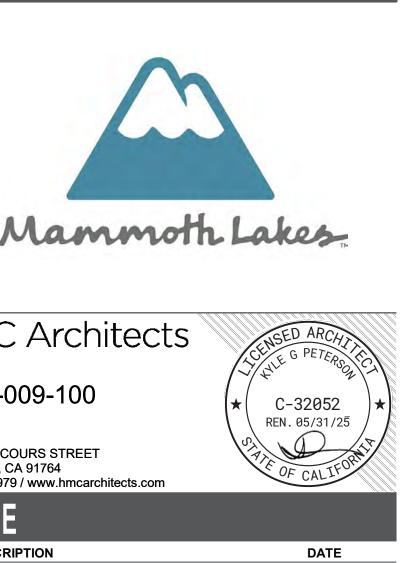
NCY SUBMITTAL



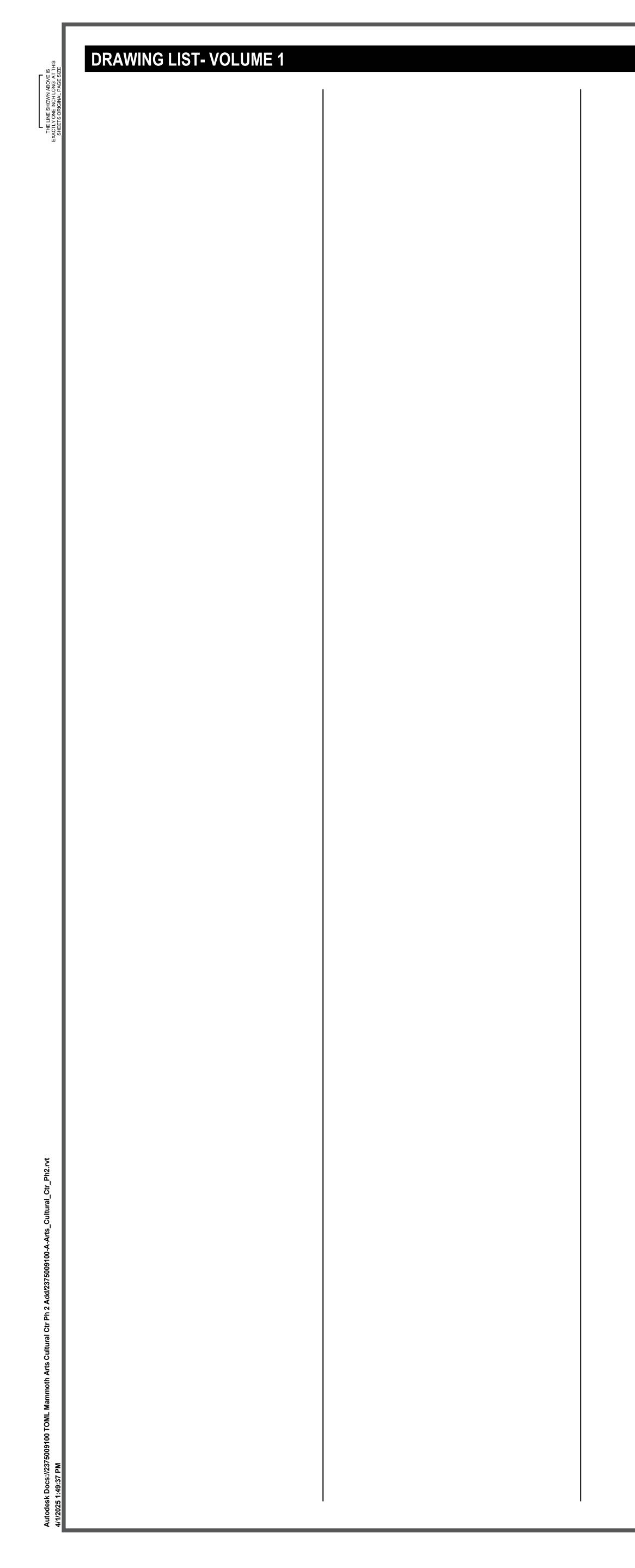
CLIENT PROJ NO:

TH ARTS & CULTURAL CENTER NEW

TH LAKES FOUNDATION LEGE PKWY TH LAKES, CA 93546







GENERAL			
HMC ARC	CHITECTS		
NUMBER	NAME		
GENERAL SI			
	COVER SHEET		
	PROJECT DATA SHEET		
G0.12	SHEET INDEX		
PROJECT AN	NALYSIS CODE COMPLIANCE SITE PLAN		
G1.11 G1.21	FIRST FLOOR - CODE ANALYSIS		
•••	EQUIPMENT PLATFORM - CODE ANALYSIS		
G1.41 Grand total: 7	LOCAL FIRE AUTHORITY SITE ACCESS PLAN		
CIVIL			
τριδη/μα	DLMES ASSOCIATES		
NUMBER	NAME		
04			
C1 C2	COVER SHEET GRADING AND DRAINAGE PLAN		
C3			
C4 Grand total: 4	CONSTRUCTION DETAILS		
ARCH	ITECTURAL		
HMC ARC	CHITECTS		
NUMBER	NAME		
ARCHITECT	OVERALL SITE DEMOLITION PLAN		
A1.02	ENLARGED SITE DEMOLITION PLAN		
A1.03 A1.04	OVERALL SITE PLAN ENLARGED SITE PLAN		
A1.06	ENLARGED TRASH ENCLOSURE PLAN, SECTIONS &		
A1.07	ELEVATIONS ENLARGED MECHANICAL UTILITY YARD PLAN &		
A1.08	ELEVATIONS ENLARGED SITE STAIRS		
A1.00 A2.11	1ST FLOOR - DEMOLITION PLAN		
A2.12 A2.13	1ST FLOOR - FLOOR PLAN EQUIPMENT PLATFORM & LOWER CATWALK - FLOOR		
A2.13	PLAN		
A2.14 A2.15	UPPER CATWALK - FLOOR PLAN 1ST FLOOR - DIMENSION PLAN		
A2.16	EQUIPMENT PLATFORM - DIMENSION PLAN		
A2.17 A2.21	UPPER CATWALK - DIMENSION PLAN BELOW GRADE - SLAB PLAN		
A2.21 A2.22	1ST FLOOR - SLAB PLAN		
A2.23 A2.31	EQUIPMENT PLATFORM - SLAB PLAN		
A2.31 A2.32	1ST FLOOR - FINISH PLAN EQUIPMENT PLATFORM - FINISH PLAN		
A2.41	1ST FLOOR - SIGNAGE PLAN		
A2.42 A2.43	EQUIPMENT PLATFORM - SIGNAGE PLAN UPPER CATWALK - SIGNAGE PLAN		
A3.11	1ST FLOOR - REFLECTED CEILING PLAN		
A3.12 A3.13	EQUIPMENT PLATFORM - REFLECTED CEILING PLAN THEATER - REFLECTED CEILING PLAN		
A4.11	DEMO ROOF PLAN		
A4.12 A5.11	ROOF PLAN EXTERIOR ELEVATIONS - DEMOLITION		
A5.12	EXTERIOR ELEVATIONS - NORTH/ SOUTH		
A5.13 A6.11	EXTERIOR ELEVATIONS - EAST/ WEST BUILDING SECTIONS - TRANSVERSE		
A6.12	BUILDING SECTIONS - TRANSVERSE		
A6.13 A6.14	BUILDING SECTIONS - LONGITUDINAL BUILDING SECTIONS - LONGITUDINAL		
A6.21	WALL SECTIONS		
A6.22 A6.23	WALL SECTIONS WALL SECTIONS		
A0.23 A7.21	CATWALK LADDER		
A7.22 A7.51	LIFT & STAIR - PLANS & SECTIONS ENLARGED LOBBY PLAN & ELEVATIONS		
A7.51 A7.52	ENLARGED LOBBY PLAN & ELEVATIONS ENLARGED THEATER PLAN & ELEVATIONS		
A7.53	ENLARGED CONTROL ROOM & PIANO STORAGE PLANS & ELEVATIONS		
A9.11	DOOR SCHEDULE		
A9.12 A9.21	SIGNAGE SCHEDULE STOREFRONT & WINDOW ELEVATIONS		
A9.21 A9.31	STOREFRONT & WINDOW ELEVATIONS SCHEDULE OF FINISHES		
A10.01	SITE AND GATE DETAILS		
A10.02 A10.03	SITE AND GATE DETAILS BELOW GRADE WATERPROOFING & WALL BASE		

BELOW GRADE WATERPROOFING & WALL BASE A10.03 DETAILS A10.11 WALL TYPES A10.12 ACOUSTIC WALL TYPES A10.13 EXTERIOR WALL DETAILS A10.14 FLOOR PLAN DETAILS A10.15 EXPANSION JOINT DETAILS A10.21 STOREFRONT DETAILS A10.31 CEILING DETAILS - GYPSUM BD. A10.32 CEILING DETAILS - SUSPENDED ACOUSTICAL A10.33 CEILING DETAILS - SUSPENDED ACOUSTICAL A10.41 ROOF TYPES & DETAILS A10.42 A10.51 ROOF DETAILS STAIR DETAILS A10.61 CASEWORK DETAILS A10.81 SIGNAGE DETAILS A10.91 INTERIOR DETAILS A10.92 STAGE DETAILS A10.93 DOOR DETAILS

STRUCTURAL

Grand total: 66

MHP STRUCTURAL ENGINEERS

NUMBER	NAME
S1.00	STRUCTURAL NOTES AND ABBREVIATIONS
S1.01	STRUCTURAL NOTES
S1.02	STRUCTURAL NOTES
S1.03	LOADING DIAGRAM PLANS
S1.04	LOADING DIAGRAM PLANS
S2.10	FOUNDATION PLAN
S2.20	EQUIPMENT PLATFORM/LOWER CATWALK FRAMING PLAN
S2.25	UPPER CATWALK FRAMING PLAN
S2.30	HIGH ROOF FRAMING PLAN
S2.50	ENLARGED TRASH ENCLOSURE PLANS
S3.01	CMU WALL ELEVATIONS
S3.02	CMU WALL ELEVATIONS
S4.00	TYPICAL CONCRETE AND FOUNDATION DETAILS
S4.20	TYPICAL CMU WALL DETAILS
S4.40	FOUNDATION SECTIONS AND DETAILS
S4.45	STEEL FOUNDATION SECTIONS AND DETAILS
S4.73	TYPICAL PILASTER DETAILS
S5.20	TYPICAL STEEL FRAMING DETAILS
S5.21	TYPICAL STEEL FRAMING DETAILS
S5.25	TYPICAL STEEL FRAMING AND METAL DECK DETAILS
S5.26	TYPICAL STEEL FRAMING AND METAL DECK DETAILS
S5.30	STEEL SECTIONS AND DETAILS (CMU WALL)
S5.40	STEEL TRUSS ELEVATION AND DETAILS
S5.45	STEEL CATWALK FRAMING SECTIONS AND DETAILS
S5.50	TYPICAL WOOD GRAVITY FRAMING DETAILS
S5.55	TYPICAL WOOD LATERAL FRAMING DETAILS
S6.00	TYPICAL STEEL STUD DETAILS
S6.01	TYPICAL STEEL STUD DETAILS

STRUCTURAL

MHP STRUCTURAL ENGINEERS		SALAS O'BRIAN	
NUMBER NAME		NUMBER	NAME
S6.10 S6.20 S7.10 S7.11 S7.12 Grand total: 3	STEEL STUD DETAILS TYPICAL STEEL STUD DETAILS (METAL DECK) PIPE AND DUCT SUPPORT DETAILS (METAL DECK) PIPE AND DUCT SUPPORT DETAILS (METAL DECK) EQUIPMENT ANCHORAGE DETAILS (METAL DECK)	AV0.01 AV0.02 AV1.01 AV1.51 AV1.52 AV3.01 AV4.51	AV - GENERAL NOTES & LEGENDS AV - SCHEDULES AV - FIRST FLOOR - OVERALL FLOOR PLAN AV - FIRST FLOOR - ENLARGED PLAN AV - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN AV - ELEVATIONS AV - FIRST FLOOR - ENLARGED RCP
		AV5.00 AV5.01 AV5.02	AV - CONNECTOR DETAILS AV - STANDARD DETAILS AV - STANDARD DETAILS
NUMBER	NAME	AV5.20 AV5.40 AV5.41	AV - PANEL DETAILS AV RACK DETAILS AV RACK DETAILS
M0.01 M0.02 M0.03 M0.03 M1.01 M2.11 M2.12 M2.21 M2.22 M3.01 M4.01 M4.02 Grand total: T PLUM	BING	AV6.00 AV7.00 AV7.30 AV7.31 AV7.31 AV7.32 AV7.32 TE0.00 TE0.01 TE1.01 TE1.02 TE1.03 TE3.01 TE3.02 TE4.03 TE5.00 TE7.00 TL0.01 TL0.01 TL1.01	AV - TECHNICAL POWER & GROUNDING DETAILS AV - SCHEMATIC LEGEND AV - SCHEMATICS AV - SCHEMATICS AV - SCHEMATICS AV - SCHEMATICS AV - SCHEMATICS TE - GENERAL NOTES & LEGENDS TE - GENERAL NOTES & LEGENDS TE - SCHEDULES TE - FIRST FLOOR - ENLARGED PLAN TE - EQUIPMENT PLATFORM - ENLARGED PLAN TE - UPPER CATWALK - ENLARGED PLAN TE - THEATER SECTIONS TE - STAGE CONFIGURATION SECTIONS TE - UPPER CATWALK - ENLARGED RCP TE - DETAILS TE - SCHEMATIC TL - GENERAL NOTES & LEGENDS TL - SCHEDULES TL - FIRST FLOOR - ENLARGED PLAN
NUMBER	NAME	TL1.02 TL1.03 TL3.01	TL - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN TL - UPPER CATWALK - ENLARGED PLAN TL - THEATER SECTIONS
P0.01 P1.01 P-2.01 P-2.11 P-2.12 P-3.01 P-4.01 Grand total: 7	PLUMBING LEGENDS NOTES & SCHEDULES PLUMBING SITE PLAN PLUMBING FOUNDATION PLAN PLUMBING PLAN PLUMBING EQUIPMENT PLATFORM PLAN PLUMBING ROOF PLAN PLUMBING DETAILS	TL5.00 TL7.00 TL7.00 Grand total:	TL - DETAILS TL SCHEMATIC TL - SCHEMATIC
FIRE F	PROTECTION		
DESIGN	WEST		

MHP STRUCTURAL ENGINEERS		SALAS C	SALAS O'BRIAN		
NUMBER	NAME	NUMBER	NAME		
S6.10	STEEL STUD DETAILS				
S6.20	TYPICAL STEEL STUD DETAILS (METAL DECK)	AV0.01	AV - GENERAL NOTES & LEGENDS		
S7.10	PIPE AND DUCT SUPPORT DETAILS (METAL DECK)	AV0.02	AV - SCHEDULES		
S7.11	PIPE AND DUCT SUPPORT DETAILS (METAL DECK)	AV1.01	AV - FIRST FLOOR - OVERALL FLOOR PLAN		
S7.12	EQUIPMENT ANCHORAGE DETAILS (METAL DECK)	AV1.51	AV - FIRST FLOOR - ENLARGED PLAN		
Grand total: 3		AV1.52	AV - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN		
		AV3.01	AV - ELEVATIONS		
		AV4.51	AV - FIRST FLOOR - ENLARGED RCP		
	IANICAL	AV5.00	AV - CONNECTOR DETAILS		
		AV5.01	AV - STANDARD DETAILS		
DESIGN	WEST	AV5.02	AV - STANDARD DETAILS		
DECICIN	WEST .	AV5.20	AV - PANEL DETAILS		
NUMBER	NAME	AV5.40	AV RACK DETAILS		
		AV5.41	AV RACK DETAILS		
		AV6.00	AV - TECHNICAL POWER & GROUNDING DETAILS		
M0.01	MECHANICAL LEGENDS NOTES & SCHEDULES	AV7.00	AV - SCHEMATIC LEGEND		
	Unnamed	AV7.30	AV - SCHEMATICS		
M0.02	•••••••	AV7.31	AV - SCHEMATICS		
M0.02	MECHANICAL SCHEDULES CONT.	AV7.31	AV - SCHEMATICS		
M0.03		AV7.31 AV7.32	AV - SCHEMATICS AV - SCHEMATICS		
M0.03	ENERGY COMPLIANCE DOCUMENTS	AV7.32 AV7.32			
M1.01	MECHANICAL SITE PLAN	-	AV - SCHEMATICS		
M2.11	MECHANICAL FLOOR PLAN	TE0.00	TE - GENERAL NOTES & LEGENDS		
M2.12	MECHANICAL FLOOR PLAN - PIPING	TE0.01	TE - SCHEDULES		
M2.21	MECHANICAL EQUIPMENT PLATFORM PLAN	TE1.01	TE - FIRST FLOOR - ENLARGED PLAN		
M2.22	MECHANICAL EQUIPMENT PLATFORM PLAN - PIPING	TE1.02	TE - EQUIPMENT PLATFORM - ENLARGED PLAN		
M3.01	MECHANICAL ROOF PLAN	TE1.03	TE - UPPER CATWALK - ENLARGED PLAN		
M4.01	MECHANICAL DETAILS	TE3.01	TE - THEATER SECTIONS		
M4.02	MECHANICAL DETAILS CONT.	TE3.02	TE - STAGE CONFIGURATION SECTIONS		
Grand total:	13	TE4.03	TE - UPPER CATWALK - ENLARGED RCP		
		TE5.00	TE - DETAILS		
		TE7.00	TE - SCHEMATIC		
PLUM	BING	TL0.00	TL - GENERAL NOTES & LEGENDS		
		TL0.01	TL - SCHEDULES		
DEOLONU	NECT	TL1.01	TL - FIRST FLOOR - ENLARGED PLAN		
DESIGN WEST		TL1.02	TL - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN		
NUMBER	NAME	TL1.03	TL - UPPER CATWALK - ENLARGED PLAN		
		TL3.01	TL - THEATER SECTIONS		
		TL5.00	TL - DETAILS		
P0.01	PLUMBING LEGENDS NOTES & SCHEDULES	TL7.00	TL SCHEMATIC		
P1.01	PLUMBING SITE PLAN	TL7.00	TL - SCHEMATIC		
P-2.01	PLUMBING FOUNDATION PLAN	Grand total:	35		
P-2.11	PLUMBING PLAN				
P-2.12	PLUMBING EQUIPMENT PLATFORM PLAN				
P-3.01	PLUMBING ROOF PLAN				
P-4.01	PLUMBING DETAILS				
Grand total:	7				
FIRE F	PROTECTION				
	MEST				
DESIGN V	VVFOI	1			

IUMBER	NAME

MHP STRUCTURAL ENGINEERS		SALAS C	SALAS O'BRIAN		
NUMBER	NAME	NUMBER	NAME		
S6.10	STEEL STUD DETAILS				
S6.20	TYPICAL STEEL STUD DETAILS (METAL DECK)	AV0.01	AV - GENERAL NOTES & LEGENDS		
S7.10	PIPE AND DUCT SUPPORT DETAILS (METAL DECK)	AV0.02	AV - SCHEDULES		
S7.11	PIPE AND DUCT SUPPORT DETAILS (METAL DECK)	AV1.01	AV - FIRST FLOOR - OVERALL FLOOR PLAN		
S7.12	EQUIPMENT ANCHORAGE DETAILS (METAL DECK)	AV1.51	AV - FIRST FLOOR - ENLARGED PLAN		
Grand total: 3		AV1.52	AV - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN		
		AV3.01	AV - ELEVATIONS		
		AV4.51	AV - FIRST FLOOR - ENLARGED RCP		
	IANICAL	AV5.00	AV - CONNECTOR DETAILS		
		AV5.01	AV - STANDARD DETAILS		
DESIGN	WEST	AV5.02	AV - STANDARD DETAILS		
DECICIN	WEST .	AV5.20	AV - PANEL DETAILS		
NUMBER	NAME	AV5.40	AV RACK DETAILS		
		AV5.41	AV RACK DETAILS		
		AV6.00	AV - TECHNICAL POWER & GROUNDING DETAILS		
M0.01	MECHANICAL LEGENDS NOTES & SCHEDULES	AV7.00	AV - SCHEMATIC LEGEND		
	Unnamed	AV7.30	AV - SCHEMATICS		
M0.02	•••••••	AV7.31	AV - SCHEMATICS		
M0.02	MECHANICAL SCHEDULES CONT.	AV7.31	AV - SCHEMATICS		
M0.03		AV7.31 AV7.32	AV - SCHEMATICS AV - SCHEMATICS		
M0.03	ENERGY COMPLIANCE DOCUMENTS	AV7.32 AV7.32			
M1.01	MECHANICAL SITE PLAN	-	AV - SCHEMATICS		
M2.11	MECHANICAL FLOOR PLAN	TE0.00	TE - GENERAL NOTES & LEGENDS		
M2.12	MECHANICAL FLOOR PLAN - PIPING	TE0.01	TE - SCHEDULES		
M2.21	MECHANICAL EQUIPMENT PLATFORM PLAN	TE1.01	TE - FIRST FLOOR - ENLARGED PLAN		
M2.22	MECHANICAL EQUIPMENT PLATFORM PLAN - PIPING	TE1.02	TE - EQUIPMENT PLATFORM - ENLARGED PLAN		
M3.01	MECHANICAL ROOF PLAN	TE1.03	TE - UPPER CATWALK - ENLARGED PLAN		
M4.01	MECHANICAL DETAILS	TE3.01	TE - THEATER SECTIONS		
M4.02	MECHANICAL DETAILS CONT.	TE3.02	TE - STAGE CONFIGURATION SECTIONS		
Grand total:	13	TE4.03	TE - UPPER CATWALK - ENLARGED RCP		
		TE5.00	TE - DETAILS		
		TE7.00	TE - SCHEMATIC		
PLUM	BING	TL0.00	TL - GENERAL NOTES & LEGENDS		
		TL0.01	TL - SCHEDULES		
DEOLONU	NECT	TL1.01	TL - FIRST FLOOR - ENLARGED PLAN		
DESIGN WEST		TL1.02	TL - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN		
NUMBER	NAME	TL1.03	TL - UPPER CATWALK - ENLARGED PLAN		
		TL3.01	TL - THEATER SECTIONS		
		TL5.00	TL - DETAILS		
P0.01	PLUMBING LEGENDS NOTES & SCHEDULES	TL7.00	TL SCHEMATIC		
P1.01	PLUMBING SITE PLAN	TL7.00	TL - SCHEMATIC		
P-2.01	PLUMBING FOUNDATION PLAN	Grand total:	35		
P-2.11	PLUMBING PLAN				
P-2.12	PLUMBING EQUIPMENT PLATFORM PLAN				
P-3.01	PLUMBING ROOF PLAN				
P-4.01	PLUMBING DETAILS				
Grand total:	7				
FIRE F	PROTECTION				
	MEST				
DESIGN V	VVFOI	1			

MHP STRUCTURAL ENGINEERS		SALAS C	SALAS O'BRIAN		
NUMBER	NAME	NUMBER	NAME		
S6.10	STEEL STUD DETAILS				
S6.20	TYPICAL STEEL STUD DETAILS (METAL DECK)	AV0.01	AV - GENERAL NOTES & LEGENDS		
S7.10	PIPE AND DUCT SUPPORT DETAILS (METAL DECK)	AV0.02	AV - SCHEDULES		
S7.11	PIPE AND DUCT SUPPORT DETAILS (METAL DECK)	AV1.01	AV - FIRST FLOOR - OVERALL FLOOR PLAN		
S7.12	EQUIPMENT ANCHORAGE DETAILS (METAL DECK)	AV1.51	AV - FIRST FLOOR - ENLARGED PLAN		
Grand total: 3		AV1.52	AV - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN		
		AV3.01	AV - ELEVATIONS		
MECH	ANICAL	AV4.51	AV - FIRST FLOOR - ENLARGED RCP		
	ANICAL	AV5.00	AV - CONNECTOR DETAILS		
		AV5.01	AV - STANDARD DETAILS		
DESIGN V	VFST	AV5.02	AV - STANDARD DETAILS		
220.0.1		AV5.20	AV - PANEL DETAILS		
NUMBER	NAME	AV5.40	AV RACK DETAILS		
		AV5.41	AV RACK DETAILS		
		AV6.00	AV - TECHNICAL POWER & GROUNDING DETAILS		
M0.01	MECHANICAL LEGENDS NOTES & SCHEDULES	AV7.00	AV - SCHEMATIC LEGEND		
M0.02		AV7.30	AV - SCHEMATICS		
M0.02	MECHANICAL SCHEDULES CONT.	AV7.31	AV - SCHEMATICS		
M0.03	Unnamed	AV7.31	AV - SCHEMATICS		
M0.03	ENERGY COMPLIANCE DOCUMENTS	AV7.32	AV - SCHEMATICS		
M0.00 M1.01	MECHANICAL SITE PLAN	AV7.32	AV - SCHEMATICS		
M2.11	MECHANICAL FLOOR PLAN	TE0.00	TE - GENERAL NOTES & LEGENDS		
M2.12	MECHANICAL FLOOR PLAN - PIPING	TE0.01	TE - SCHEDULES		
M2.12 M2.21	MECHANICAL EQUIPMENT PLATFORM PLAN	TE1.01	TE - FIRST FLOOR - ENLARGED PLAN		
M2.22		TE1.01	TE - EQUIPMENT PLATFORM - ENLARGED PLAN		
	MECHANICAL EQUIPMENT PLATFORM PLAN - PIPING	TE1.02	TE - UPPER CATWALK - ENLARGED PLAN		
M3.01	MECHANICAL ROOF PLAN	TE3.01	TE - THEATER SECTIONS		
M4.01	MECHANICAL DETAILS MECHANICAL DETAILS CONT.	TE3.01	TE - STAGE CONFIGURATION SECTIONS		
M4.02 Grand tataly 1		TE4.03	TE - UPPER CATWALK - ENLARGED RCP		
Grand total: 1	3	TE5.00	TE - DETAILS		
		TE3.00 TE7.00	TE - SCHEMATIC		
PLUM	RING	TL0.00	TL - GENERAL NOTES & LEGENDS		
		TL0.00	TL - SCHEDULES		
DESIGN V	VEST	TL1.01	TL - FIRST FLOOR - ENLARGED PLAN		
NUMBER	NAME	TL1.02	TL - EQUIPMENT PLATFORM & LOWER CATWALK - ENLARGED PLAN		
		TL1.03	TL - UPPER CATWALK - ENLARGED PLAN		
		TL3.01	TL - THEATER SECTIONS		
P0.01	PLUMBING LEGENDS NOTES & SCHEDULES	TL5.00	TL - DETAILS		
P1.01	PLUMBING SITE PLAN	TL7.00	TL SCHEMATIC		
P-2.01	PLUMBING FOUNDATION PLAN	TL7.00	TL - SCHEMATIC		
P-2.01 P-2.11	PLUMBING PLAN	Grand total:	35		
P-2.11	PLUMBING FLAN PLUMBING EQUIPMENT PLATFORM PLAN				
P-3.01	PLUMBING EQUIPMENT PLATFORM PLAN				
P-4.01	PLUMBING DETAILS				
Grand total: 7					
FIRE P	ROTECTION				
DESIGN V	VEST				

NUMBER NAME

FP0.01	FIRE SPRINKLER LEGENDS, NOTES
FP1.01	FIRE SPRINKLER SITE PLAN
FP1.11	FIRE SPRINKLER FIRST FLOOR PIPI
FP1.21	FIRE SPRINKLER SECOND FLOOR P
FP2.01	FIRE SPRINKLER SECTION VIEWS
FP3.01	FIRE SPRINKLER DETAILS
Grand total: 6	

FIRE ALARM

DESIGN WEST

NUMBER NAME

FA0.01	FIRE ALARM LEGENDS & NOTES
FA0.02	FIRE ALARM LEGENDS & NOTES (
	DIAGRAM AND BATTERY CALCUL
FA1.11	FIRE ALARM PLAN - FIRST FLOOR
FA1.21	FIRE ALARM PLAN - EQUIPMENT F
FA2.01	FIRE ALARM DETAILS
Grand total: 5	

ELECTRICAL

DESIGN WEST

NUMBER NAME

E0.01	ELECTRICAL LEGENDS & NOTES
E0.02	LUMINAIRE SCHEDULE
E0.03	SINGLE LINE DIAGRAM
E0.04	PANEL SCHEDULES
E0.05	PANEL SCHEDULES
E0.06	TITLE 24 DOCUMENTS
E0.07	TITLE 24 DOCUMENTS
E0.08	TITLE 24 DOCUMENTS - SOLAR
E1.01	ELECTRICAL DEMOLITION SITE PLAN
E1.02	ELECTRICAL SITE PLAN
E2.11	POWER PLAN - 1ST FLOOR
E2.12	POWER PLAN - EQUIPMENT PLATFORM PLAN
E2.13	POWER PLAN - UPPER CATWALK
E3.11	LIGHTING PLAN - 1ST FLOOR
E3.12	LIGHTING PLAN - EQUIPMENT PLATFORM PLAN
E3.14	EGRESS PLAN - 1ST FLOOR
E3.15	EGRESS PLAN - EQUIPMENT PLATFORM PLAN
E5.01	ELECTRICAL DETAILS
Grand tota	al: 18

TECHNOLOGY

DESIGN WEST

NUMBER NAME

T0.01 T1.01	TECHNOLOGY LEGENDS & NOTES TECHNOLOGY SITE PLAN
T2.11	FIRST FLOOR TECHNOLOGY PLAN
T2.21 T3.01	TECHNOLOGY PLAN - MEZZANINE PRIMARY PATHWAYS RISER DIAGRAM
T3.01 T3.02	FIBER RISER DIAGRAM
T3.03	BONDING RISER DIAGRAM
T3.04	SECURITY SINGLE LINES
T5.01	TECHNOLOGY DETAILS

Grand total: 9

AGEN
APPR

∆ DESCRIPTION

AUDIO VISUAL

TES & SCHEDULES PIPING PLAN OR PIPING PLAN

S (CON'T), RISER JLATIONS

T FLOOR PLAN

LATFORM PLAN

TOTAL SHEETS IN SET: 203 DATE: 04/01/2025 SHEET:

FACILITY:

PROJECT:

BUILDING

SHEET NAME:

PLEASE RECYCLE



CLIENT PROJ NO:

AGENCY SUBMITTAL

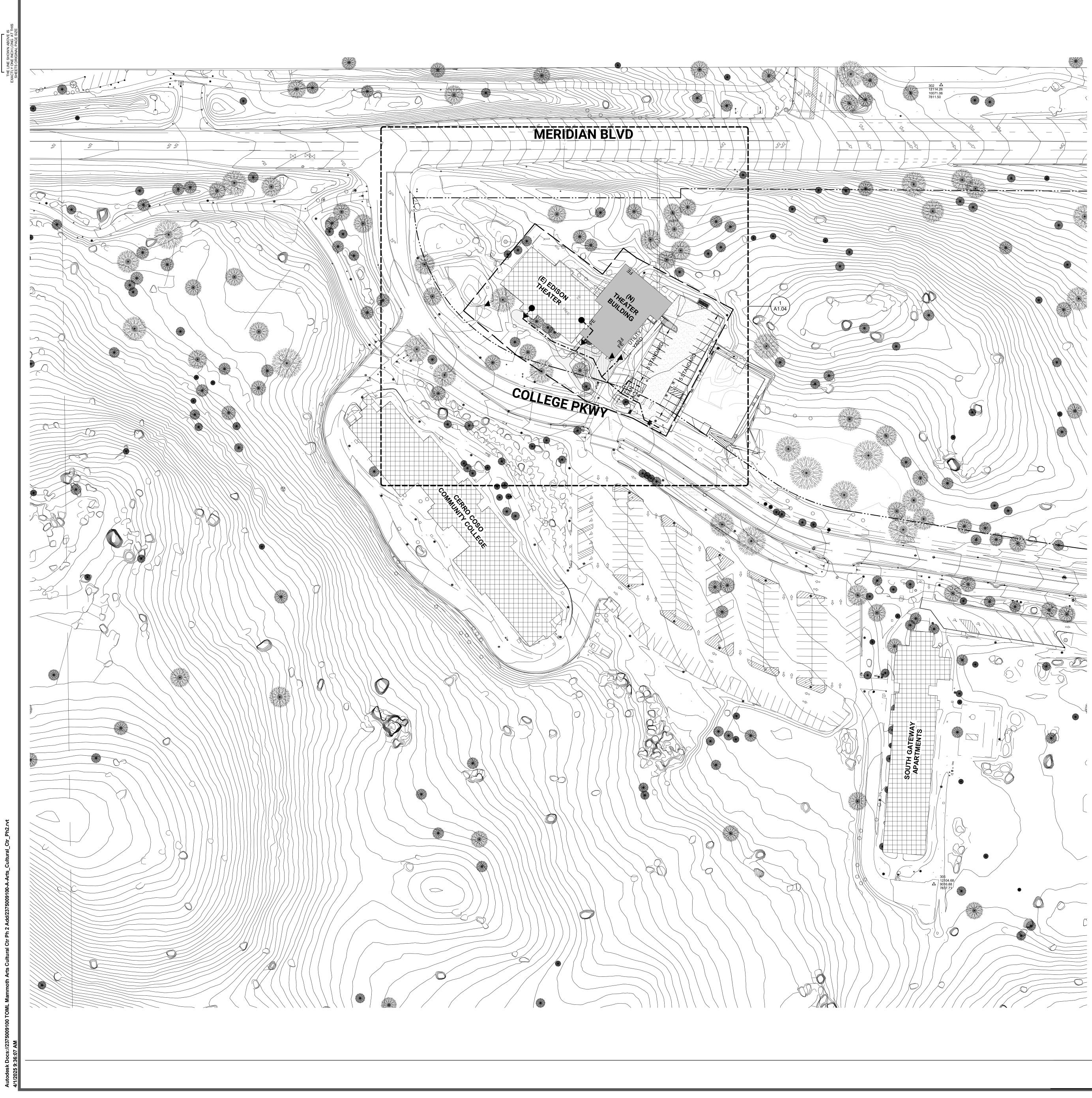
SHEET INDEX

MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546







PATH OF TRAVEL NOTE

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED ERFECTED OVERHANCING TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE P.O.T. IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE P.O.T. WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE P.O.T. THAT WERE DETERMINED TO BE PORTIONS OF THE P.O.T. THAT WERE DETERMINED TO BE NONCOMPLIANT 1.) HAVE BEEN IDENTIFIED AND 2.) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE P.O.T. THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

WILDLAND-URBAN INTERFACE REQUIREMENTS (CBC CHAPTER 7A)

COMPONENT	MATERIAL	REQUIREMENT WHICH MATERIAL COMPLIES WITH
ROOFING	PVC	NONCOMBUSTIBLE
ROOFING	ASPHALT SHINGLES	NONCOMBUSTIBLE
VENTS	METAL	NONCOMBUSTIBLE
EXTERIOR WALLS	CMU	NONCOMBUSTIBLE
EXTERIOR WALLS	METAL PANEL	NONCOMBUSTIBLE
EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE OVERHANGS	N/A	EXCEPTION 707A.4.1
FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS	METAL	NONCOMBUSTIBLE
EXTERIOR WINDOWS	DUAL GLAZING WITH ONE TEMPERED PANE	SECTION 708A2.1.1
EXTERIOR DOORS	ALUMINUM STOREFRONT / HOLLOW METAL	NONCOMBUSTIBLE

F	PARKING SPA	CES	PRO	VIDE	D
P	ARKING SPACE TYPE	ANGLE	WIDTH	LENGTH	COUN
S	TANDARD	90°	10'-0"	20'-0"	23
V	AN ACCESSIBLE	90°	10'-0"	20'-0"	1



2375-009-100

ISSUE

KEYNOTES

LEGEND

NEW BUILDING EXISTING BUILDINGS NOT IN SCOPE PATH OF TRAVEL (P.O.T.) ------ PROPERTY LINE LIMITS OF WORK ACCESSIBLE ENTRY / EXIT

NOTES

1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS. 2. REFER TO CIVIL FOR ADDITIONAL INFO.

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: BUILDING

SHEET NAME: CODE COMPLIANCE SITE PLAN



DATE: 04/01/2025 SHEET:

CODE COMPLIANCE SITE PLAN

PLEASE RECYCLE

1" = 50'-0"

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CLIENT PROJ NO:

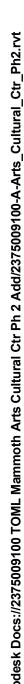
MAMMOTH ARTS & CULTURAL CENTER NEW

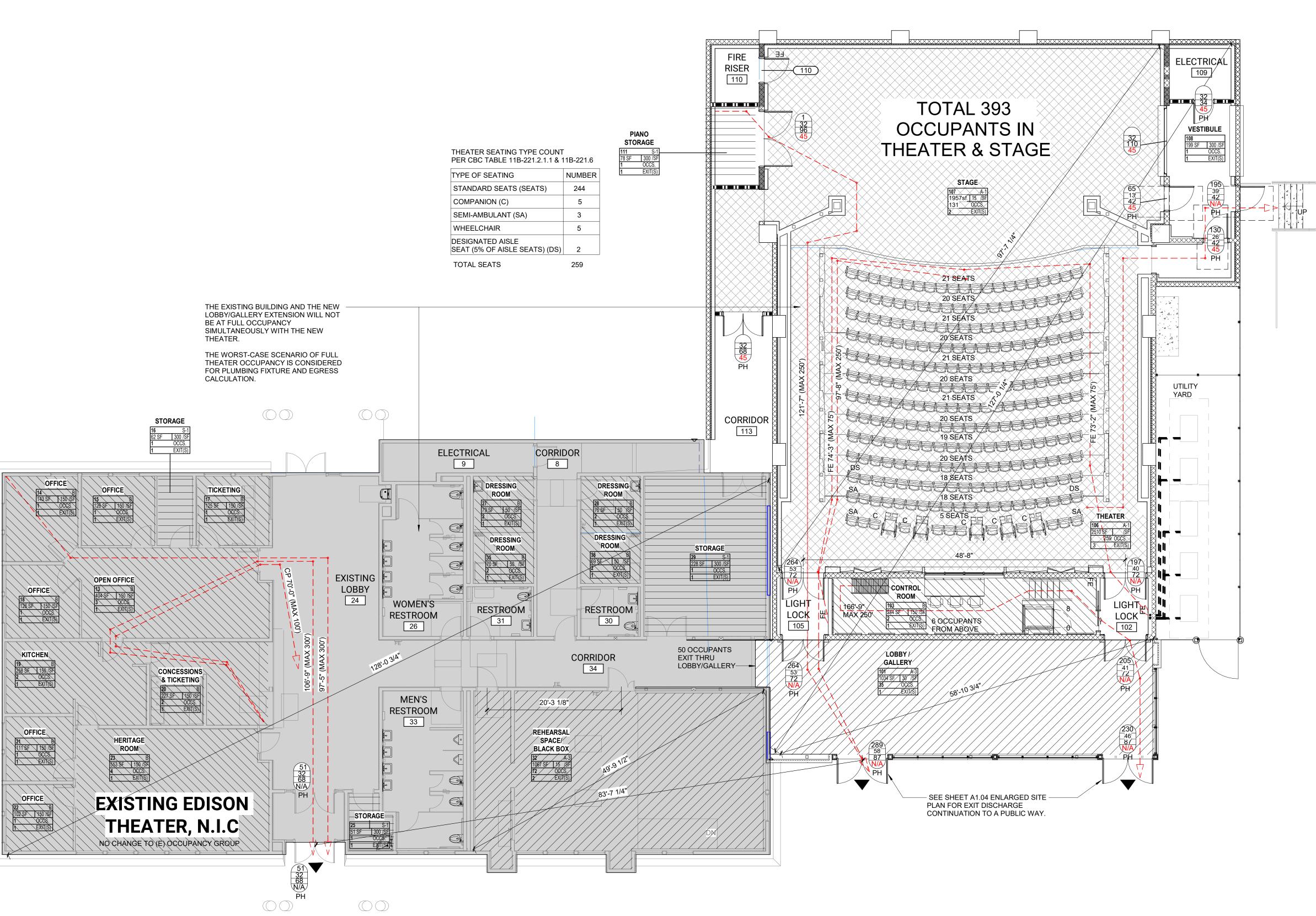
HMC Architects C-32052 REN. 05/31/25 3546 CONCOURS STREET ONTARIO, CA 91764 909 989 9979 / www.hmcarchitects.com DATE Δ **DESCRIPTION**



APPROVAL:

CHAPTER 3		CHAPTER 5	
OCCUPANCY CLASS	SIFICATION AND USE	GENERAL BUILDING HEIGHTS AN	
NEW PERFORMANCE THEATER		NEW PERFORMANCE THEATER AND (E) EDISON THEATE	
ASSEMBLY GROUP ASSEMBLY GROUP STORAGE GROUP	A-1 (THEATER) A-3 (GALLERY) S-1 (MODERATE-HAZARD)	BUILDING FOR BUILIDNG HEIGHT, STORY AND AREA ANA OCCUPANCY CLASSIFICATION ASSEMBLY GROUP A-1 (M MECHANICAL AND BUILDING SUPPORT SPACE ABOVE IS PLATFORM TO COMPLY WITH CBC SECTION 505.3.	
(E) EDISON THEATER BUILDING			
ASSEMBLY GROUP BUSINESS GROUP STORAGE GROUP	A-3 (BLACK BOX) B (OFFICES) S-1 (MODERATE-HAZARD)	PER TABLE 504.3, 504.4 & 506.2	
	REQUIREMENTS BASED ON	OCCUPANCY A (BUILDING HEIGHT, 45 WITHOUT AREA INCREASE): OCCUPANCY A-1 (NUMBER OF STORIES, 1 WITHOUT AREA INCREASE): BUILDING AREA IN TOTAL: 16 NEW THEATER AREA @1ST FLOOR: 7	
OCCUPANCY AND U	SE MS AND TECHNICAL PRODUCTION AREAS	ROOF COVERED AREA: TOTAL:	
FLAME RESISTANT IN ACCORDA 19, DIVISION 1, CHAPTER 8, IN AC	E MATERIALS USED IN SETS AND SCENERY SHALL BE NCE WITH THE PROVISIONS SET FORTH IN CCR, TITLE CORDANCE WITH SECTION 806 AND THE CALIFORNIA D MATERIALS CONTAINING FOAM PLASTICS SHALL D THE CALIFORNIA FIRE CODE.	(E) EDISON THEATER BUILDING AREA @1ST FLOOR: 6, <u>ROOF COVERED AREA: 1,</u> TOTAL: 8, CBC 506.2.1 SINGLE-OCCUPANCY BUILDING ALLOWABLI	
	ERGENCY VENTILATION SHALL BE PROVIDED FOR 000 SQUARE FEET. (NOTES: TWO ROOF VENTS ARE	INCREASE: EQUATION 5-1 ALLOWABLE AREA (A _A) :	
ROOMS, SCENE DOCKS, PROPE COMPARTMENTS APPURTENAN BY FIRE BARRIERS. THE FIRE RE FOR STAGE HEIGHT GREATER T HEIGHTS OF 50 FEET OR LESS. (THAN 50 FEET) 410.4.2 SEPARATION FROM EACH ROOMS, WORKSHOPS, STORER	GE. THE STAGE SHALL BE SEPARATED FROM DRESSING RTY ROOMS, WORKSHOPS, STOREROOMS AND I TO THE STAGE AND OTHER PARTS OF THE BUILDING SISTANCE RATING SHALL BE NOT LESS THAN 2 HOURS HAN 50 FEET AND NOT LESS THAN 1 HOUR FOR STAGE NOTE: STAGE HEIGHT IN THIS PROJECT IS 43'-11", LESS HOTHER. DRESSING ROOMS, SCENE DOCKS, PROPERTY DOMS AND COMPARTMENTS APPURTENANT TO THE ROM EACH OTHER BY NOT LESS THAN 1-HOUR FIRE	CBC TABLE 506.3.3 I _F = 0.75 FOR THIS BUILDING WITH 10 30' OR GREATER 508.3 NON-SEPARATED OCCUPANCIES 508.3.1 OCCUPANCY CLASSIFICATION. NONSEP/ INDIVIDUALLY CLASSIFIED IN ACCORDAN 5.8.3.2 ALLOWABLE BUILDING AREA, HEIGHT AN BASED ON THE MOST RESTRICTIVE ALLO GROUPS UNDER CONSIDERATION FOR T BUILDING.	
BARRIERS. 410.5.1 ARRANGEMENT. WHERE FROM THE STAGE ARE REQUIRE	TWO OR MORE EXITS OR EXIT ACCESS DOORWAYS D IN ACCORDANCE WITH SECTION 1006.2, NOT FEWER S DOORWAY SHALL BE PROVIDED ON EACH SIDE OF A		
	STEM. STAGE SHALL BE EQUIPPED WITH AN IN ACCORDANCE WITH SECTION 903.3.1.1.		
410.7 STANDPIPES. STANDPIPE S SECTION 905.	SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH		





	CHAPTER 6	CHAPTER 10
AND AREAS	TYPES OF CONSTRUCTION	MEANS OF EGRESS
EATER BUILDING IS CONSIDERED AS ONE A ANALYSIS. CONSTRUCTION TYPE V-B AND A-1 (MOST RESTRICTIVE) ARE USED. IVE IS CONSIDERED AS EQUIPMENT		1005.3.2 OTHER EGRESS COMPO EXCEPTIONS: 1. FOR OTHER THAN GROUP H INCHES, OF MEANS OF EGRESS BE CALCULATED BY MUTILPLYI COMPONENT BY A MEANS OF E OCCUPANT IN FIRE SPRINKLER
PROVIDED 45'-4" (OK) 60'-0"	NEW PERFORMANCE THEATER (ADDITION) CBC TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILIDNG ELEMENTS (HOURS) BUILDING ELEMENT TYPE V-B PRIMARY STRUCTURAL FRAME 0 BEARING WALLS 0 EXTERIOR 0	1006.2.1 EGRESS BASED ON OCC TRAVEL DISTANCE. EXCEPTIONS: 3. UNOCCUPIED MECHANICAL F TO COMPLY WITH THE COMMO MEASUREMENT.
1 (OK) 2	INTERIOR 0 NONBEARING WALLS AND PARTITIONS EXTERIOR SEE TABLE 705.5	CBC TABLE 1006.2.1 MAXIMUM CC
16,476 SQ. FT. (OK) 26,125 SQ. FT. (W/ FRONTAGE 7,482 SQ. FT. INCREASE) 519 SQ. FT.	NONBEARING WALLS AND PARTITIONS INTERIOR 0 FLOOR CONSTRUCTION & ASSOCIATED SECONDARY STRUCTURAL MEMBERS 0 ROOF CONSTRUCTION & ASSOCIATED SECONDARY STRUCTURAL MEMBERS 0	OCCUPANCYWITH SPRA*75B, S100* ASSEMBLY ROOM OR SPACE W
8,001 SQ. FT.	(E) EDISON THEATER BUILDING	CBC TABLE 1017.2 EXIT ACCESS
6,904 SQ. FT <u>1,571 SQ. FT.</u> 8,475 SQ. FT.	CBC TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILIDNG ELEMENTS (HOURS) BUILDING ELEMENT TYPE V-B PRIMARY STRUCTURAL FRAME 0 BEARING WALLS 0 EXTERIOR 0 INTERIOR 0	OCCUPANCYWITH SPRA, S-1250B300SECTION 1030 ASSEMBLY
VABLE AREA IN SQ. FT. WITH FRONTAGE	NONBEARING WALLS AND PARTITIONS EXTERIORSEE TABLE 705.5NONBEARING WALLS AND PARTITIONS INTERIOR0	1030.6 CAPACITY OF AISLE FOR A 1030.6.1 WITHOUT SMOKE PRO
$A_A = A_T + (NS X I_F)$ $A_A = 22,000 + (5,500 X 0.75)$ $A_A = 26,125 (ALLOWABLE)$ TH 100% BUILDING PERIMETER OPEN SPACE	FLOOR CONSTRUCTION & ASSOCIATED SECONDARY STRUCTURAL MEMBERS 0 ROOF CONSTRUCTION & ASSOCIATED SECONDARY STRUCTURAL MEMBERS 0	1. NOT LESS THAN 0.3 INC SERVED SHALL BE PROVI HEIGHTS 7 INCHES OR LE MEASURED HORIZONTAL 1030.7 TRAVEL DISTANCE. THE EX WITH SECTION 1017.
	CHAPTER 8	1030.8 COMMON PATH OF EGRES
ISEPARATED OCCUPANCIES SHALL BE RDANCE WITH SECTION 302.1. IT AND NUMBER OF STOREIS SHALL BE E ALLOWANCES FOR THE OCCUPANCY FOR THE TYPE OF CONSTRUCTION OF THE	INTERIOR FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECFIED IN CBC TABLE 803.13 FOR A SPRINKLERED BUILDING GROUP ROOMS AND ENCLOSED SPACES A-1, A-3 B S C	TRAVEL SHALL NOT EXCE POINT WHERE AN OCCUP TRAVEL TO TWO EXITS. 1030.9.1 MINIMUM AISLE WIDTH. 2. THIRTY-SIX INCHES FOI ONE SIDE. 1030.10.3 TRANSITION MARKING. PROVIDED AT EACH NOSI TRANSITION. SUCH STRIP MORE THAN 2 INCHES, W DISTINCTIVELY DIFFEREN MARKING STRIPE. 1030.13.2 CLEAR WIDTH OF AISLE 1030.13.2.1 DUAL ACCESS DOORWAYS AT BOTH ENI BETWEEN ROWS SHALL E ADDITIONAL SEAT BEYON THE MINIMUM CLEAR WID

	PLUN	IBING FI	XTU	RE CO	OUN	Т			
ER 10									
EGRESS	PLUMBING OCCUPANT LOAD TYPE OF DESCRIPTIO OCCUPANCY N		ГЮ	AREA	LOAI		TAL OCCUPA	ANT TOTAL	CPC 422.1 OCCUPANTS @ 1/2 EA.)
EGRESS COMPONENTS EXCEPT STAIRWAYS	A-1	ASSEMBLY / T	HFATER	4,334 SF	15 @S	TAGE	362		181
R THAN GROUP H AND I-2 OCCUPANCIES, THE CAPACITY, IN IEANS OF EGRESS COMPONENTS OTHER THAN STAIRWAYS SHALL	A-3**	ASSEMBLY / G		2,071SF	30		70		35
ED BY MUTILPLYING THE OCCUPANT LOAD SERVED BY SUCH	В	BUSINES	S	2,686 SF	15	0	18		9
BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.15 PER I FIRE SPRINKLERED BUILDINGS.	S-1	STORAG	E	634 SF	30	0	3		2
S BASED ON OCCUPANT LOAD AND COMMON PATH OF EGRESS ICE.		KISTING BUILDING AN			RY EXTENSI	ON WILL N	IOT BE AT FUI	LL OCCUPAN	CY
ED MECHANICAL ROOMS AND PENTHOUSES ARE NOT REQUIRED VITH THE COMMON PATH OF EGRESS TRAVEL DISTANCE NT.	FOR TI	SIMULTANEOUSLY WITH THE NEW THEATER. FOR THE PLUMBING FIXTURE CALCULATIONS, THE WORST-CASE SCENARIO OF FULL THEATER OCCUPANCY WAS CONSIDERED.							
6.2.1 MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE									
WITH SPRINKLER SYSTEM (FEET, MAX) 75									
100									
OM OR SPACE WITH FIXED SEATING, SEE CBC SECTION 1030.8.									
7.2 EXIT ACCESS TRAVEL DISTANCE	PLUMBING FIX							CBC 2022	TABLE 422.1
WITH SPRINKLER SYSTEM (FEET, MAX)	TYPE OF	TOTAL OCCUPANTS	WATER	CLOSETS	URINALS	LAVA	TORIES	DRINKING	SERVICE
250 300	OCCUPANCY	(M/F @ 1/2 EA.)	MALE	FEMALE	MALE	MALE	FEMALE	FOUNTAINS	SINK
	A-1	181	2: 101-200	4: 101-200	1:1-200		2: 101-200	1 HI/LOW	1
\SSEMBLY Y OF AISLE FOR ASSEMBLY	В S-1	9	1: 1-50 1: 1-100	1: 1-15 1: 1-100	1: 1-100 N/A	1: 1-75 1: 1-200	1: 1-50 1: 1-200		
OUT SMOKE PROTECTION. ESS THAN 0.3 INCHES OF AISLE CAPACITY FOR EACH OCCUPANT			4 4*	6 6*	2 2	3 4*			
 SHALL BE PROVIDED ON STEPPED AISLES HAVING RISER S 7 INCHES OR LESS AND TREAD DEPTHS 11 INCHES OR GREATER, RED HORIZONTALLY BETWEEN TREAD NOSINGS. DISTANCE. THE EXIT ACCESS TRAVEL DISTANCE SHALL COMPLY ECTION 1017. N PATH OF EGRESS TRAVEL. THE COMMON PATH OF EGRESS SHALL NOT EXCEED 30 FEET (9144 MM) FROM ANY SEAT TO A VHERE AN OCCUPANT HAS A CHOICE OF TWO PATHS OF EGRESS TO TWO EXITS. IM AISLE WIDTH. 'Y-SIX INCHES FOR STEPPED AISLES HAVING SEATING ON ONLY DE. SITION MARKING. A DISTINCTIVE MARKING STRIPE SHALL BE ED AT EACH NOSING OR LEADING EDGE ADJACENT TO THE TION. SUCH STRIPE SHALL BE NOT LESS THAN 1 INCH, AND NOT HAN 2 INCHES, WIDE. THE EDGE MARKING STRIPE SHALL BE TIVELY DIFFERENT FROM THE STEPPED AISLE CONTRASTING G STRIPE. WIDTH OF AISLE ACCESSWAYS SERVING SEATING IN ROWS. 2.1 DUAL ACCESS. FOR ROWS OF SEATING SERVED BY AISLES OR 'AYS AT BOTH ENDS, THE MINIMUM CLEAR WIDTH OF 12 INCHES EN ROWS SHALL BE INCREASED BY 0.3 INCH FOR EVERY 'NAL SEAT BEYOND 14 SEATS WHERE SEATS HAVE BACKRESTS. IMUM CLEAR WIDTH IS NOT REQUIRED TO EXCEED 22 INCHES. 	* PLUMI	BING FIXTURE COUNT OMEN'S & MEN'S RES	INCLUDES TV		-			/IS IN ADDITI	DN TO

PN

1ST FLOOR - CODE ANALYSIS

PLEASE RECYCLE

1/8" = 1'-0"



CLIENT PROJ NO:

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FIRST FLOOR - CODE ANALYSIS

MAMMOTH ARTS & CULTURAL CENTER NEW

100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

MAMMOTH LAKES FOUNDATION

	-OCCUPANCY GROUP
101 B	–AREA (SQ FT)
2000 100 /SF 20 OCCS. 1 EXIT(S)	_OCCUPANT LOAD FACTOR, REFER TO CBC TABLE 1004.5
	OCCUPANT LOAD (AREA DIVIDED BY LOAD
	FACTOR)
	-# OF EXITS REQUIRED
	DOOR EXITING INFORMATION
	-NO. OF OCCUPANTS (EGRESS)
15	-DOOR WIDTH MINIMUM REQ'D (EGRESS)
32	-DOOR WIDTH PROVIDED (EGRESS)
20	-FIRE RATING OF DOOR (IN MINUTES)
PH-	-PANIC HARDWARE (WHEN PROVIDED)
FE	RECESSED FIRE EXTINGUISHER & CABINET FOR CLASS A LIGHT HAZARD OCCUPANCY. LABEL TO BE 2-A / 10B/ C & MAX. FLOOR AREA 6,000 SF FT PER CBC TABLE 906.3 (1); OPERABLE LATCH @48" A.F.F. REFER TO DETAIL 9/ A10.91;
_FE_15'-0"	TRAVEL DISTANCE TO FIRE EXTINGUISHER; MAX 75' PER CBC TABLE 906.3 (1)
_ <u>15'-0"</u>	EXIT ACCESS TRAVEL DISTANCE; MAX 250' FOR OCCUPANCY A & S-1; MAX 300' FOR OCCUPANCY B PER CBC TABLE 1017.2
<u>CP_15'-0"_</u>	COMMON PATH OF EGRESS TRAVEL DISTANCE; MAX. 100' FOR OCCUPANCY B PER CBC TABLE 1006.2.1
	EXISTING BUILDING NOT IN SCOPE
	OCCUPANCY ASSEMBLY A-1
	OCCUPANCY ASSEMBLY A-3
	OCCUPANCY BUSINESS
	OCCUPANCY STORAGE S-1
	ACCESSIBLE ENTRY / EXIT
BUILDING ELE	
	METAL STUD FRAMED WALL
	CMU WALL
	1 HR CMU WALL W METAL STUD FURRING
	METAL STUD (1 HOUR FIRE RATED)
	CONCRETE WALL / COLUMN
NOTES	



-ROOM NUMBER

ROOM NAME _ OCCUPANCY GROUP

ROOM EXITING INFORMATION

LEGENDS

NOTES

FACILITY:

PROJECT:

BUILDING

SHEET NAME:

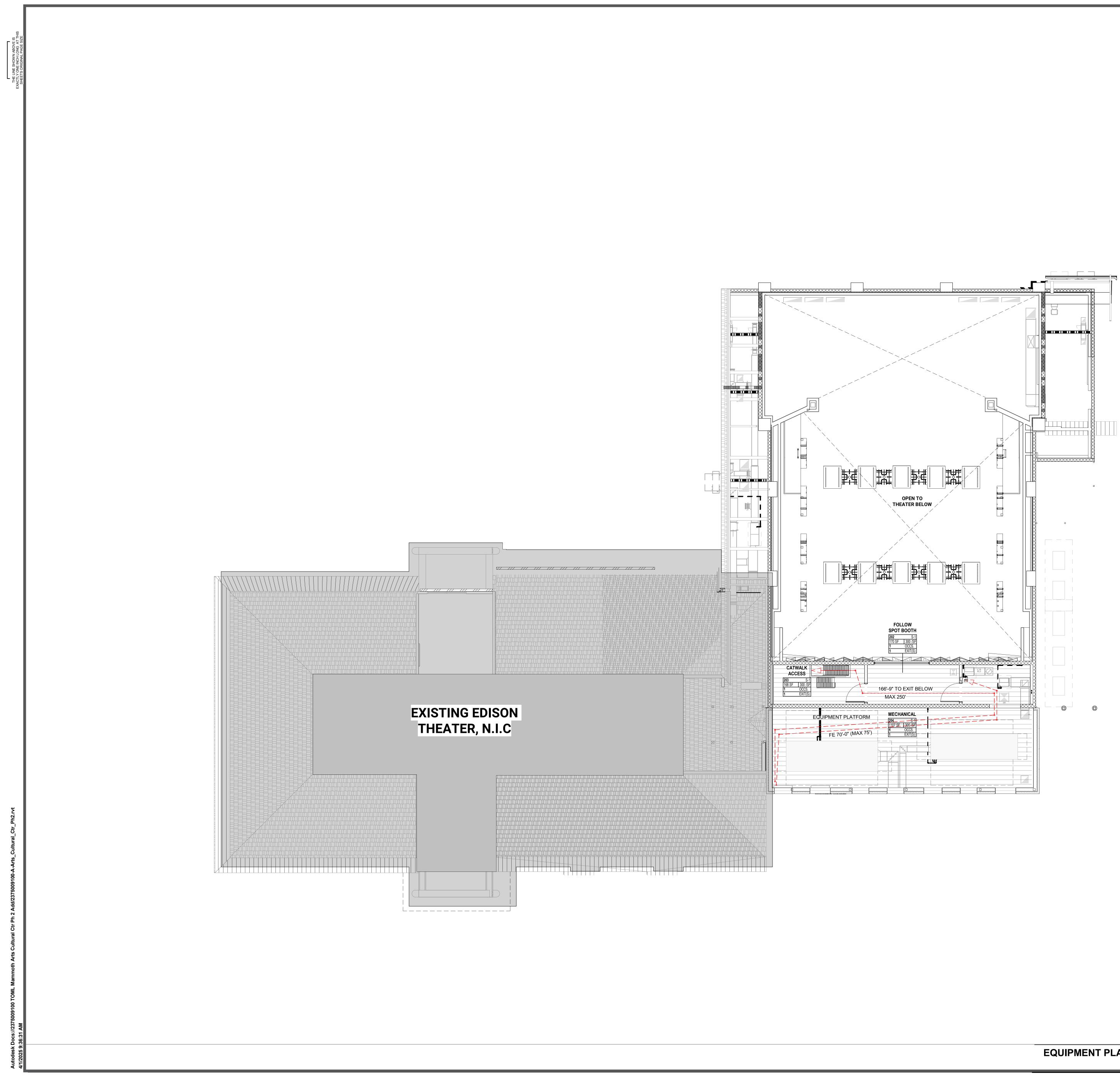
DATE: 04/01/2025

SHEET:

ISSUE



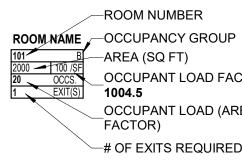
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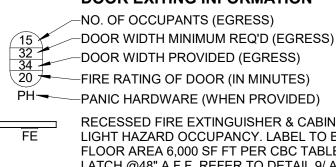




3546 CONCOURS STREET ONTARIO, CA 91764 909 989 9979 / www.hmcarchitects.com ISSUE Δ **DESCRIPTION**







_____15'-0"____

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BUILDING ELEMENTS CMU WALL METAL STUD (1 HOUR FIRE RATED) CONCRETE WALL / COLUMN

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME: EQUIPMENT PLATFORM - CODE ANALYSIS



DATE: 04/01/2025 SHEET:

EQUIPMENT PLATFORM - CODE ANALYSIS 1

> 1/8" = 1'-0" PLEASE RECYCLE

PN



CLIENT PROJ NO:

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MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES, CA 93546

FE RECESSED FIRE EXTINGUISHER & CABINET FOR CLASS A LIGHT HAZARD OCCUPANCY. LABEL TO BE 2-A / 10B/ C & MAX. FLOOR AREA 6,000 SF FT PER CBC TABLE 906.3 (1); OPERABLE LATCH @48" A.F.F. REFER TO DETAIL 9/ A10.91; FE 15'-0" TRAVEL DISTANCE TO FIRE EXTINGUISHER; MAX 75' PER CBC TABLE 906.3 (1) EXIT ACCESS TRAVEL DISTANCE; MAX 250' FOR OCCUPANCY A & S-1; MAX 300' FOR OCCUPANCY B PER CBC TABLE 1017.2 <u>CP 15'-0"</u> COMMON PATH OF EGRESS TRAVEL DISTANCE; MAX. 100' FOR OCCUPANCY B PER CBC TABLE 1006.2.1 EXISTING BUILDING NOT IN SCOPE OCCUPANCY ASSEMBLY A-1 OCCUPANCY ASSEMBLY A-3 OCCUPANCY BUSINESS OCCUPANCY STORAGE S-1 ACCESSIBLE ENTRY / EXIT METAL STUD FRAMED WALL 1 HR CMU WALL W METAL STUD FURRING

DOOR EXITING INFORMATION

ROOM EXITING INFORMATION

-# OF EXITS REQUIRED

_OCCUPANT LOAD (AREA DIVIDED BY LOAD FACTOR)

OCCUPANT LOAD FACTOR, REFER TO CBC TABLE 1004.5

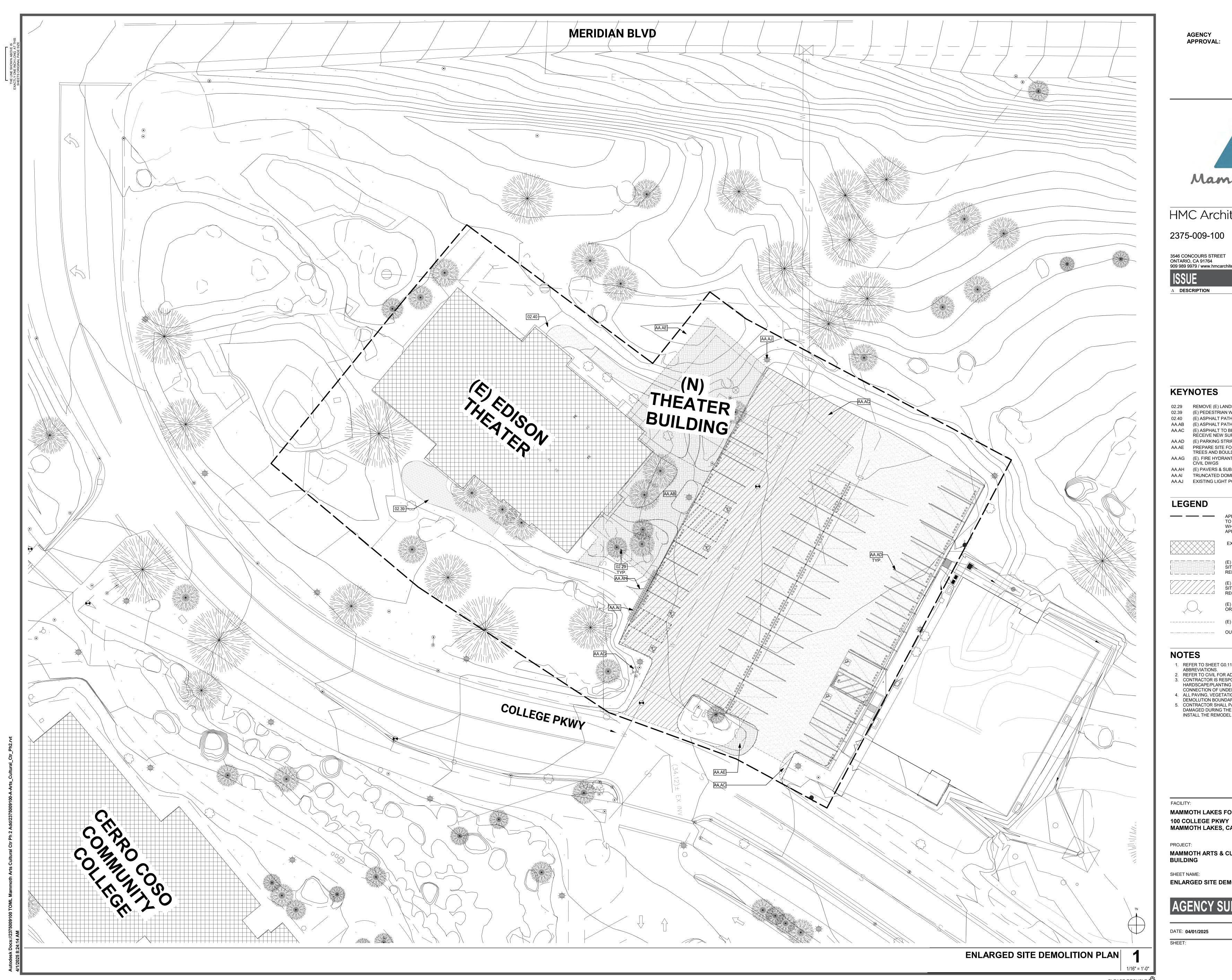


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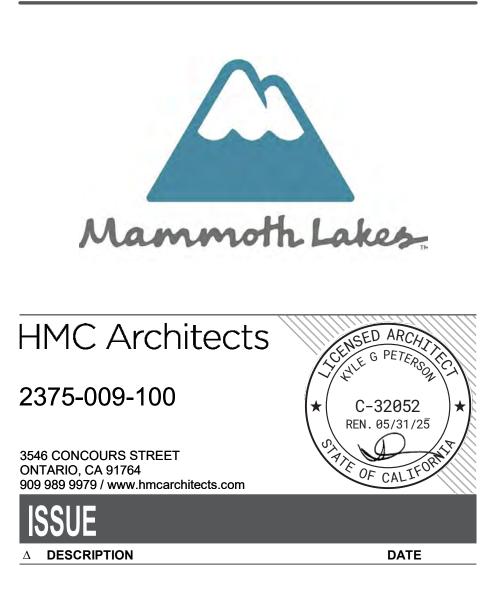






PLEASE RECYCLE





02.29 REMOVE (E) LANDSCAPING 02.39 (E) PEDESTRIAN WALKWAY TO REMAIN 02.40 (E) ASPHALT PATH TO REMAIN, PROTECT IN PLACE AA.AB (E) ASPHALT PATH TO BE DEMOLISHED (E) ASPHALT TO BE DEMOLISHED, PREPARE SURFACE TO RECEIVE NEW SURFACE AND LANDSCAPING AA.AD (E) PARKING STRIPING TO BE REMOVED AA.AE PREPARE SITE FOR NEW BUILDING AND SITE, REMOVE TREES AND BOULDERS, SEE CIVIL DWGS. AA.AG (E). FIRE HYDRANT TO BE REMOVED OR RELOCATED, SEE CIVIL DWGS AA.AH (E) PAVERS & SUBSTRATE TO BE REMOVED AA.AI TRUNCATED DOMES FROM PHASE I TO BE REMOVED. AA.AJ EXISTING LIGHT POLE TO BE RELOCATED | ELECTRICAL APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE. EXISTING BUILDINGS NOT IN SCOPE (E) LANDSCAPE, PAVING, PLANTING AND SITE ELEMENTS TO BE DEMOLISHED, REFER TO CIVIL DWGS (E) ASPHALT PAVING & SUBSTRATE AND SITE ELEMENTS TO BE DEMOLISHED AS REQ'D, REFER TO CIVIL DWGS (E) FIRE HYDRANT TO BE DEMOLISHED OR RELOCATED, SEE CIVIL DRAWINGS (E) SITE TO BE DEMOLISHED OUTLINE OF NEW BUILDING REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS. REFER TO CIVIL FOR ADDITIONAL DEMOLITION SCOPE. CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL HADDOLDE (DLANTING OUTCODE OF UNIT OF WORKLING FOR

HARDSCAPE/PLANTING OUTSIDE OF LIMIT OF WORK LINE FOR CONNECTION OF UNDERGROUND UTILITIES.
ALL PAVING, VEGETATION, UTILITIES, ETC. OUTSIDE OF SCOPE OF DEMOLUTION BOUNDARY SHALL BE PROTECTED IN PLACE 5. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES DAMAGED DURING THE DEMOLUTION PROCESS AS REQUIRED TO INSTALL THE REMODEL WORK

MAMMOTH LAKES FOUNDATION MAMMOTH LAKES, CA 93546

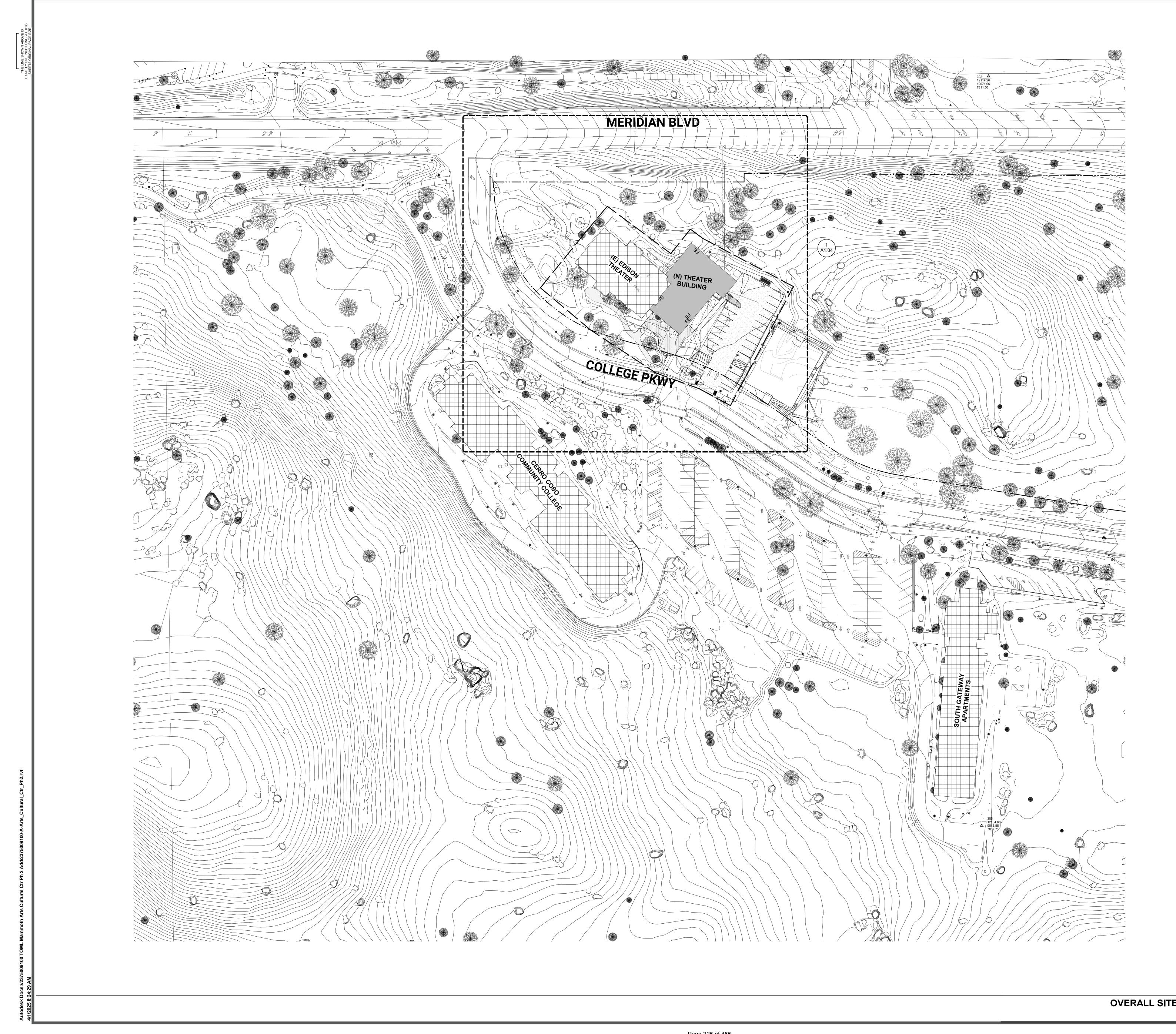
MAMMOTH ARTS & CULTURAL CENTER NEW

ENLARGED SITE DEMOLITION PLAN

AGENCY SUBMITTAL

CLIENT PROJ NO:





ISSUE Δ **DESCRIPTION**

> > $\langle \langle \langle \rangle \rangle$

NOTES REFER T 1. ABBREV REFER T REFER T 3. 4. CONTRAC REPAIR/R OUTSIDE UNDERGF 5. SEE ARCH

FACILITY:

PROJECT: BUILDING

SHEET NAME: OVERALL SITE PLAN



DATE: 04/01/2025 SHEET:

OVERALL SITE PLAN

1" = 50'-0" PLEASE RECYCLE

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CLIENT PROJ NO:

AGENCY SUBMITTAL

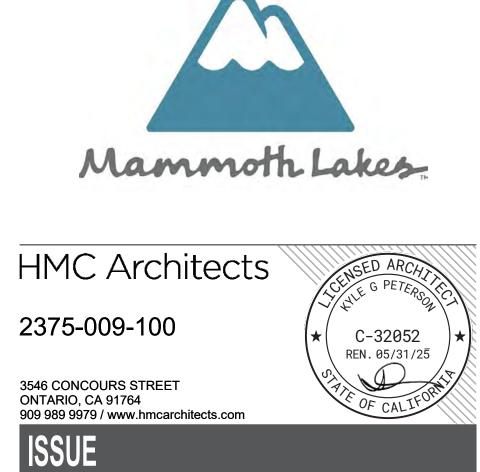
MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

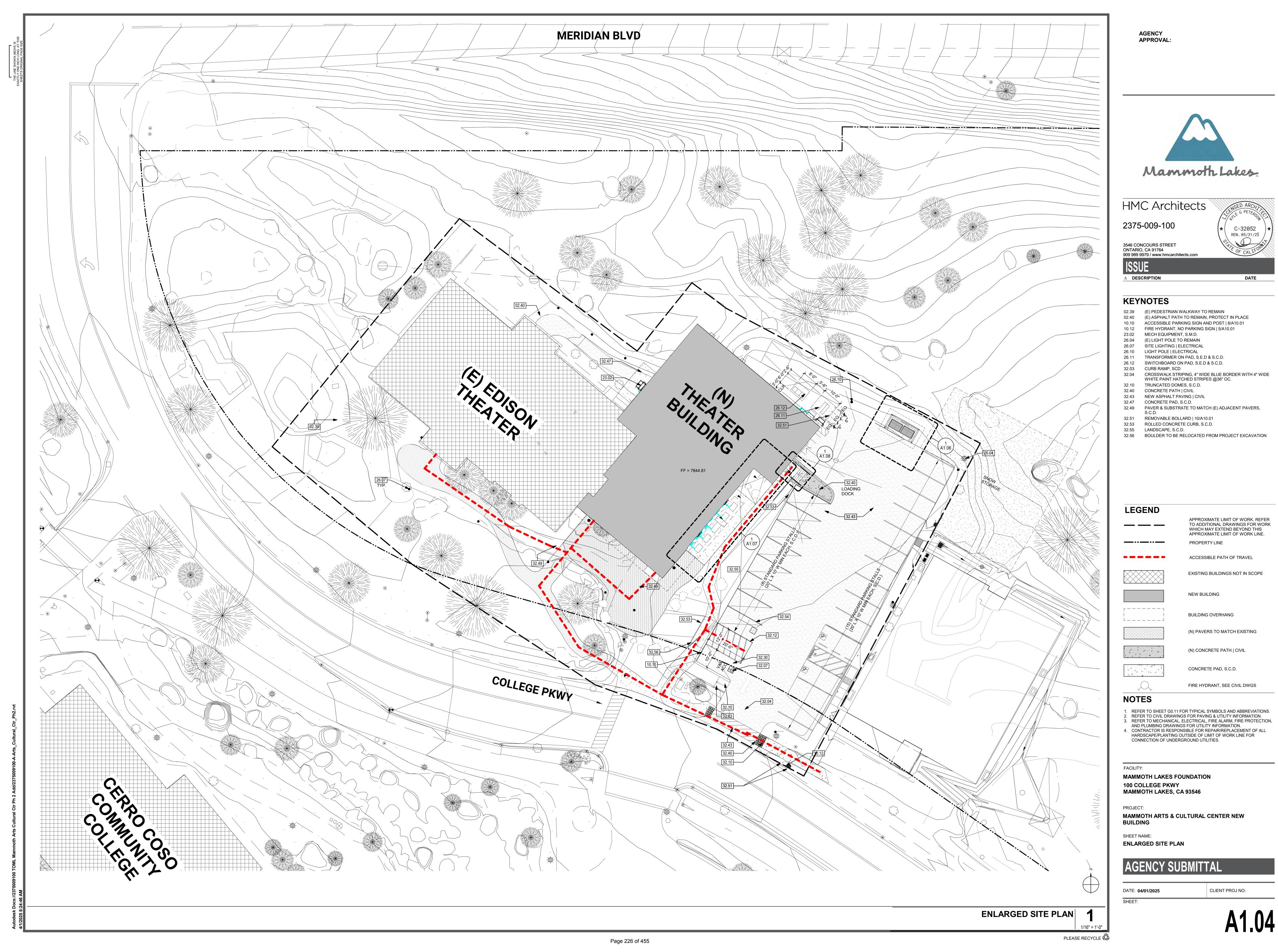
TO SHEET G0.11 FOR TYPICAL SYMBOLS AND /IATIONS. TO CIVIL DRAWINGS FOR PAVING INFORMATION. TO MECHANICAL, ELECTRICAL, AND PLUMBING NGS FOR UTILITY INFORMATION. ACTOR IS RESPONSIBLE FOR	
/REPLACEMENT OF ALL HARDSCAPE/PLANTING E OF LIMIT OFWORK LINE FOR CONNECTION OF GROUND UTILITIES. CHITECTURAL SHEETS A1.04 ENLARGED SITE PLAN	

LEGEND	
<u> </u>	APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORF WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
	PROPERTY LINE
	EXISTING BUILDINGS NOT IN SCOPE
	NEW BUILDING
	FIRE HYDRANT, SEE CIVIL DRAWINGS

OXIMATE LIMIT OF WORK. REFER DITIONAL DRAWINGS FOR WORK H MAY EXTEND BEYOND THIS DXIMATE LIMIT OF WORK LINE.

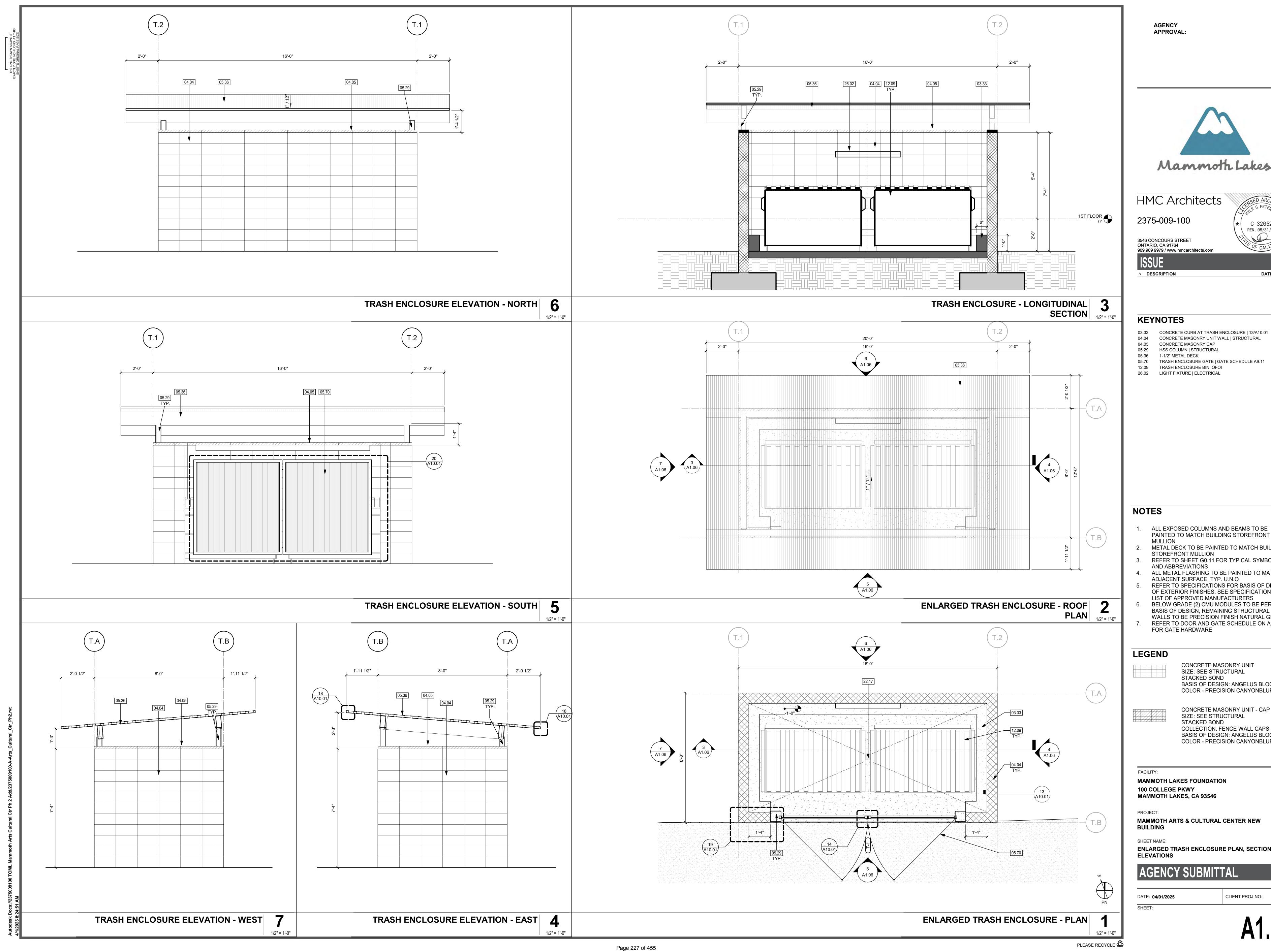








D	
	APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
	PROPERTY LINE
	ACCESSIBLE PATH OF TRAVEL
	EXISTING BUILDINGS NOT IN SCOPE
	NEW BUILDING
	BUILDING OVERHANG
	(N) PAVERS TO MATCH EXISTING
۲	(N) CONCRETE PATH CIVIL
	CONCRETE PAD, S.C.D.





CLIENT PROJ NO:

AGENCY SUBMITTAL

ENLARGED TRASH ENCLOSURE PLAN, SECTIONS & ELEVATIONS

MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

CONCRETE MASONRY UNIT - CAP SIZE: SEE STRUCTURAL STACKED BOND COLLECTION: FENCE WALL CAPS - 8"X2"X16" BASIS OF DESIGN: ANGELUS BLOCK COLOR - PRECISION CANYONBLUFF

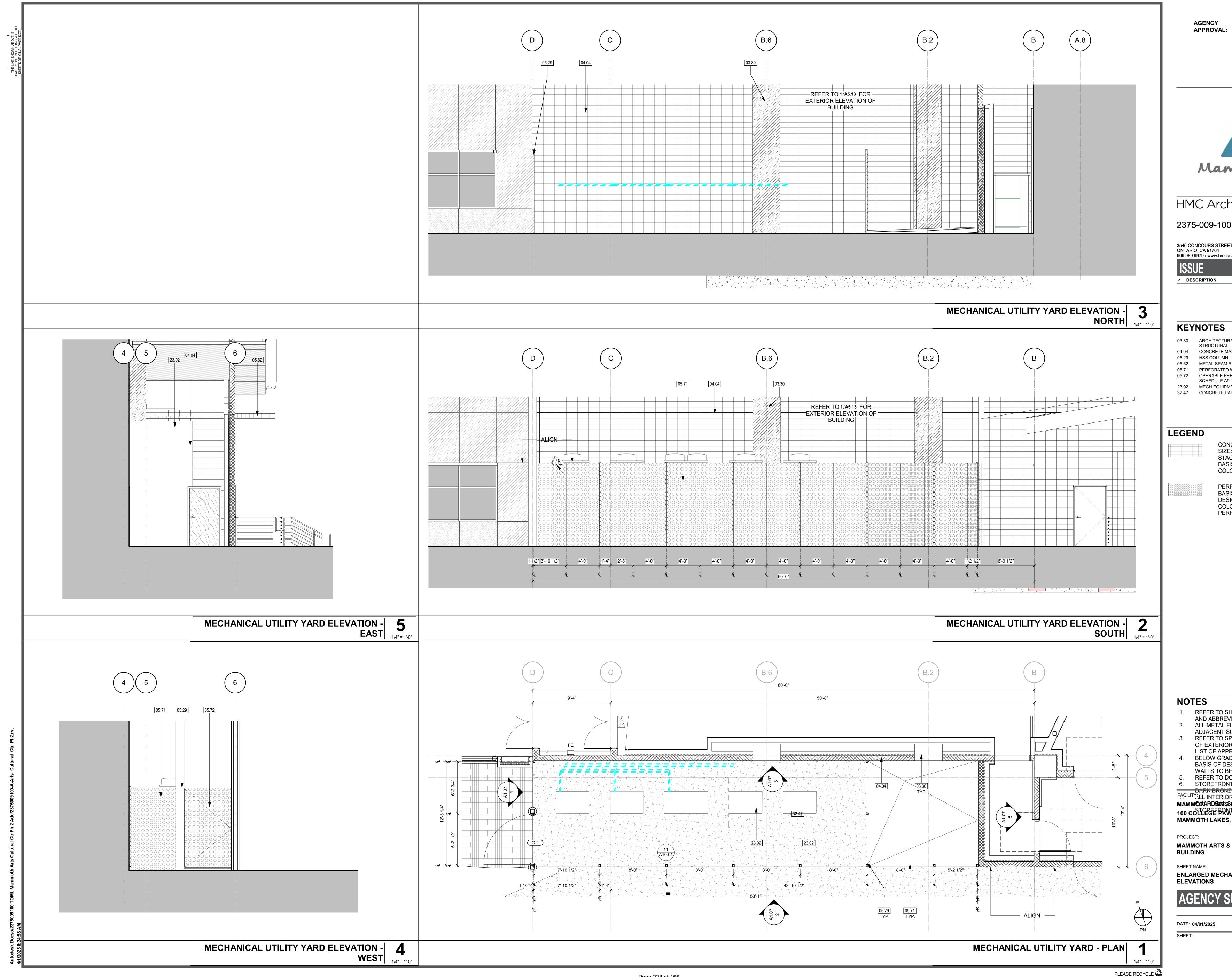
CONCRETE MASONRY UNIT SIZE: SEE STRUCTURAL STACKED BOND BASIS OF DESIGN: ANGELUS BLOCK **COLOR - PRECISION CANYONBLUFF**

METAL DECK TO BE PAINTED TO MATCH BUILDING STOREFRONT MULLION REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS ALL METAL FLASHING TO BE PAINTED TO MATCH ADJACENT SURFACE, TYP. U.N.O REFER TO SPECIFICATIONS FOR BASIS OF DESIGN OF EXTERIOR FINISHES. SEE SPECIFICATIONS FOR LIST OF APPROVED MANUFACTURERS BELOW GRADE (2) CMU MODULES TO BE PER THE BASIS OF DESIGN, REMAINING STRUCTURAL CMU WALLS TO BE PRECISION FINISH NATURAL GRAY REFER TO DOOR AND GATE SCHEDULE ON A9.11 FOR GATE HARDWARE

CONCRETE MASONRY CAP HSS COLUMN | STRUCTURAL 1-1/2" METAL DECK TRASH ENCLOSURE GATE | GATE SCHEDULE A9.11 TRASH ENCLOSURE BIN; OFOI LIGHT FIXTURE | ELECTRICAL

C-32052 REN. 05/31/25 909 989 9979 / www.hmcarchitects.com DATE





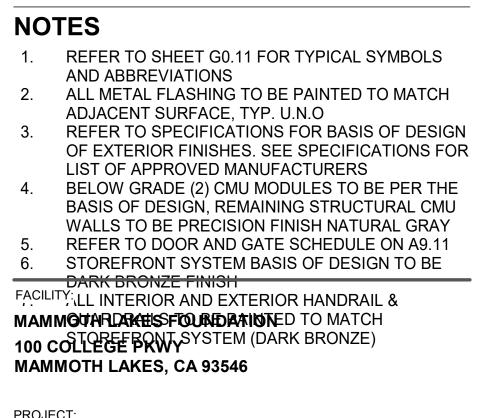




03.30 ARCHITECTURALLY FINISHED CONCRETE COLUMN | STRUCTURAL CONCRETE MASONRY UNIT WALL | STRUCTURAL HSS COLUMN | STRUCTURAL METAL SEAM ROOF | ROOF PLAN PERFORATED WEATHERED STEEL PANEL OPERABLE PERFORATED WEATHERED STEEL PANEL | GATE SCHEDULE A9.11 MECH EQUIPMENT, S.M.D. 32.47 CONCRETE PAD, S.C.D.

> CONCRETE MASONRY UNIT SIZE:8X16 STACKED BOND BASIS OF DESIGN: ANGELUS BLOCK COLOR - PRECISION CANYONBLUFF

PERFORATED WEATHERED STEEL PANEL BASIS OF DESIGN: DISSIMILAR METAL DESIGN COLOR: WEATHERING STEEL #601 PERFORATION SIZE: 3/16"



MAMMOTH ARTS & CULTURAL CENTER NEW

ENLARGED MECHANICAL UTILITY YARD PLAN &

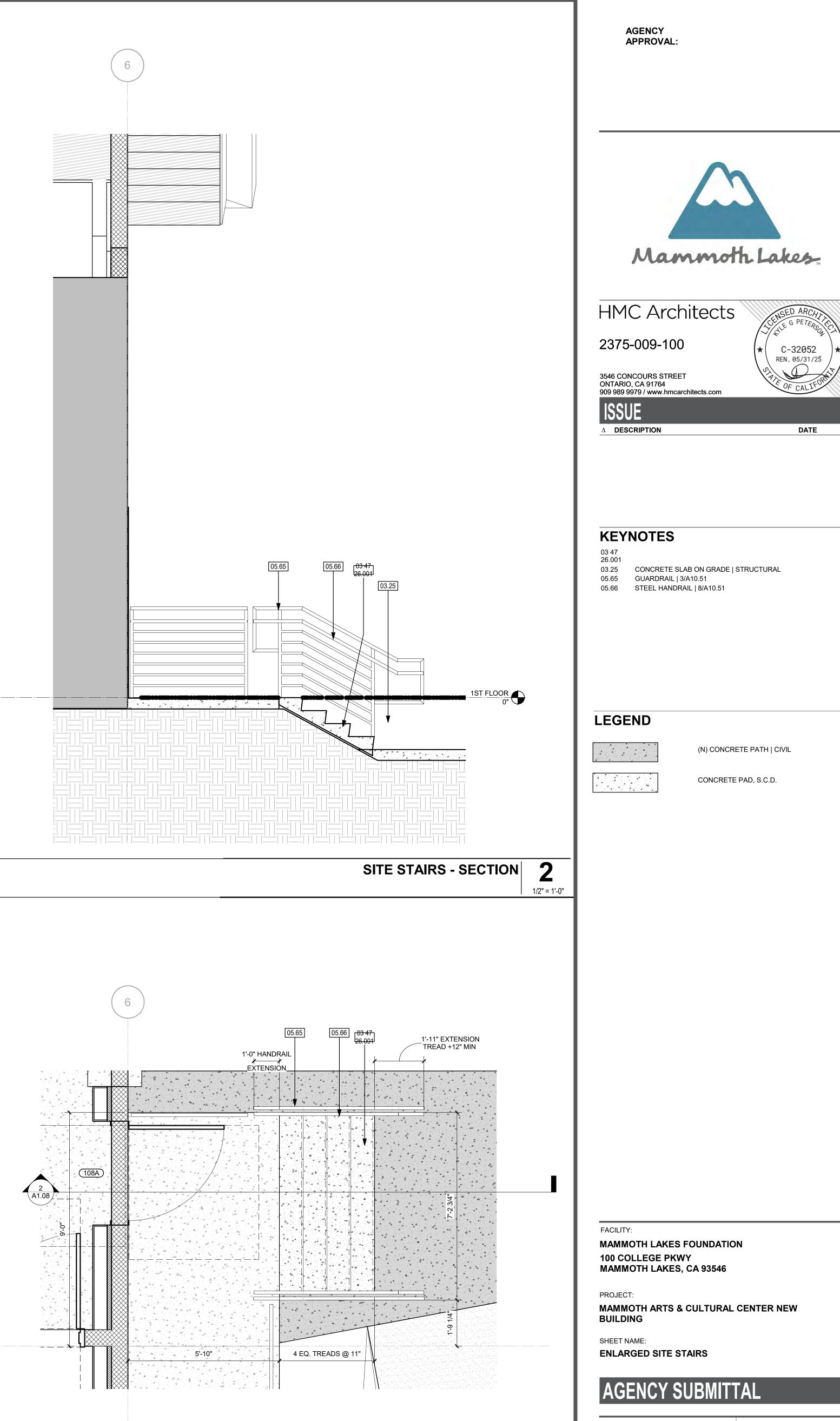
AGENCY SUBMITTAL

CLIENT PROJ NO:





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ENLARGED SITE STAIRS - PLAN

PLEASE RECYCLE

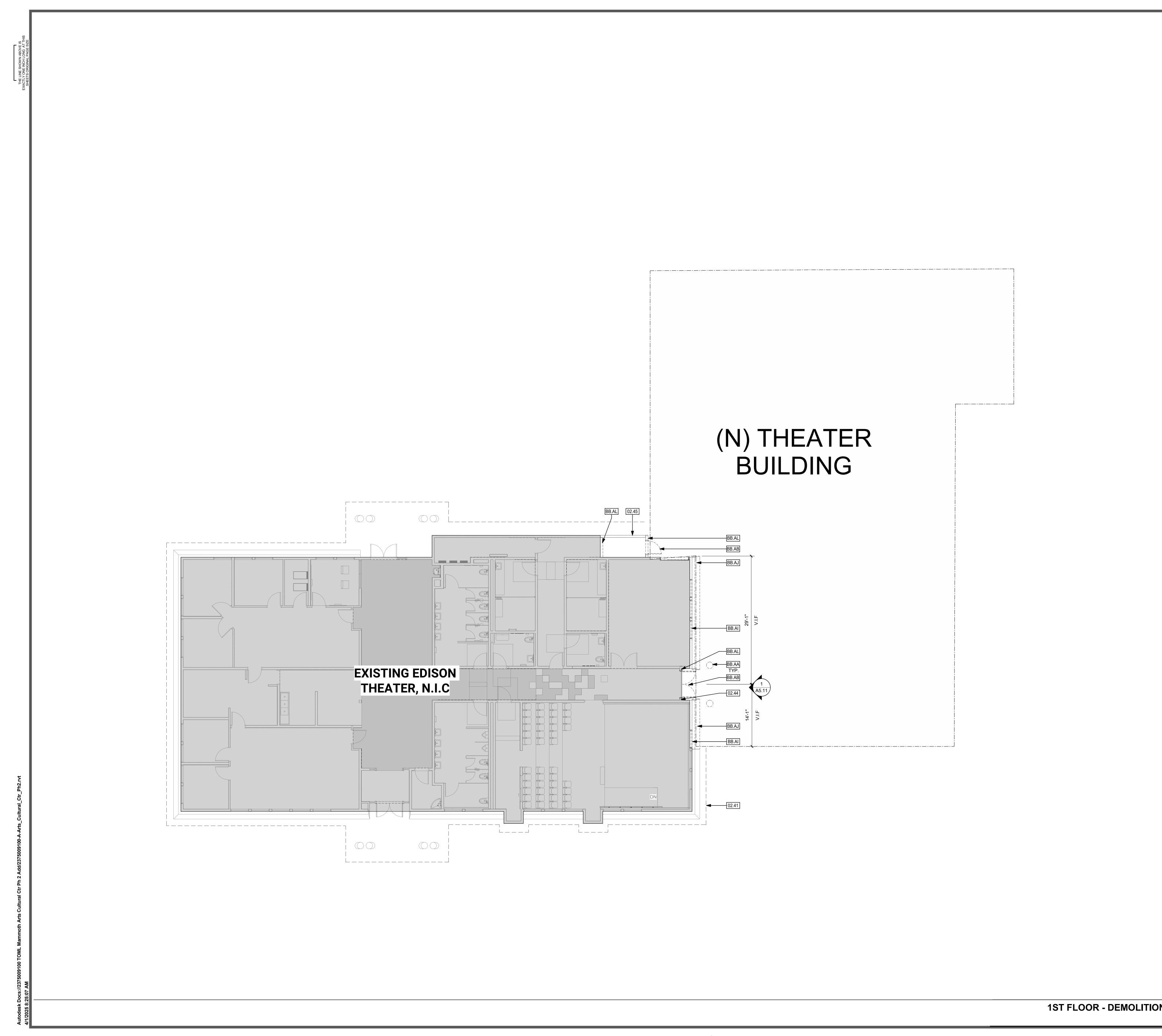
1/2" = 1'-0"



DATE: 04/01/2025

SHEET:

CLIENT PROJ NO:





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NOTES

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6.

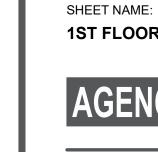
7.

8.

FACILITY:

PROJECT:

BUILDING



DATE: 04/01/2025 SHEET:

1ST FLOOR - DEMOLITION PLAN 1

PLEASE RECYCLE

1/8" = 1'-0"

TN

PN



CLIENT PROJ NO:

AGENCY SUBMITTAL

1ST FLOOR - DEMOLITION PLAN

MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

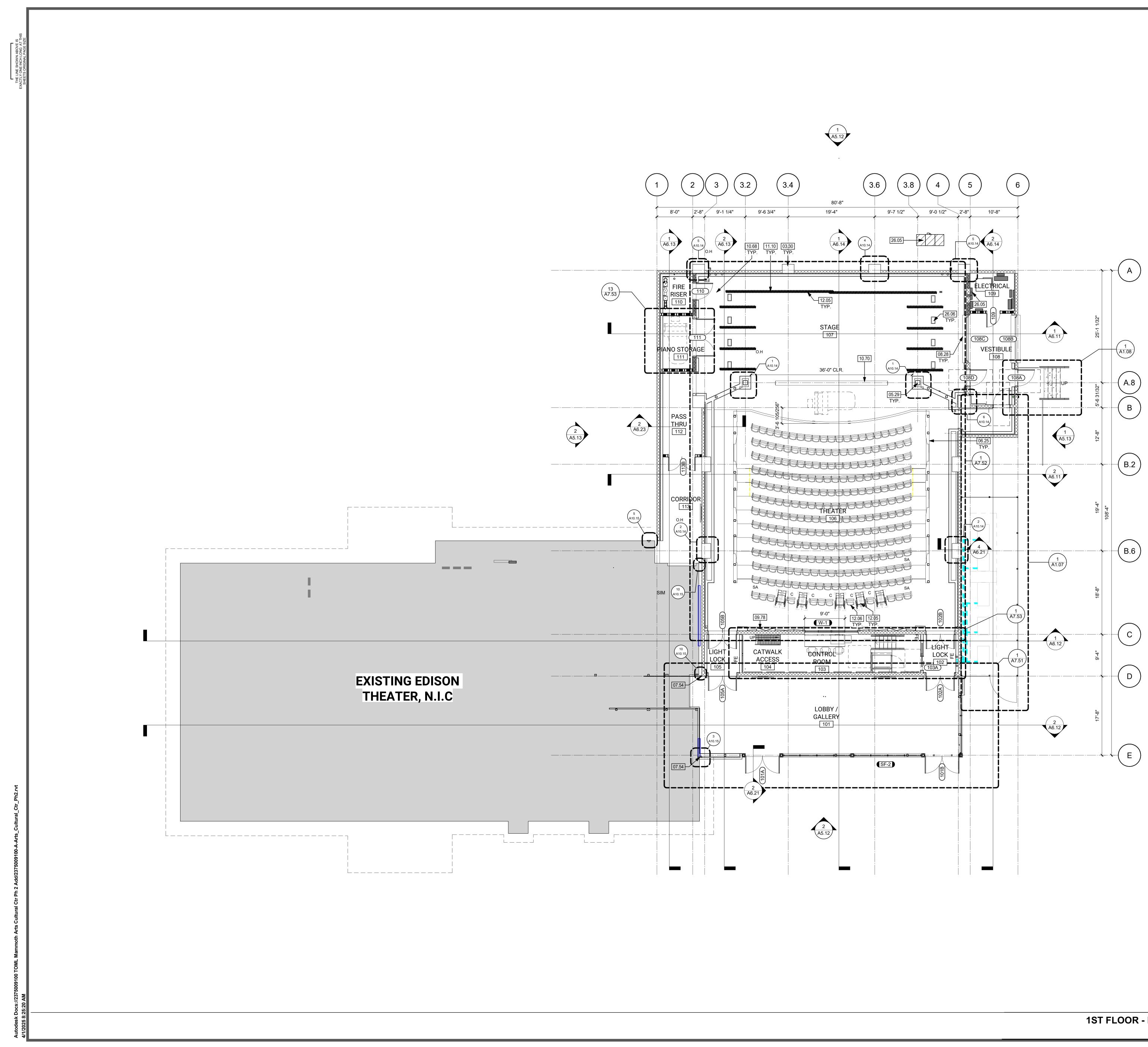
RECORD DRAWINGS. REPORT TO ARCHITECT FOR ANY DISCREPANCIES. PROVIDE SAFETY BARRIERS AND PROTECTION AS REQUIRED BY THE CONTRACTOR FOR CONSTRUCTION AND APPLICABLE REGULATORY AGENCIES CONTRACTOR SHALL REPORT ANY UNKNOWN ACTIVE UTILITIES TO OWNER DAMAGE TO EXISTING STRUCTURE, UTILITIES, AND OTHER ITEMS WHICH ARE CAUSED BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION MAINTAIN WEATHERTIGHT CONDITION OF ROOF THROUGHOUT DURATION OF CONSTRUCTION

1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS. REFER TO ALL OTHER DISCIPLINES FOR ADDITIONAL DEMOLITION SCOPE. CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL HARDSCAPE/PLANTING OUTSIDE OF LIMIT OF WORK LINE FOR CONNECTION OF UNDERGROUND UTILITIES. PATCH AND REPAIR EXISTING BLDG AS NEEDED FOR ADDITION THE DEMOLITION DRAWINGS ARE BASED ON AVAILABLE

PORTION OF (E) BUILDING IN SCOPE TO BE DEMOLISHED. OUTLINE OF NEW THEATER EXISTING BUILDING NOT IN SCOPE

KEYNOTES BB.AA DEMOLISH (E) COLUMNS BB.AB DEMOLISH (E) DOORS BB.AI DEMOLISH (E) WINDOW BB.AJ DEMOLISH (E) STONE VENEER BB.AL DEMOLISH (E) WALL







ONTARIO, CA 91764 ISSUE Δ **DESCRIPTION**

KEYNOTES

3.30	ARCH
	STRU
5.29	HSS (
6.25	CUST
7.52	PATC
	EXIS
7.54	SEISI
8.28	ROLL
9.78	CUST
0.66	LOUE
0.68	PIPE
0.70	PROJ
0.72	LOUE
1.10	THEA
2.05	ADA-
2.06	ADA-
6.05	ELEC
~ ~ ~	

LEGEND

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1.	REFER T
	OVERALL
	PARTIAL
2.	REFER T
	A313 FOF
3.	REFER T
	ASSEMB
4.	REFER T
5.	REFER T
6.	REFER T
_	WALL TY
7.	REFER T
	FOR LOC
	ELECTRO
8.	SEE PLU
•	ACCESS
9.	SEE MEC
40	ASSOCIA
10.	FOR SIG
	A2.43
11.	ALL EXTE
	MEET A N
40	EXTERIO
12.	INTERIO
13.	40.
13.	ALL STEE
	STEEL - (BEAMS, (
	SCREEN
FACI	LITY:
N.4. A A	

100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

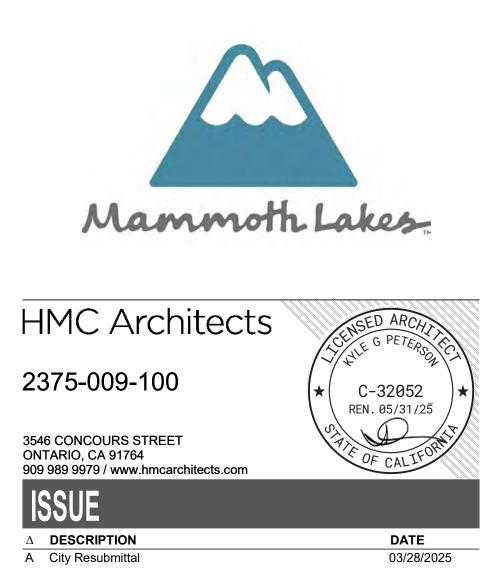
1ST FLOOR - FLOOR PLAN

PLEASE RECYCLE

1/8" = 1'-0"

PN





- 03.30 ARCHITECTURALLY FINISHED CONCRETE COLUMN | UCTURAL
 - COLUMN | STRUCTURAL
 - STOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTING CH, REPAIR AND INFILL EXTERIOR WALL TO MATCH
 - TING BUILDING MIC SEPARATION & COVER
 - L UP DOOR | DOOR SCHEDULE
 - TOM ACOUSTIC VENEERED EXTRUSIONS JDSPEAKER | AV
 - E BATTEN | AV
 - DJECTION SCREEN | AV DSPEAKER | AV
 - ATRICAL RIGGING AND DRAPES | AUDIO VISUAL
 - -COMPLIANT SEAT -COMPLIANT COMPANION SEAT
- CTRICAL EQUIPMENT | ELECTRICAL 26.06 THEATER LIGHT FIXTURE | ELECTRICAL & AV

EXISTING PARTITION TO REMAIN WALL / PARTITION | A2.15 CMU WALL | STRUCTURAL 1 HOUR FIRE BARRIER STOREFRONT/WINDOW TAG | A9.21 DOOR TAG | A9.11 SEMI-RECESSED FIRE EXTINGUISHER | A10.91 ROOF LINE ABOVE

EXISTING BUILDING NOT IN SCOPE

1. REFER TO ENLARGED PLANS FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PLANS. TO REFLECTED CEILING PLANS ON A3.11, A3.12, AND OR CEILING LAYOUT AND MATERIALS INFORMATION. TO WALL TYPES DETAIL SHEETS A10.11 FOR WALL

LY DETAILS. TO DOOR SCHEDULE ON A9.11 TO STOREFRONT ELEVATIONS ON A9.21 TO DIMENSION PLAN ON A2.15, A2.16 AND A2.17 FOR YPES

TO INTERIOR ELEVATIONS AND ELECTRICAL PLANS OCATION AND MOUNTING AV AND RELATED ONIC EQUIPMENT. UMBING AND ELECTRICAL DRAWINGS FOR FIXTURES, SORIES AND ASSOCIATED PIPING & CONDUITS. CHANICAL DRAWINGS FOR HVAC EQUIPMENT AND TED DISTRIBUTION SYSTEMS. SNAGE PLANS REFER TO SHEETS A2.41, A2.42, AND

FERIOR WALL AND ROOF-CEILING ASSEMBLIES SHALL MINIMUM COMPOSITE STC RATING OF 45, WITH IOR WINDOWS MEETING A MINIMUM STC OF 40. OR WALL ASSEMBLIES SHALL MEET A MINIMUM STC OF

EEL THAT IS EXPOSED TO VIEW SHALL BE ERED ARCHITECTURALLY EXPOSED STRUCTURAL CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED TO , COLUMNS, AND SUPPORTS FOR METAL PANEL NS AND CANOPIES

MAMMOTH LAKES FOUNDATION MAMMOTH LAKES, CA 93546

MAMMOTH ARTS & CULTURAL CENTER NEW

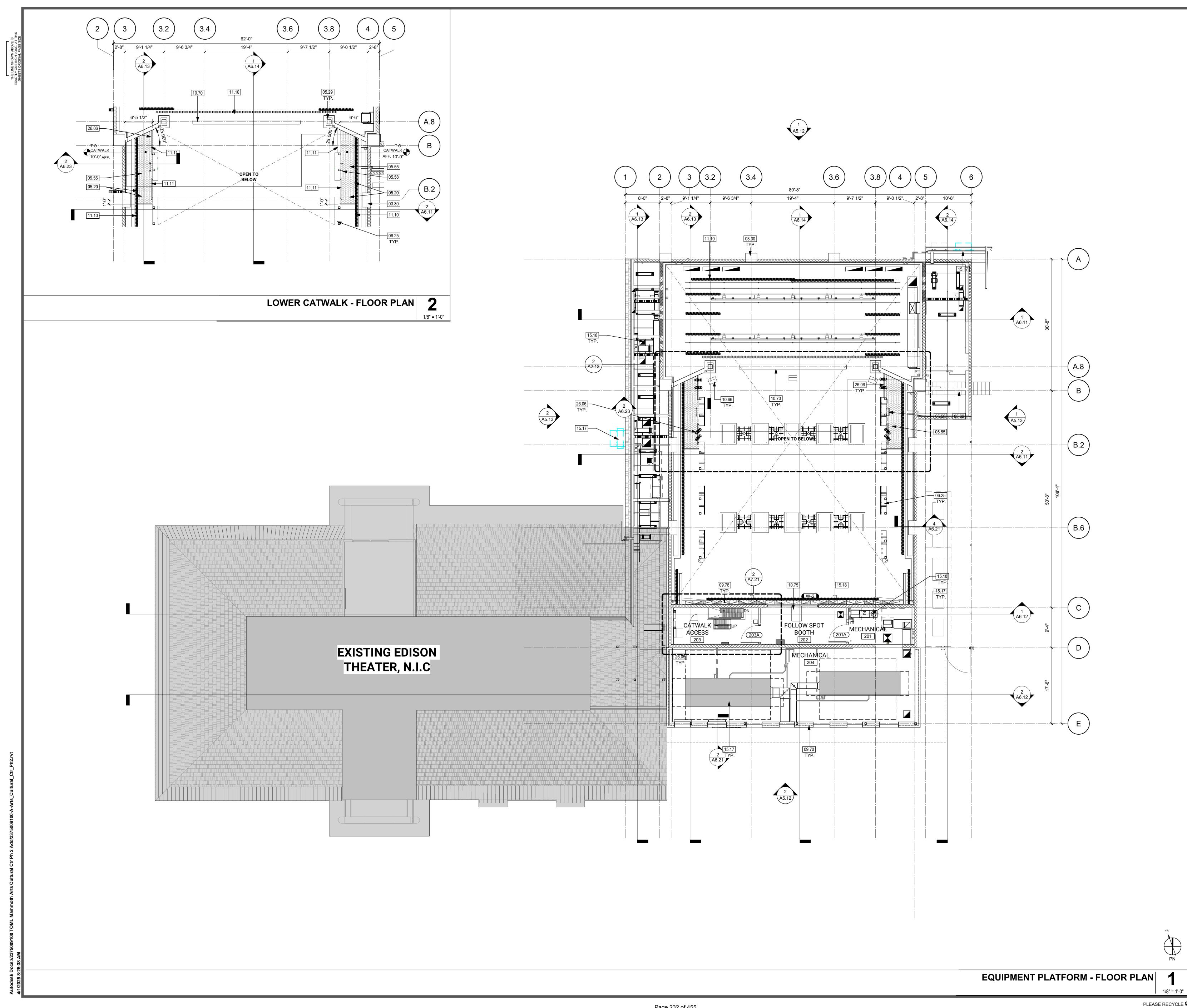
1ST FLOOR - FLOOR PLAN

AGENCY SUBMITTAL

CLIENT PROJ NO:

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3546 CONCOURS STREET ONTARIO, CA 91764 ISSUE

KEYNOTES

3.30	ARCH STRU
5.20	STEE 1/S5.4
5.29	HSS (
5.55	CATV
5.58	ACCE
5.62	META
6.25	CUST
9.70	WEA
9.78	CUST
0.66	LOUE
0.70	PROJ
0.75	PROJ
1.10	THEA
1.11	LIGH
5.17	MECH
5.18	MECH
0.00	

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NC	DTES
1.	REFER TO
	OVERALL PARTIAL F
2.	REFER TO
3.	A313 FOR REFER TO
	REFER TO ASSEMBL REFER TO REFER TO
4. 5.	REFER TO
6.	REFER TC
7.	WALL TYP REFER TC
	FOR LOCA
8.	SEE PLUM
9.	ACCESSO SEE MECH
	ASSOCIAT
10.	FOR SIGN A2.43
11.	ALL EXTE
	MEET A M EXTERIOF
12.	INTERIOR
	40.

SCREENS AND CANOPIES FACILITY:

100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME: PLAN



DATE: 04/01/2025 SHEET:

PLEASE RECYCLE

PN





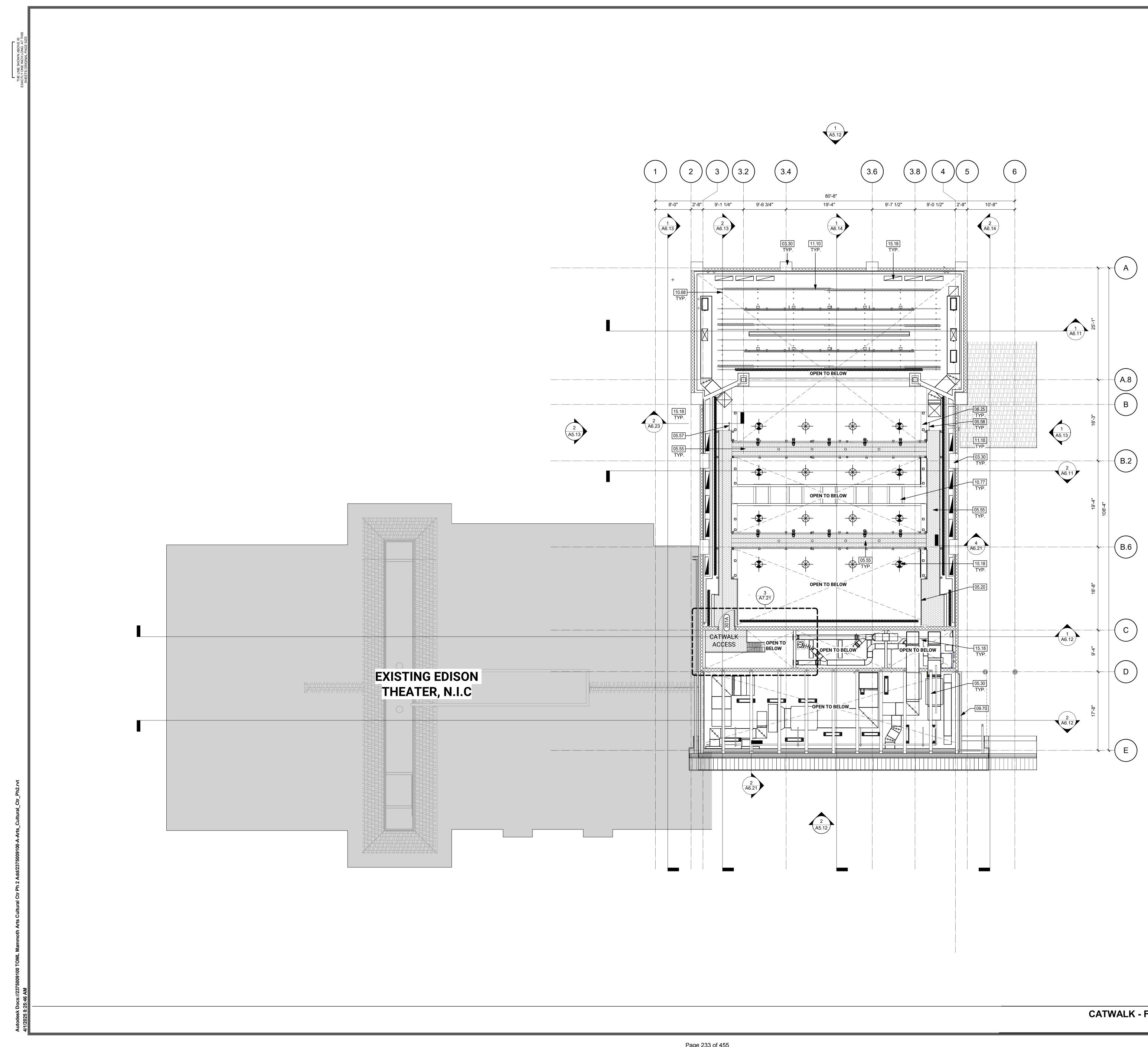
- HITECTURALLY FINISHED CONCRETE COLUMN | UCTURAL
- EL GUARDRAIL AT CATWALK REFER TO STRUCTURAL
- COLUMN | STRUCTURAL
- WALK SYSTEM | 6/A10.51 & STRUCTURAL SHEET S5.45 ESS LADDER TO ROOF | 11/A10.42
- AL SEAM ROOF | ROOF PLAN
- TOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTING THERING STEEL WALL CONSTRUCTION STOM ACOUSTIC VENEERED EXTRUSIONS
- DSPEAKER | AV
- JECTION SCREEN | AV
- JECTOR | ELECTRICAL & AV ATRICAL RIGGING AND DRAPES | AUDIO VISUAL
- HT LADDER | AUDIO VISUAL / THEATER
- HANICAL EQUIPMENT | MECHANICAL
- HANICAL DUCT | MECHANICAL 26.06 THEATER LIGHT FIXTURE | ELECTRICAL & AV

- EXISTING PARTITION TO REMAIN WALL / PARTITION | A2.16 CMU WALL | STRUCTURAL WALL TAG | A10.11 STOREFRONT/WINDOW TAG | A9.21 DOOR TAG | A9.11 ROOF LINE ABOVE ROOF BELOW | A4.11 EXISTING BUILDING NOT IN SCOPE
- TO ENLARGED PLANS FOR MORE INFORMATION. L PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PLANS. TO REFLECTED CEILING PLANS ON A3.11, A3.12, AND R CEILING LAYOUT AND MATERIALS INFORMATION. O WALL TYPES DETAIL SHEETS A10.11 FOR WALL LY DETAILS.
- O DOOR SCHEDULE ON A9.11 TO STOREFRONT ELEVATIONS ON A9.21 TO DIMENSION PLAN ON A2.15, A2.16 AND A2.17 FOR PES
- TO INTERIOR ELEVATIONS AND ELECTRICAL PLANS CATION AND MOUNTING AV AND RELATED ONIC EQUIPMENT. MBING AND ELECTRICAL DRAWINGS FOR FIXTURES,
- ORIES AND ASSOCIATED PIPING & CONDUITS. CHANICAL DRAWINGS FOR HVAC EQUIPMENT AND ATED DISTRIBUTION SYSTEMS. NAGE PLANS REFER TO SHEETS A2.41, A2.42, AND
- ERIOR WALL AND ROOF-CEILING ASSEMBLIES SHALL MINIMUM COMPOSITE STC RATING OF 45, WITH OR WINDOWS MEETING A MINIMUM STC OF 40. DR WALL ASSEMBLIES SHALL MEET A MINIMUM STC OF
- 13. ALL STEEL THAT IS EXPOSED TO VIEW SHALL BE CONSIDERED ARCHITECTURALLY EXPOSED STRUCTURAL STEEL - CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED TO BEAMS, COLUMNS, AND SUPPORTS FOR METAL PANEL
- MAMMOTH LAKES FOUNDATION MAMMOTH LAKES, CA 93546
- MAMMOTH ARTS & CULTURAL CENTER NEW
- EQUIPMENT PLATFORM & LOWER CATWALK FLOOR

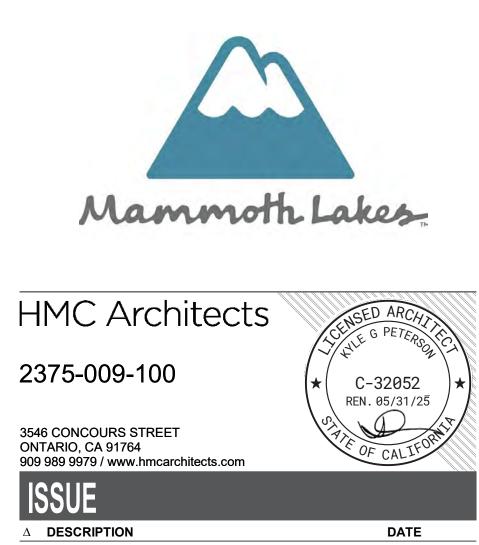
AGENCY SUBMITTAL

CLIENT PROJ NO:









ISSUE

KEYNOTES

03.30	ARCI STRI
05.20	STEE 1/S5.
05.30	BEAN
05.55	CAT
05.57	CAG
05.58	ACC
06.25	CUS
09.70	WEA
10.68	PIPE
10.77	ACO
11.10	THEA



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N	OTES
1.	REFER TO OVERALL
2.	PARTIAL F REFER TO A313 FOR
3.	REFER TO ASSEMBL
4. 5.	REFER TO REFER TO
6. 7.	REFER TO WALL TYP REFER TO
8.	FOR LOCA ELECTRO SEE PLUM
9.	ACCESSC SEE MECI ASSOCIAT
10.	FOR SIGN A2.43
11.	ALL EXTE MEET A M EXTERIOR
12.	INTERIOR 40.
13.	ALL STEE

BEAMS, COLUMNS, AND SUPPORTS FOR METAL PANEL SCREENS AND CANOPIES FACILITY:

PROJECT:

BUILDING SHEET NAME:

DATE: 04/01/2025 SHEET:





PN

1/8" = 1'-0"



- CHITECTURALLY FINISHED CONCRETE COLUMN | RUCTURAL EEL GUARDRAIL AT CATWALK REFER TO STRUCTURAL
- .45 AM | STRUCTURAL
- TWALK SYSTEM | 6/A10.51 & STRUCTURAL SHEET S5.45 GED ACCESS LADDER TO ROOF | 11/A10.42
- CESS LADDER TO ROOF | 11/A10.42 STOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTING ATHERING STEEL WALL CONSTRUCTION
- E BATTEN | AV OUSTICAL REFLECTOR - REFER TO 2/A10.61 HEATRICAL RIGGING AND DRAPES | AUDIO VISUAL
- 15.18 MECHANICAL DUCT | MECHANICAL

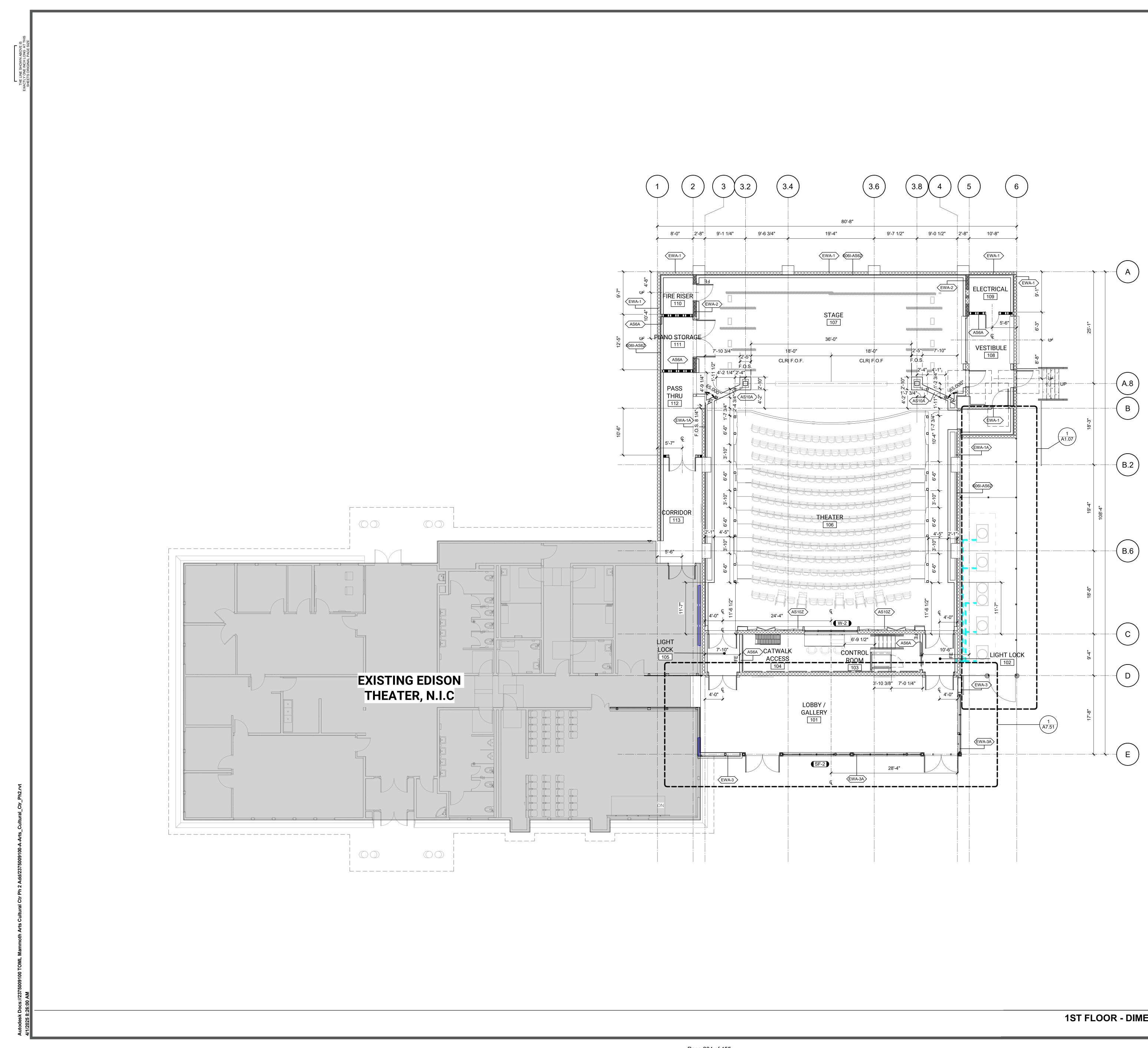
- EXISTING PARTITION TO REMAIN WALL / PARTITION | A2.16 CMU WALL | STRUCTURAL WALL TAG | A10.11 STOREFRONT/WINDOW TAG | A9.21 DOOR TAG | A9.11 ROOF LINE ABOVE ROOF BELOW | A4.11 EXISTING BUILDING NOT IN SCOPE
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- LY DETAILS. TO DOOR SCHEDULE ON A9.11 TO STOREFRONT ELEVATIONS ON A9.21 TO DIMENSION PLAN ON A2.15, A2.16 AND A2.17 FOR PES
- TO INTERIOR ELEVATIONS AND ELECTRICAL PLANS CATION AND MOUNTING AV AND RELATED ONIC EQUIPMENT.
- UMBING AND ELECTRICAL DRAWINGS FOR FIXTURES, SORIES AND ASSOCIATED PIPING & CONDUITS. ECHANICAL DRAWINGS FOR HVAC EQUIPMENT AND TED DISTRIBUTION SYSTEMS. SNAGE PLANS REFER TO SHEETS A2.41, A2.42, AND
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- R WALL ASSEMBLIES SHALL MEET A MINIMUM STC OF EEL THAT IS EXPOSED TO VIEW SHALL BE CONSIDERED ARCHITECTURALLY EXPOSED STRUCTURAL STEEL - CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED TO
- MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY
- MAMMOTH LAKES, CA 93546
- MAMMOTH ARTS & CULTURAL CENTER NEW

UPPER CATWALK - FLOOR PLAN

AGENCY SUBMITTAL

CLIENT PROJ NO:

14





ISSUE

LEGEND

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NC	DTES
1.	ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
2.	WALLS ARE TO BE TYPE AS6Z, UNO.
3.	REFER TO FLOOR PLANS ON A2.12 AND A2.13 FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO
	PROVIDE CONTEXT FOR PARTIAL PLANS.
4.	REFER TO FLOOR PLANS ON A2.12 AND A2.13 FOR
	ADDITIONAL CLEAR DIMENSIONS AND ACCESSIBILITY
	CLEARANCE REQUIREMENTS.
5.	REFER TO DOOR SCHEDULE ON A9.11.
S.	REFER TO STOREFRONT ELEVATIONS ON A9.21.
7.	REFER TO EXTERIOR ELEVATIONS ON A5.12 AND A5.13 FOR FINISHES.
3.	ALL EXPOSED CONCRETE CURBS TO BE
	ARCHITECTURALLY FINISHED.
9.	ALL STEEL THAT IS EXPOSED TO VIEW SHALL BE
	CONSIDERED ARCHITECTURALLY EXPOSED STRUCTURAL
	STEEL - CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED
	TO BEAMS, COLUMNS, AND SUPPORTS FOR METAL PANEL

FACILITY: 100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

1ST FLOOR - DIMENSION PLAN

PLEASE RECYCLE

PN

1/8" = 1'-0"



CLIENT PROJ NO:

AGENCY SUBMITTAL

1ST FLOOR - DIMENSION PLAN

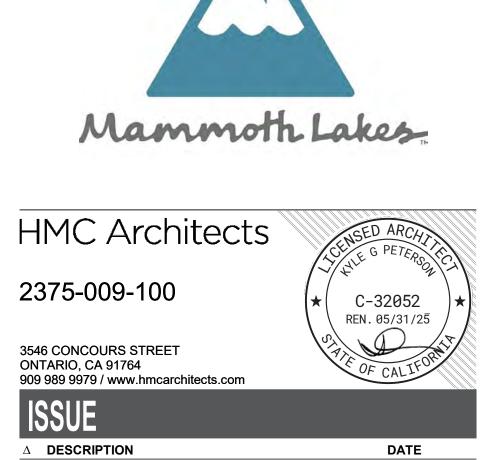
MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES, CA 93546

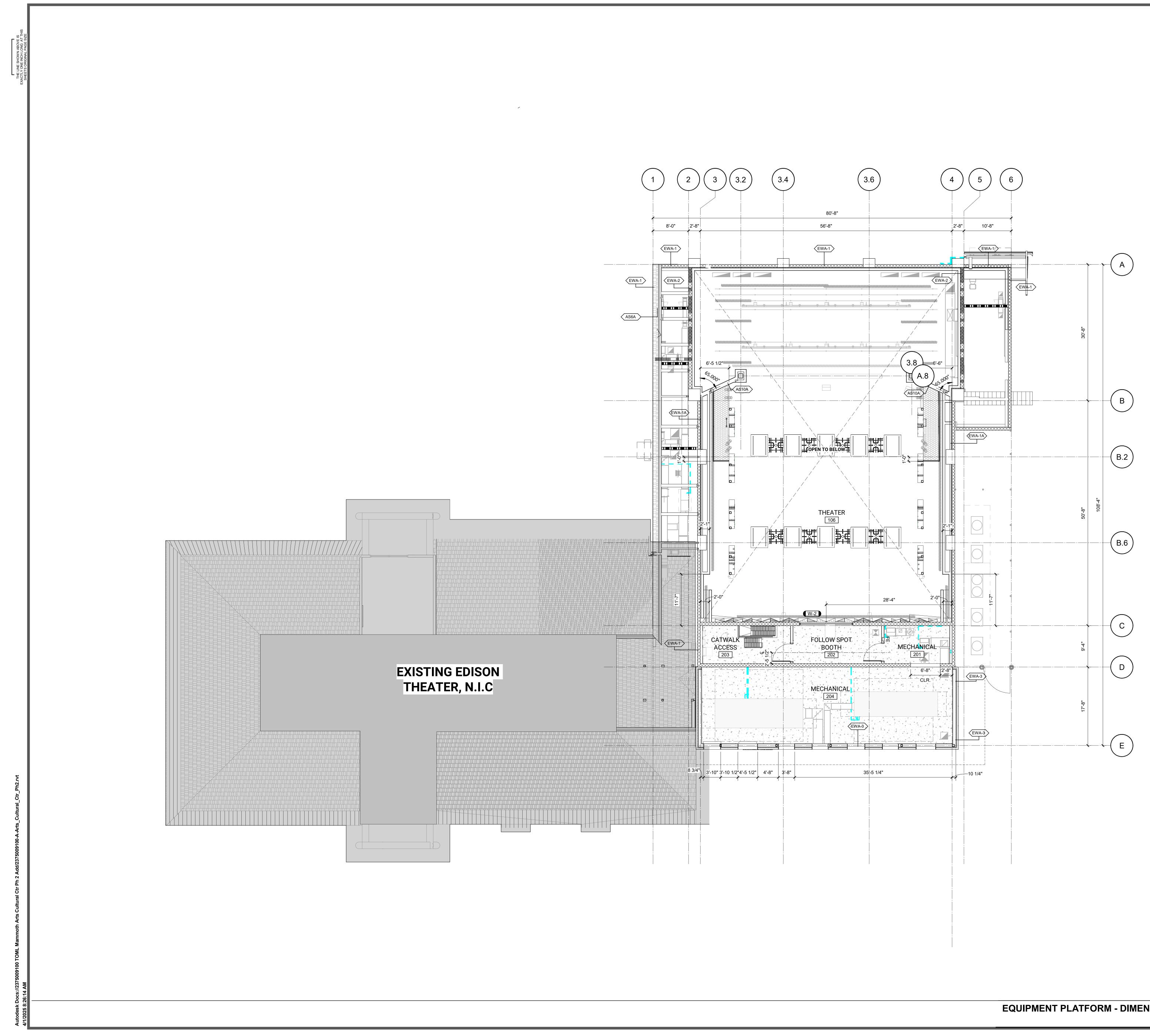
MAMMOTH LAKES FOUNDATION

RWISE. S ARE TO BE TYPE AS6Z, UNO. R TO FLOOR PLANS ON A2.12 AND A2.13 FOR MORE MATION. OVERALL PLANS ARE INTENDED TO IDE CONTEXT FOR PARTIAL PLANS. TO FLOOR PLANS ON A2.12 AND A2.13 FOR ONAL CLEAR DIMENSIONS AND ACCESSIBILITY ANCE REQUIREMENTS. R TO DOOR SCHEDULE ON A9.11. R TO STOREFRONT ELEVATIONS ON A9.21. R TO EXTERIOR ELEVATIONS ON A5.12 AND A5.13 INISHES. KPOSED CONCRETE CURBS TO BE TECTURALLY FINISHED. TEEL THAT IS EXPOSED TO VIEW SHALL BE IDERED ARCHITECTURALLY EXPOSED STRUCTURAL - CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED AMS, COLUMNS, AND SUPPORTS FOR METAL PANEL SCREENS AND CANOPIES

EXISTING PARTITION TO REMAIN WALL / PARTITION 1-HR FIRE BARRIER CMU WALL CMU WALL (1 HOUR FIRE RATED), SEE SHEET A2.15 & A2.16; SEE DETAIL 10/A10.14 FOR HEAD OF WALL STOREFRONT TAG, REFER TO A9.21 WALL TAG, REFER TO A10.11 ROOF LINE ABOVE EXISTING BUILDING NOT IN SCOPE







3546 CONCOURS STREET ONTARIO, CA 91764 ISSUE

 Δ **DESCRIPTION**

LEGEND

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NC	DTES
1.	ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
2.	WALLS ARE TO BE TYPE AS6Z, UNO.
3.	REFER TO FLOOR PLANS ON A2.12 AND A2.13 FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS.
4.	REFER TO FLOOR PLANS ON A2.12 AND A2.13 FOR ADDITIONAL CLEAR DIMENSIONS AND ACCESSIBILITY CLEARANCE REQUIREMENTS.
5.	REFER TO DOOR SCHEDULE ON A9.11.
б.	REFER TO STOREFRONT ELEVATIONS ON A9.21.
7.	REFER TO EXTERIOR ELEVATIONS ON A5.12 AND A5.13 FOR FINISHES.
8.	ALL EXPOSED CONCRETE CURBS TO BE ARCHITECTURALLY FINISHED.
9.	ALL STEEL THAT IS EXPOSED TO VIEW SHALL BE CONSIDERED ARCHITECTURALLY EXPOSED STRUCTURAL STEEL - CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED TO BEAMS, COLUMNS, AND SUPPORTS FOR METAL PANEL

FACILITY:

PROJECT: BUILDING

SHEET NAME: **EQUIPMENT PLATFORM - DIMENSION PLAN**



DATE: 04/01/2025 SHEET:

EQUIPMENT PLATFORM - DIMENSION PLAN

PLEASE RECYCLE

TN

PN

1/8" = 1'-0"



CLIENT PROJ NO:

AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

MAMMOTH LAKES FOUNDATION

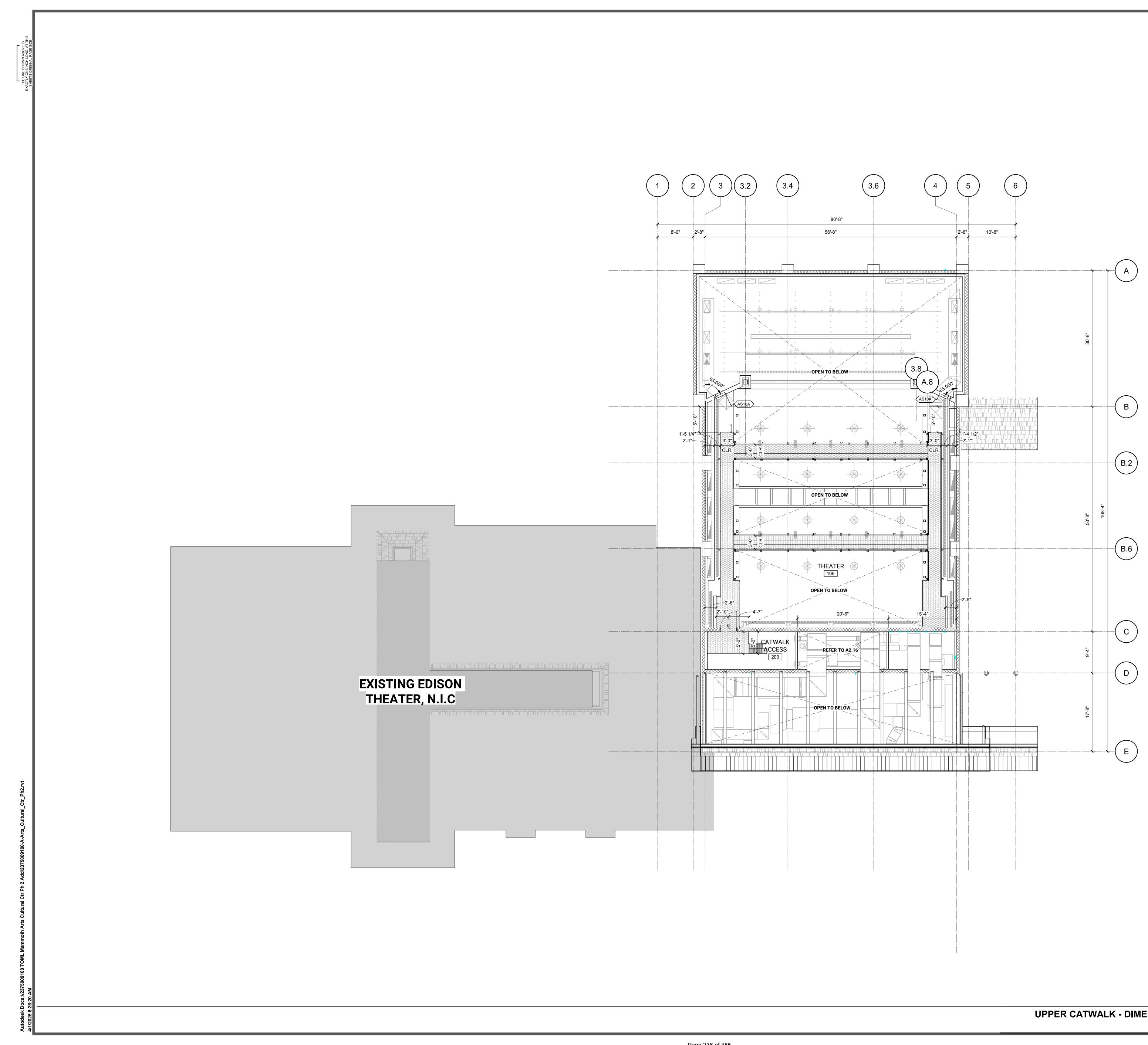
ERWISE. LS ARE TO BE TYPE AS6Z, UNO. ER TO FLOOR PLANS ON A2.12 AND A2.13 FOR MORE ORMATION. OVERALL PLANS ARE INTENDED TO VIDE CONTEXT FOR PARTIAL PLANS. ER TO FLOOR PLANS ON A2.12 AND A2.13 FOR ITIONAL CLEAR DIMENSIONS AND ACCESSIBILITY ARANCE REQUIREMENTS ANCE REQUIREMENTS. R TO DOOR SCHEDULE ON A9.11. R TO STOREFRONT ELEVATIONS ON A9.21. R TO EXTERIOR ELEVATIONS ON A5.12 AND A5.13 FINISHES. XPOSED CONCRETE CURBS TO BE TECTURALLY FINISHED. TEEL THAT IS EXPOSED TO VIEW SHALL BE SIDERED ARCHITECTURALLY EXPOSED STRUCTURAL L - CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED EAMS, COLUMNS, AND SUPPORTS FOR METAL PANEL SCREENS AND CANOPIES

WALL / PARTITION 1-HR FIRE BARRIER CMU WALL CMU WALL (1 HOUR FIRE RATED), SEE SHEET A2.15 & A2.16; SEE DETAIL 10/A10.14 FOR HEAD OF WALL STOREFRONT TAG, REFER TO A9.21 WALL TAG, REFER TO A10.11 ROOF LINE ABOVE EXISTING BUILDING NOT IN SCOPE

EXISTING PARTITION TO REMAIN







ISSUE

LEGEND

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NOTES 4. FOR FINISHES. 8. 9.

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

UPPER CATWALK - DIMENSION PLAN

PLEASE RECYCLE

TN

PN

1/8" = 1'-0"



CLIENT PROJ NO:

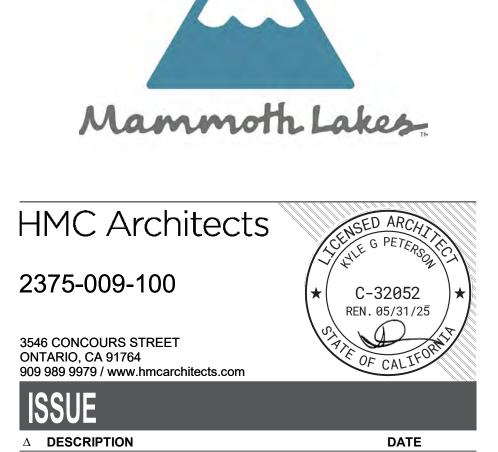
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UPPER CATWALK - DIMENSION PLAN

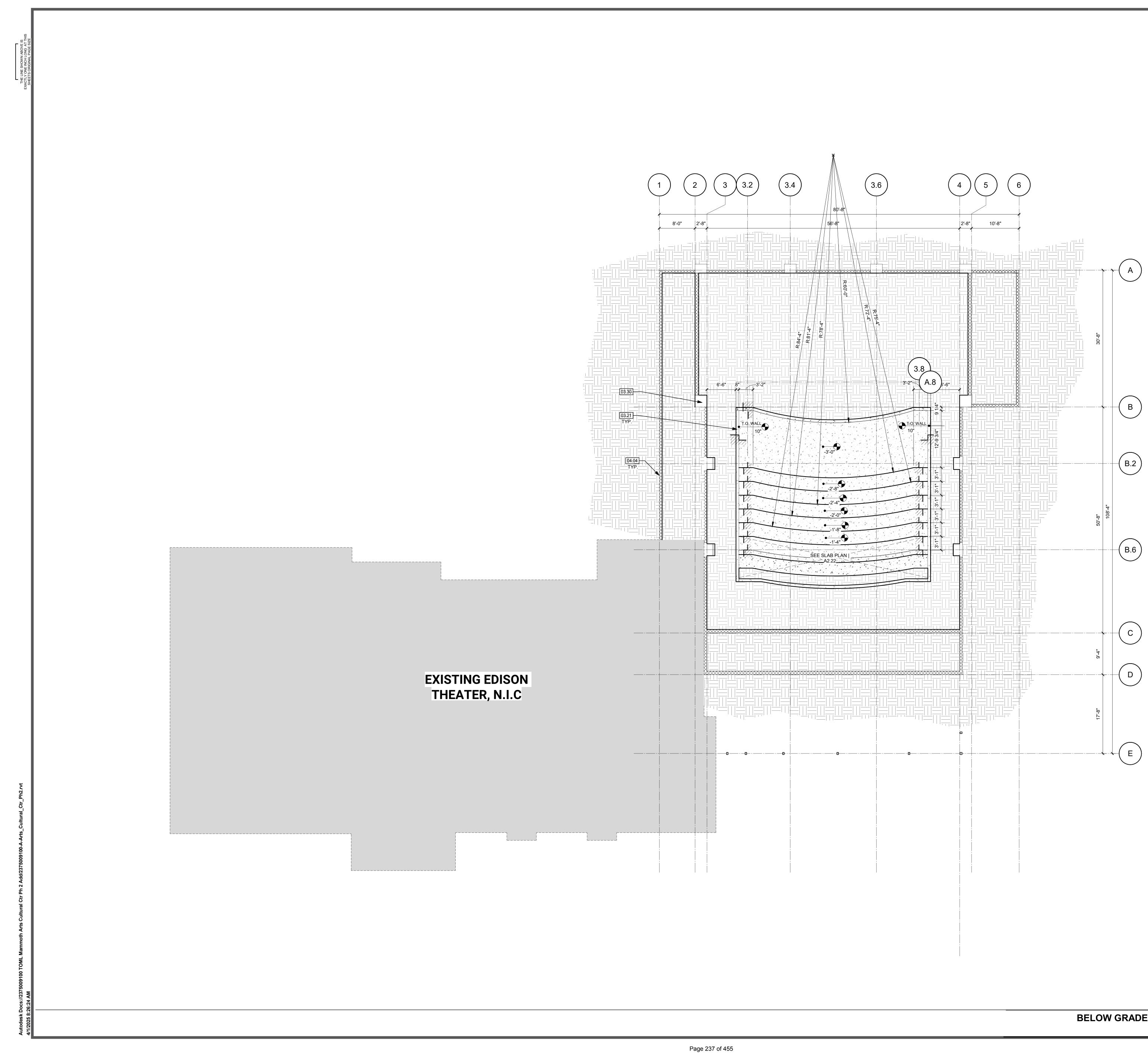
MAMMOTH ARTS & CULTURAL CENTER NEW

1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. WALLS ARE TO BE TYPE AS6Z, UNO. REFER TO FLOOR PLANS ON A2.12 AND A2.13 FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS. REFER TO FLOOR PLANS ON A2.12 AND A2.13 FOR ADDITIONAL CLEAR DIMENSIONS AND ACCESSIBILITY CLEARANCE REQUIREMENTS. REFER TO DOOR SCHEDULE ON A9.11. REFER TO STOREFRONT ELEVATIONS ON A9.21. REFER TO EXTERIOR ELEVATIONS ON A5.12 AND A5.13 ALL EXPOSED CONCRETE CURBS TO BE ARCHITECTURALLY FINISHED. ALL STEEL THAT IS EXPOSED TO VIEW SHALL BE CONSIDERED ARCHITECTURALLY EXPOSED STRUCTURAL STEEL - CATEGORY 3 (AESS) INCLUDING BUT NOT LIMITED TO BEAMS, COLUMNS, AND SUPPORTS FOR METAL PANEL SCREENS AND CANOPIES

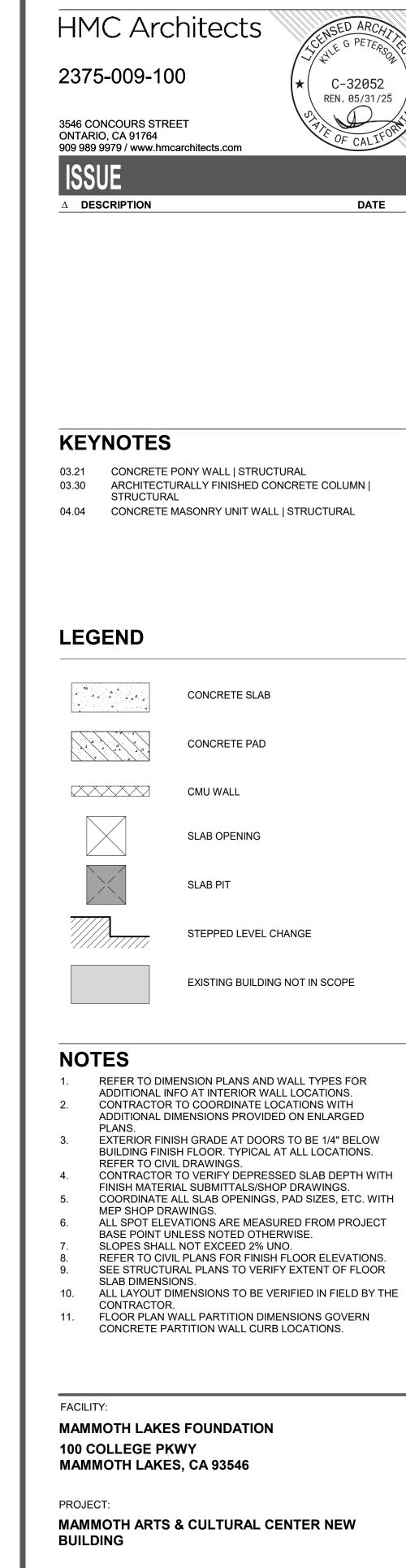
EXISTING PARTITION TO REMAIN WALL / PARTITION 1-HR FIRE BARRIER CMU WALL CMU WALL (1 HOUR FIRE RATED), SEE SHEET A2.15 & A2.16; SEE DETAIL 10/A10.14 FOR HEAD OF WALL STOREFRONT TAG, REFER TO A9.21 WALL TAG, REFER TO A10.11 ROOF LINE ABOVE EXISTING BUILDING NOT IN SCOPE







AGENCY APPROVAL:





SHEET:

BELOW GRADE - SLAB PLAN

PLEASE RECYCLE

TN

PN

1/8" = 1'-0"



AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

BELOW GRADE - SLAB PLAN

CLIENT PROJ NO:

CMU WALL SLAB OPENING SLAB PIT

CONCRETE PAD

CONCRETE SLAB

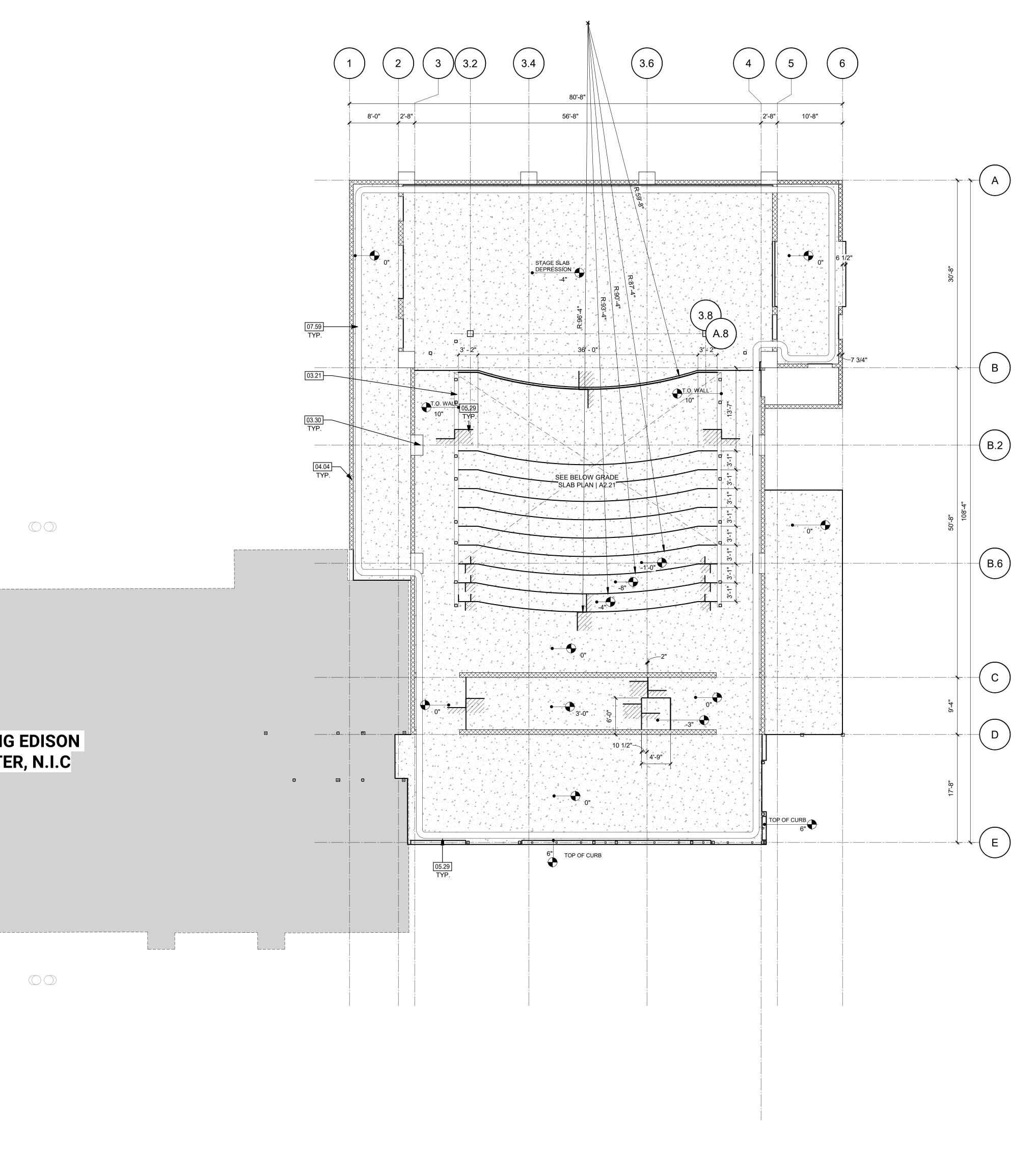
STEPPED LEVEL CHANGE

EXISTING BUILDING NOT IN SCOPE

HMC Architects C-32052 REN.05/31/25 909 989 9979 / www.hmcarchitects.com DATE

Mammoth Lakes

THE LINE SHOWN ABOVE IS EXACTLY ONE INCH LONG AT THIS SHEETS ORIGINAL PAGE SIZE		
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AGENCY APPROVAL:

2375-009-100 3546 CONCOURS STREET ONTARIO, CA 91764 ISSUE Δ **DESCRIPTION KEYNOTES** 03.21 CONCRETE PONY WALL | STRUCTURAL 03.30 ARCHITECTURALLY FINISHED CONCRETE COLUMN | STRUCTURAL 04.04 CONCRETE MASONRY UNIT WALL | STRUCTURAL HSS COLUMN | STRUCTURAL 05.29 RADON GAS MAT | 8/A10.03 , REFER TO PLUMBING FOR RADON VENT LOCATIONS 07.59 LEGEND

NOTES REFER TO DIMENSION PLANS AND WALL TYPES FOR ADDITIONAL INFO AT INTERIOR WALL LOCATIONS.
 CONTRACTOR TO COORDINATE LOCATIONS WITH ADDITIONAL DIMENSIONS PROVIDED ON ENLARGED DUANS PLANS. EXTERIOR FINISH GRADE AT DOORS TO BE 1/4" BELOW BUILDING FINISH FLOOR. TYPICAL AT ALL LOCATIONS. REFER TO CIVIL DRAWINGS. CONTRACTOR TO VERIFY DEPRESSED SLAB DEPTH WITH FINISH MATERIAL SUBMITTALS/SHOP DRAWINGS. COORDINATE ALL SLAB OPENINGS, PAD SIZES, ETC. WITH 4. MEP SHOP DRAWINGS. 6. ALL SPOT ELEVATIONS ARE MEASURED FROM PROJECT BASE POINT UNLESS NOTED OTHERWISE. SLOPES SHALL NOT EXCEED 2% UNO. REFER TO CIVIL PLANS FOR FINISH FLOOR ELEVATIONS. 8. SEE STRUCTURAL PLANS TO VERIFY EXTENT OF FLOOR 9. SLAB DIMENSIONS. 10. ALL LAYOUT DIMENSIONS TO BE VERIFIED IN FIELD BY THE CONTRACTOR. 11. FLOOR PLAN WALL PARTITION DIMENSIONS GOVERN CONCRETE PARTITION WALL CURB LOCATIONS.

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

1ST FLOOR - SLAB PLAN

PLEASE RECYCLE

TN

PN

1/8" = 1'-0"



AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

1ST FLOOR - SLAB PLAN

CLIENT PROJ NO:

DATE

CONCRETE SLAB

CONCRETE PAD

CMU WALL

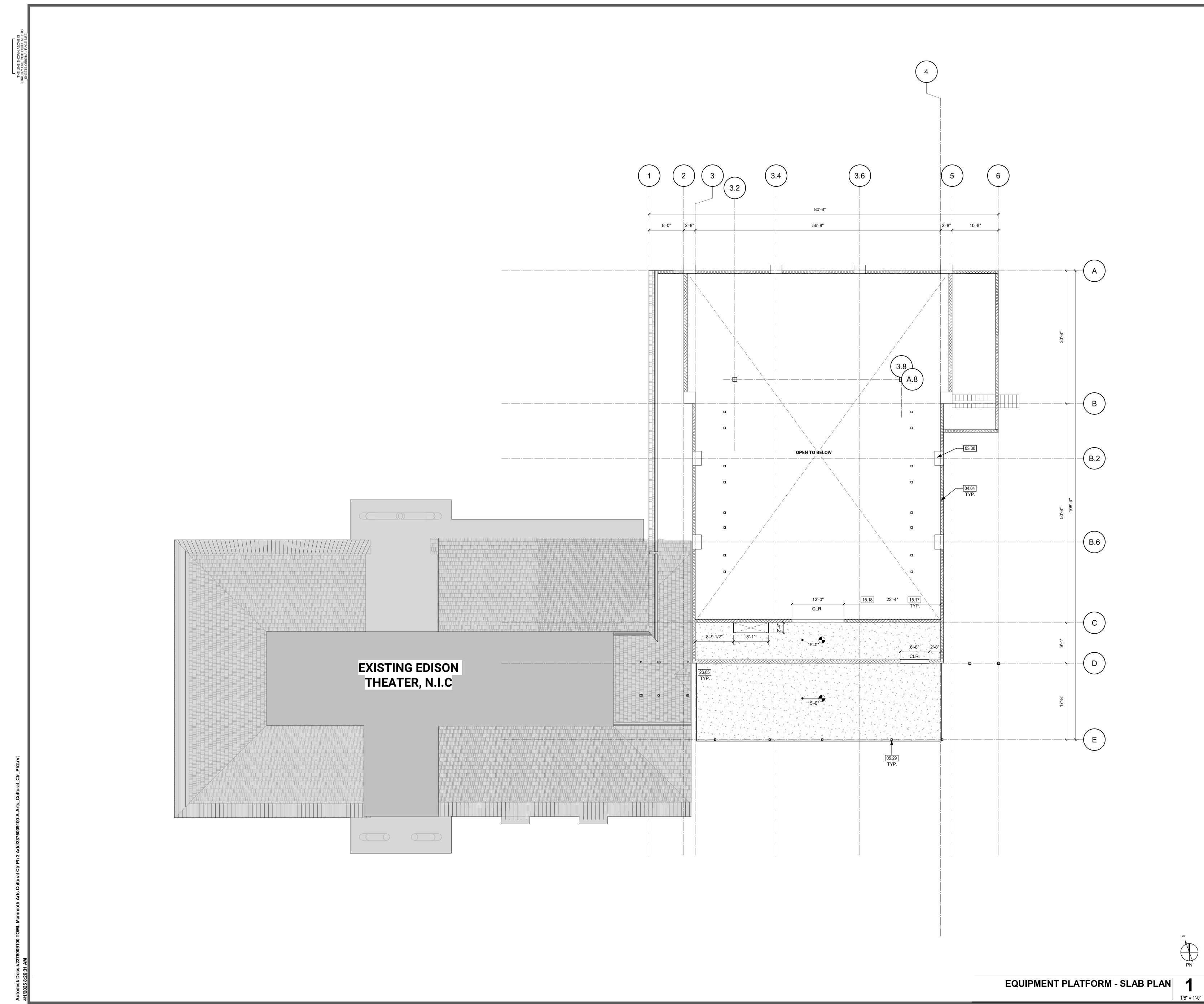
SLAB OPENING

STEPPED LEVEL CHANGE

EXISTING BUILDING NOT IN SCOPE

SLAB PIT





ISSUE

KEYNOTES 03.30 ARCHITECTURALLY FINISHED CONCRETE COLUMN | STRUCTURAL

CONCRETE MASONRY UNIT WALL | STRUCTURAL HSS COLUMN | STRUCTURAL 04.04 05.29 LOUDSPEAKER | AV 10.66 PROJECTION SCREEN | AV PROJECTOR | ELECTRICAL & AV 10.70 10.75 15.17 MECH 15.18 MECH 26.01 AV RA

LEGEND _____

NOTES

REFER T ADDITION CONTRA ADDITION PLANS. 1. 2. EXTERIO 3. BUILDING REFER T CONTRA 4. FINISH M COORDIN 5. MEP SHO ALL SPO BASE PO SLOPES REFER T SEE STR 6. 8. 9. 10. 11.

FACILITY: MAMMOTH

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

PLEASE RECYCLE

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CLIENT PROJ NO:

EQUIPMENT PLATFORM - SLAB PLAN

MAMMOTH ARTS & CULTURAL CENTER NEW

100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

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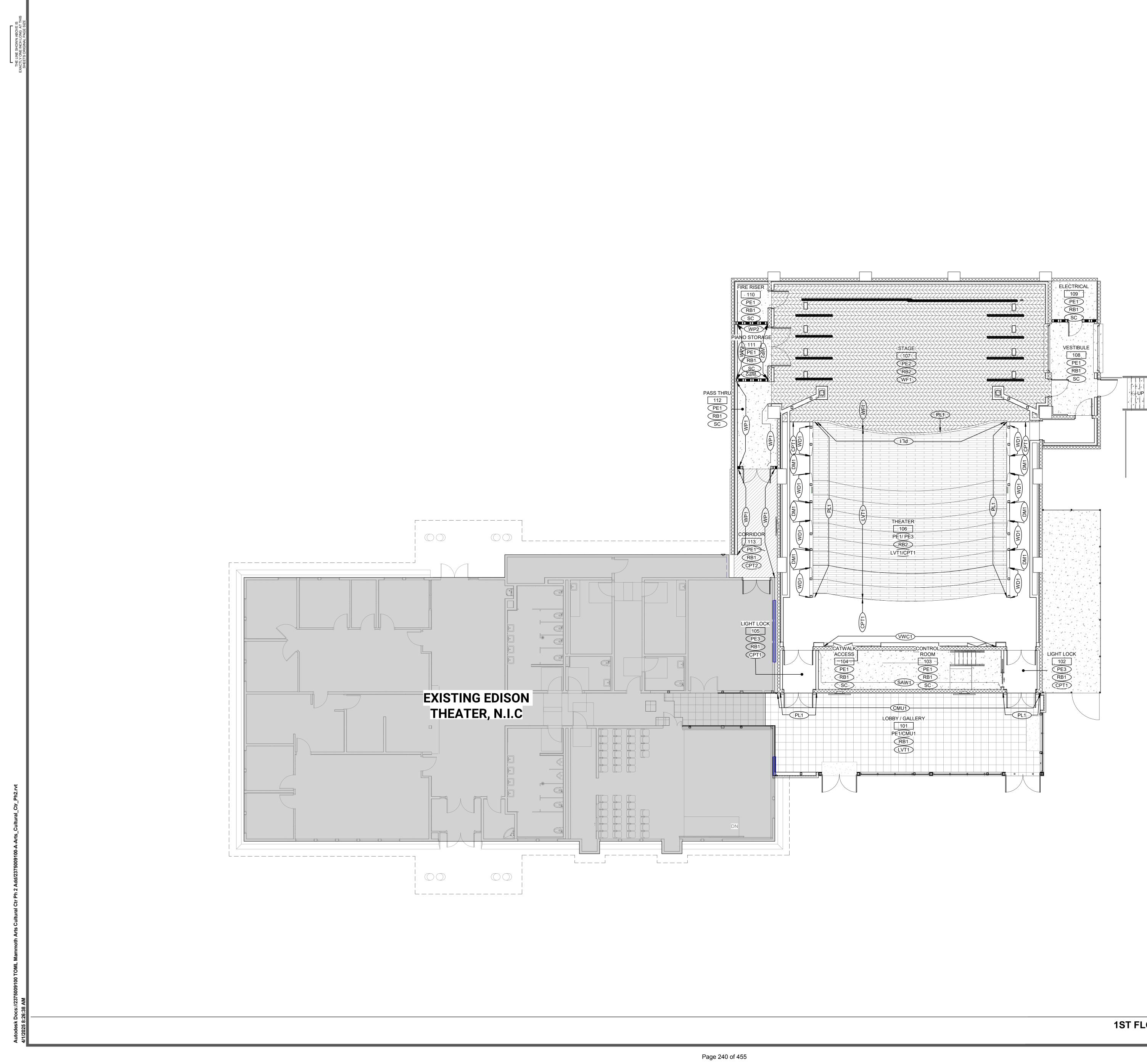
OTES
REFER TO DIMENSION PLANS AND WALL TYPES FOR ADDITIONAL INFO AT INTERIOR WALL LOCATIONS. CONTRACTOR TO COORDINATE LOCATIONS WITH ADDITIONAL DIMENSIONS PROVIDED ON ENLARGED PLANS.
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CONTRACTOR TO VERIFY DEPRESSED SLAB DEPTH WITH FINISH MATERIAL SUBMITTALS/SHOP DRAWINGS. COORDINATE ALL SLAB OPENINGS, PAD SIZES, ETC. WITH
MEP SHOP DRAWINGS. ALL SPOT ELEVATIONS ARE MEASURED FROM PROJECT BASE POINT UNLESS NOTED OTHERWISE.
SLOPES SHALL NOT EXCEED 2% UNO. REFER TO CIVIL PLANS FOR FINISH FLOOR ELEVATIONS. SEE STRUCTURAL PLANS TO VERIFY EXTENT OF FLOOR SLAB DIMENSIONS.
ALL LAYOUT DIMENSIONS TO BE VERIFIED IN FIELD BY THE CONTRACTOR.
FLOOR PLAN WALL PARTITION DIMENSIONS GOVERN CONCRETE PARTITION WALL CURB LOCATIONS.

EXISTING BUILDING NOT IN SCOPE

HANICAL I	ELECTRICAL & AV EQUIPMENT MECHANICAL DUCT MECHANICAL
D	
	CONCRETE SLAB
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	SLAB OPENING
	SLAB PIT
///	STEPPED LEVEL CHANGE













KEYNOTES

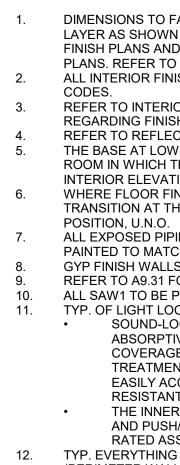


P11 WB1	
CG21	
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FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

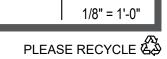
PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:





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CLIENT PROJ NO:

AGENCY SUBMITTAL

1ST FLOOR - FINISH PLAN

MAMMOTH ARTS & CULTURAL CENTER NEW

 SOUND-LOCK VESTIBULES SHOULD BE PROVIDED WITH SOUND ABSORPTIVE FINISHES TO INCLUDE CARPET AND MINIMUM 80% COVERAGE OF WALL AND CEILING SURFACE AREA WITH TREATMENTS OF MINIMUM NRC 0.85 PERFORMANCE (WHICH IS EASILY ACCOMMODATED BY ACT FOR CEILINGS, AND IMPACT RESISTANT 1" PANELS ON WALLS). THE INNER DOOR OF SUCH VESTIBULES SHOULD BE GASKETED AND PUSH/PULL ONLY - I.E. WITHOUT LATCHES. PROVIDE FIRE-RATED ASSEMBLIES ONLY AT THE OUTER DOOR. 12. TYP. EVERYTHING ABOVE CATWALK FLOOR LEVER TO BE PAINTED BLACK (PERIMETER WALL, ROOF DECK, CONDUITS, DUCTWORK)

PAINTED TO MATCH ADJACENT WALL SURFACES, U.N.O. GYP FINISH WALLS TO BE PAINTED PE1. REFER TO A9.31 FOR FINISH SCHEDULE. ALL SAW1 TO BE PLACED 4" AFF AND 6'-0" HIGH, U.N.O. 11. TYP. OF LIGHT LOCK ROOMS:

INTERIOR ELEVATIONS. WHERE FLOOR FINISH MATERIAL CHANGES AT THE DOOR, CENTER THE TRANSITION AT THE CENTER OF THE DOOR WHEN IN THE CLOSE ALL EXPOSED PIPING, LOUVERS, GRILLS, REGISTERS & CONDUITS TO BE

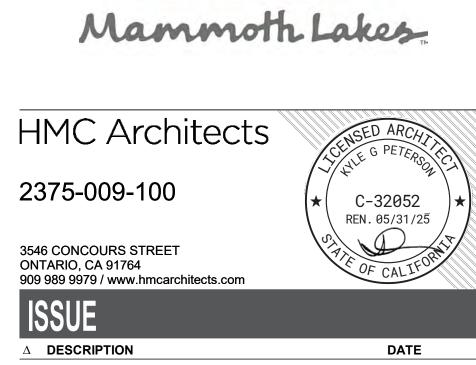
REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION **REGARDING FINISHES & HEIGHTS.** REFER TO REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION. THE BASE AT LOWER CABINETS TO MATCH THE WALL BASE OF THE ROOM IN WHICH THEY OCCUR U.N.O. IN THE CASEWORK DETAILS &

DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A0.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS. ALL INTERIOR FINISHES SHALL COMPLY WITH ALL CURRENT APPLICABLE

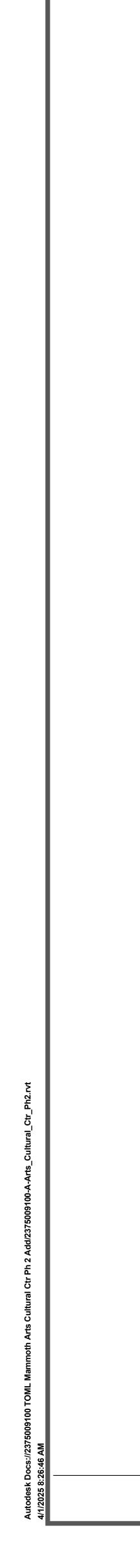
EXISTING BUILDING NOT IN SCOPE

F B ENDS -CORNER GUARD _____CG11 -FFE ITEM (SHADED) ROOF LINE ABOVE

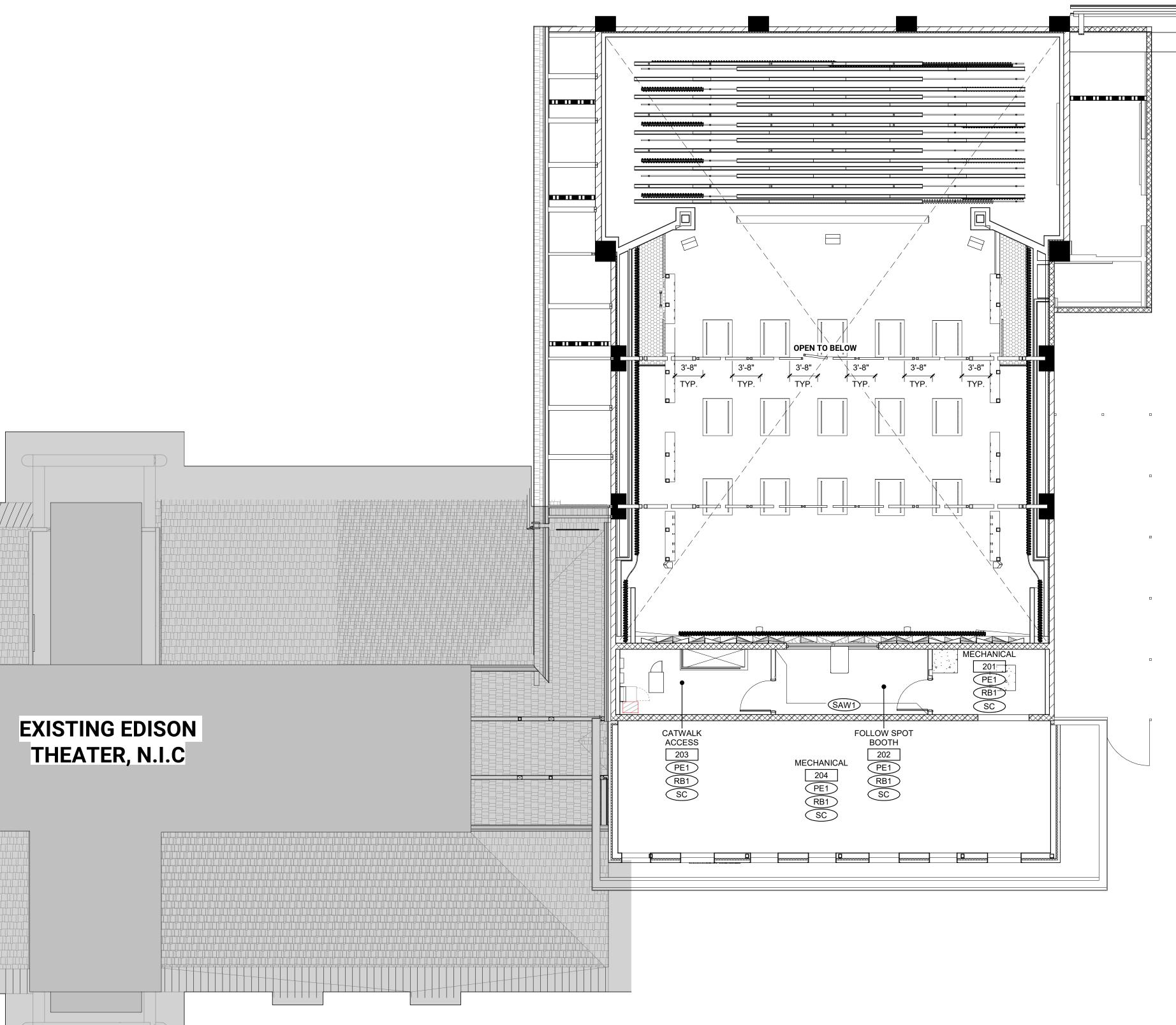
EXISTING PARTITION TO REMAIN WALL / PARTITION | A2.15 -WHERE "LINE" TYPE IS USED, FINISH AND BASE TERMINATE AT "DIAGONAL" LINE







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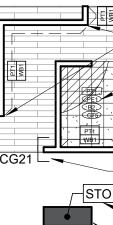






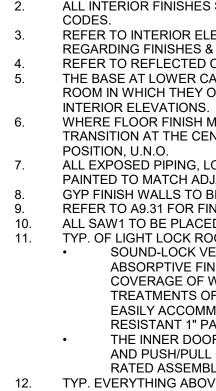
ONTARIO, CA 91764 ISSUE Δ **DESCRIPTION**







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FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:



1/8" = 1'-0"

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CLIENT PROJ NO:

AGENCY SUBMITTAL

EQUIPMENT PLATFORM - FINISH PLAN

MAMMOTH ARTS & CULTURAL CENTER NEW

 SOUND-LOCK VESTIBULES SHOULD BE PROVIDED WITH SOUND ABSORPTIVE FINISHES TO INCLUDE CARPET AND MINIMUM 80% COVERAGE OF WALL AND CEILING SURFACE AREA WITH TREATMENTS OF MINIMUM NRC 0.85 PERFORMANCE (WHICH IS EASILY ACCOMMODATED BY ACT FOR CEILINGS, AND IMPACT RESISTANT 1" PANELS ON WALLS). THE INNER DOOR OF SUCH VESTIBULES SHOULD BE GASKETED AND PUSH/PULL ONLY - I.E. WITHOUT LATCHES. PROVIDE FIRE-RATED ASSEMBLIES ONLY AT THE OUTER DOOR. 12. TYP. EVERYTHING ABOVE CATWALK FLOOR LEVER TO BE PAINTED BLACK (PERIMETER WALL, ROOF DECK, CONDUITS, DUCTWORK)

GYP FINISH WALLS TO BE PAINTED PE1. REFER TO A9.31 FOR FINISH SCHEDULE. ALL SAW1 TO BE PLACED 4" AFF AND 6'-0" HIGH, U.N.O. 11. TYP. OF LIGHT LOCK ROOMS:

WHERE FLOOR FINISH MATERIAL CHANGES AT THE DOOR, CENTER THE TRANSITION AT THE CENTER OF THE DOOR WHEN IN THE CLOSE ALL EXPOSED PIPING, LOUVERS, GRILLS, REGISTERS & CONDUITS TO BE PAINTED TO MATCH ADJACENT WALL SURFACES, U.N.O.

REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FINISHES & HEIGHTS. REFER TO REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION. THE BASE AT LOWER CABINETS TO MATCH THE WALL BASE OF THE ROOM IN WHICH THEY OCCUR U.N.O. IN THE CASEWORK DETAILS &

DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A0.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS. ALL INTERIOR FINISHES SHALL COMPLY WITH ALL CURRENT APPLICABLE

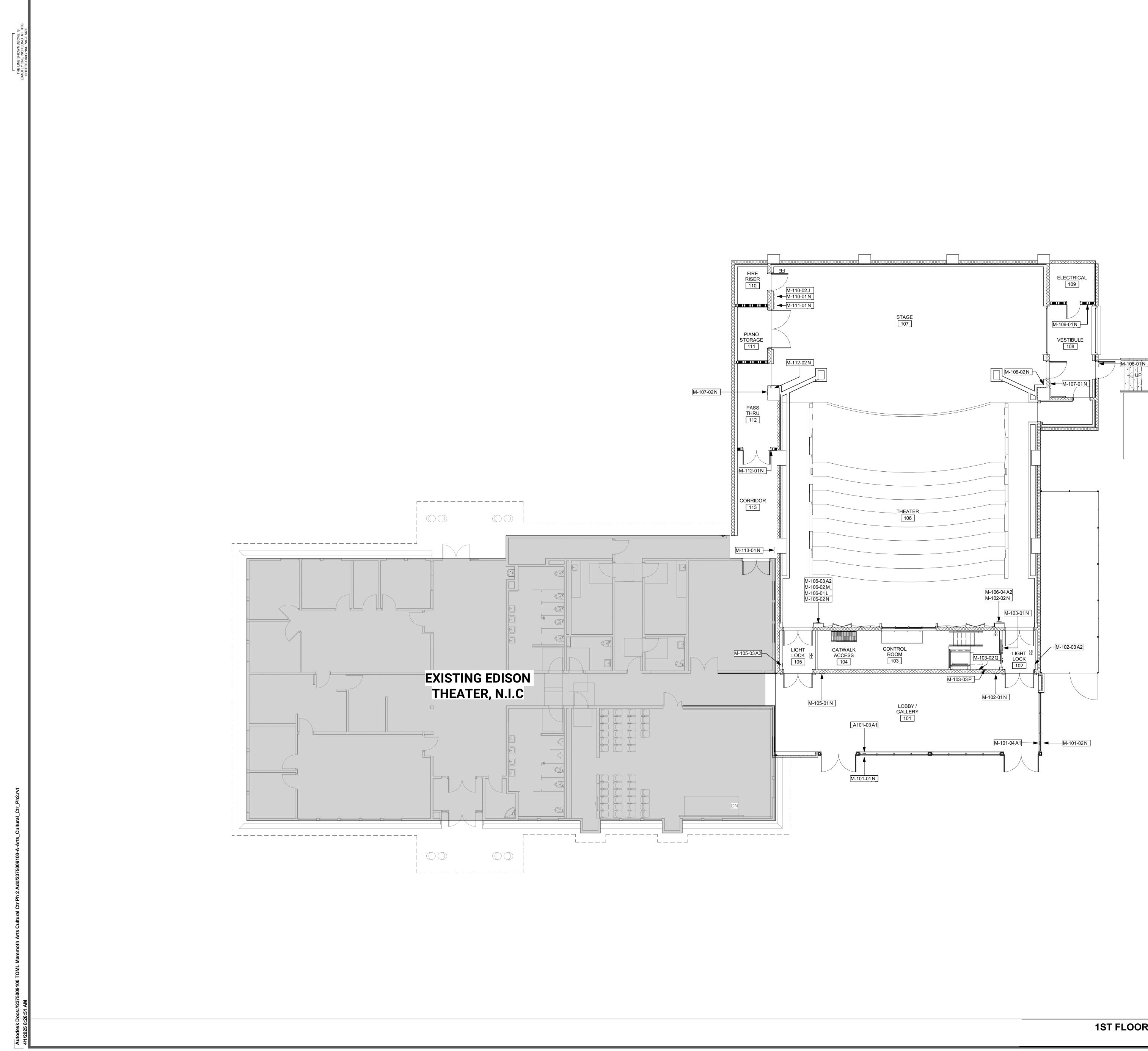
WALL / PARTITION | A2.15 -WHERE "LINE" TYPE IS USED, FINISH AND BASE TERMINATE AT "DIAGONAL" LINE ENDS -CORNER GUARD CG11 —FFE ITEM- SCHEDULE MARK (ITEM TYPE) -FFE ITEM (SHADED) ROOF LINE ABOVE EXISTING BUILDING NOT IN SCOPE

EXISTING PARTITION TO REMAIN

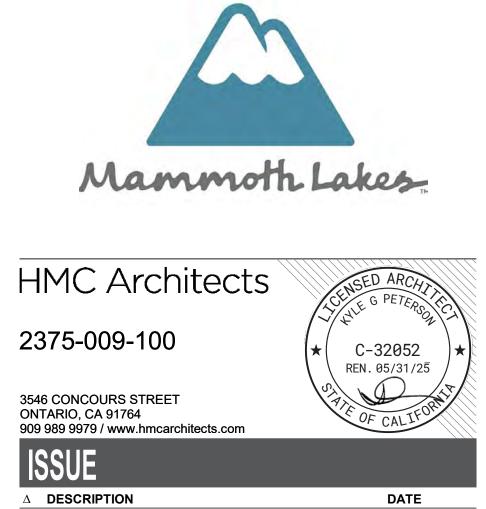
C-32052 REN. 05/31/25 3546 CONCOURS STREET 909 989 9979 / www.hmcarchitects.com DATE



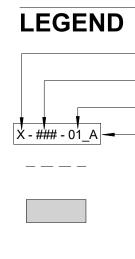












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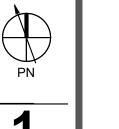
FACILITY:

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:



1ST FLOOR - SIGNAGE PLAN

1/8" = 1'-0" PLEASE RECYCLE

TN



CLIENT PROJ NO:

AGENCY SUBMITTAL

1ST FLOOR - SIGNAGE PLAN

MAMMOTH ARTS & CULTURAL CENTER NEW

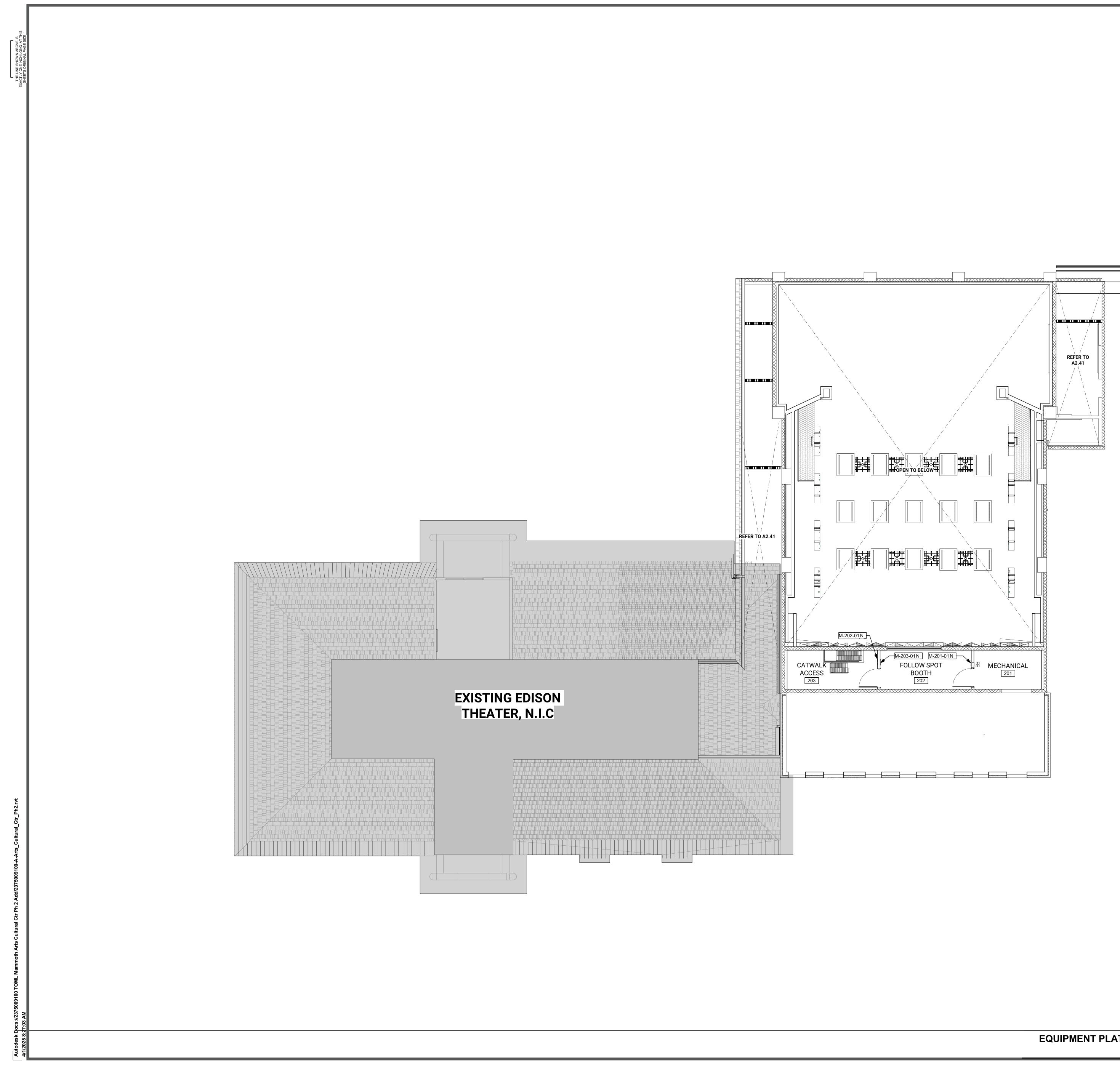
MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

1. REFER TO SIGNAGE DETAIL SHEET A10.81 FOR SIGN TO SIGNAGE SCHEDULE SHEET A9.12 IGNAGE NOT INDICATING TEXT ALLOW FOR 12 RS/ NUMBERS. Y ALL SIGN TEXT, COLOR, AND GRAPHICS WITH ITECT PRIOR TO FABRICATION OF ALL SIGNS. ILL SIGNS MOUNTED ON GLAZING PROVIDE NODIC VINYL TO BACK OF SIGNS BETWEEN GLASS, REFER TO DETAIL 16/A10.81 ALL ACRYLIC SIGN PANELS TO HAVE COLOR VINYL BACKGROUND APPLIED TO BACK OF SIGN PANEL, U.N.O

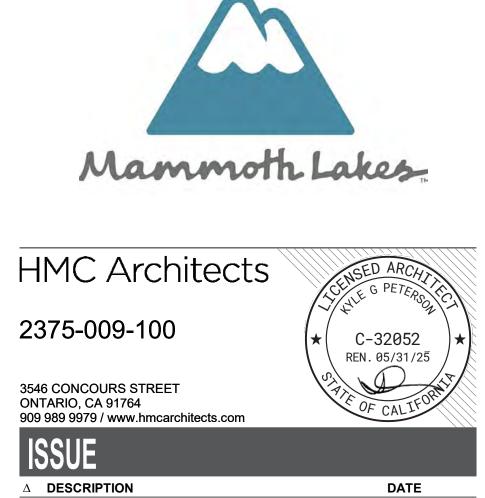
-ROOM NUMBER -SIGN NUMBER —SIGN TYPE ROOF LINE ABOVE EXISTING BUILDING NOT IN SCOPE

-BUILDING SEGMENT DESIGNATION

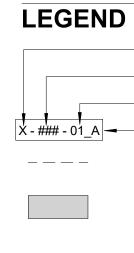












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FACILITY:

PROJECT: BUILDING

SHEET NAME: EQUIPMENT PLATFORM - SIGNAGE PLAN



DATE: 04/01/2025 SHEET:



TN

EQUIPMENT PLATFORM - SIGNAGE PLAN

PLEASE RECYCLE

1/8" = 1'-0"



CLIENT PROJ NO:

AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

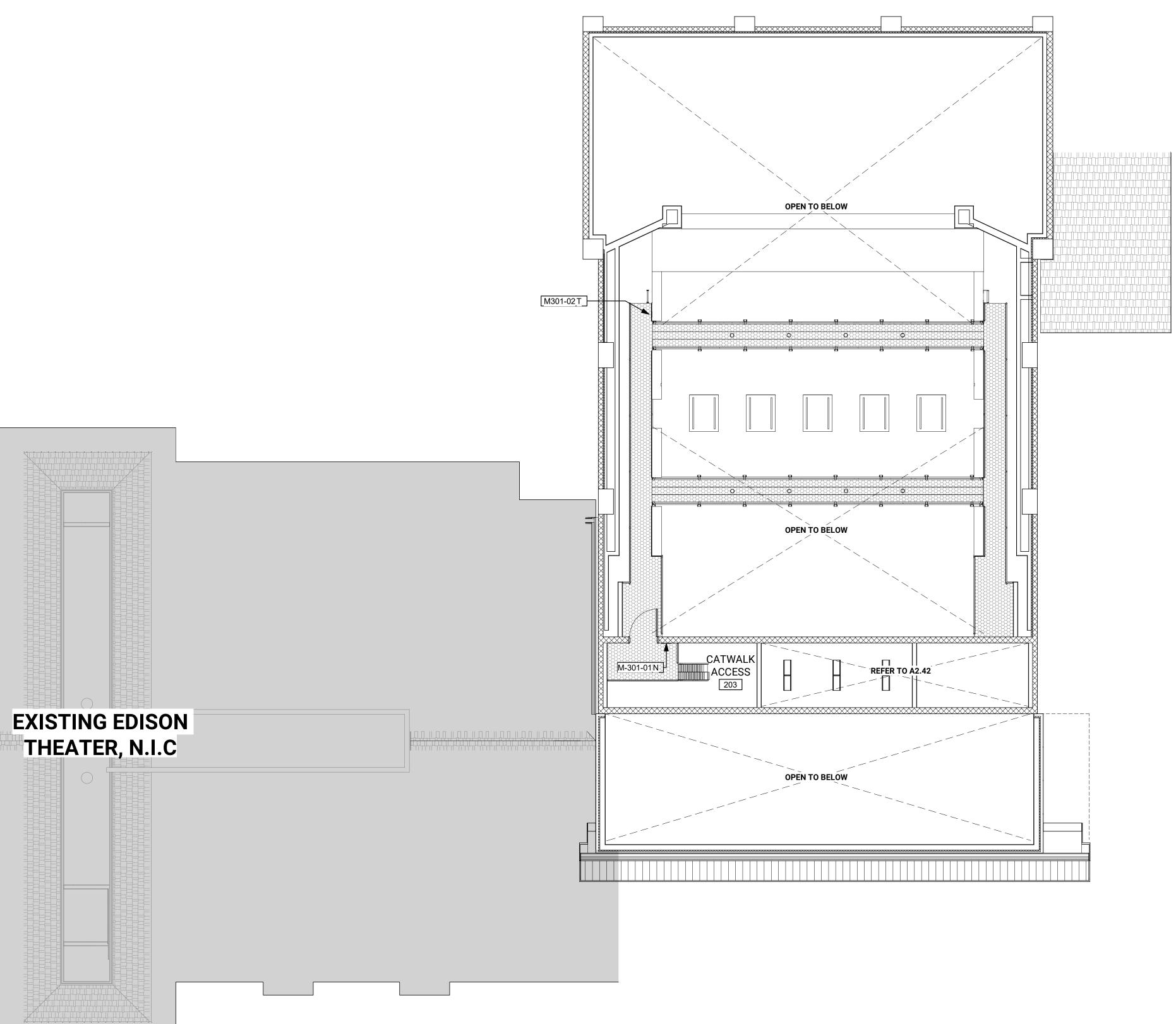
MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

1. REFER TO SIGNAGE DETAIL SHEET A10.81 FOR SIGN R TO SIGNAGE SCHEDULE SHEET A9.12 IGNAGE NOT INDICATING TEXT ALLOW FOR 12 RS/ NUMBERS. FY ALL SIGN TEXT, COLOR, AND GRAPHICS WITH IITECT PRIOR TO FABRICATION OF ALL SIGNS. ALL SIGNS MOUNTED ON GLAZING PROVIDE NODIC VINYL TO BACK OF SIGNS BETWEEN GLASS, REFER TO DETAIL 16/A10.81 ALL ACRYLIC SIGN PANELS TO HAVE COLOR VINYL BACKGROUND APPLIED TO BACK OF SIGN PANEL, U.N.O

-ROOM NUMBER -SIGN NUMBER -SIGN TYPE ROOF LINE ABOVE EXISTING BUILDING NOT IN SCOPE

-BUILDING SEGMENT DESIGNATION





ISSUE

∆ DESCRIPTION

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NOTES 3. 4. 6.

FACILITY:

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

UPPER CATWALK - SIGNAGE PLAN 2

PLEASE RECYCLE

1/8" = 1'-0"

TN

PN

A2.43

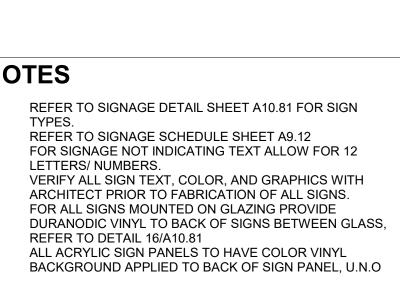
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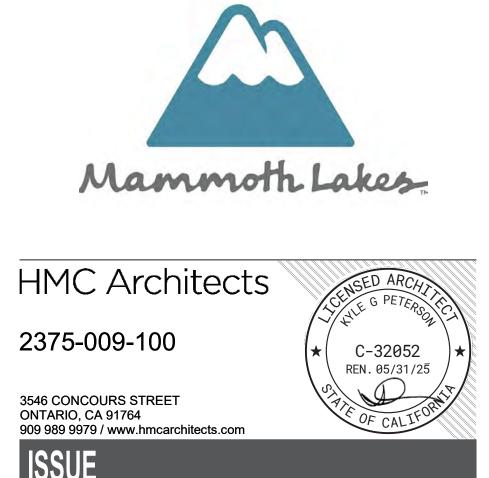
UPPER CATWALK - SIGNAGE PLAN

MAMMOTH ARTS & CULTURAL CENTER NEW

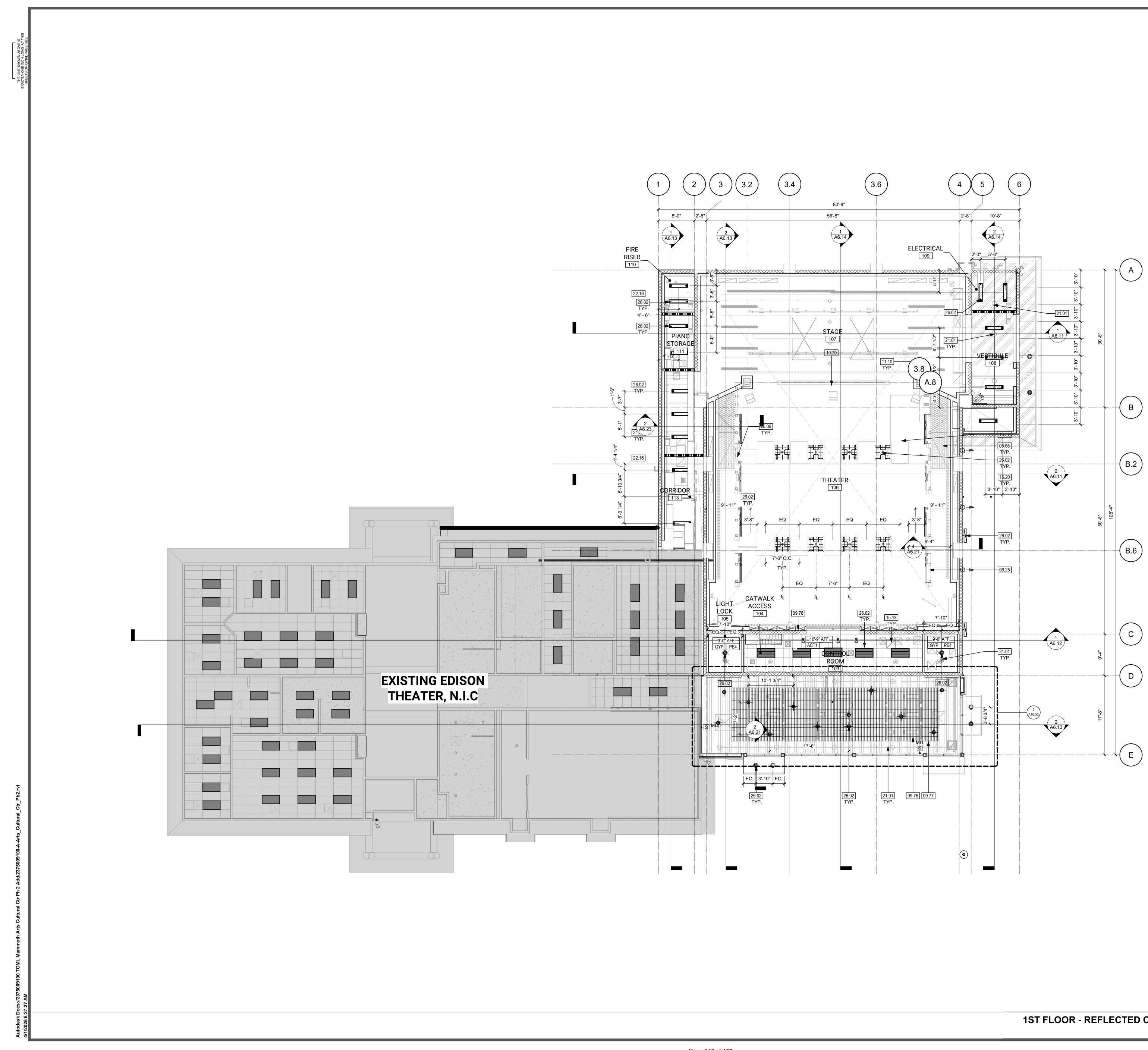
MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546



END	
	-BUILDING SEGMENT DESIGNATION
	-ROOM NUMBER
	-SIGN NUMBER
1_A -	-SIGN TYPE
_	ROOF LINE ABOVE
	EXISTING BUILDING NOT IN SCOPE







AGENCY APPROVAL:

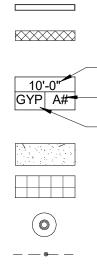
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ONTARIO, CA 91764 ISSUE

KEYNOTES

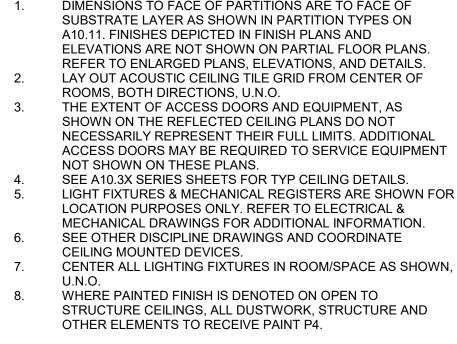
05.55	CATWALK SYSTEM 6/A10.51 & STRUCTURAL SHEET S5.45
06.25	CUSTOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTI
09.76	SUSPENDED ACOUSTIC BAFFLES
09.77	SUSPENDED ALUMINIUM FRAMING
09.78	CUSTOM ACOUSTIC VENEERED EXTRUSIONS
10.70	PROJECTION SCREEN AV
11.10	THEATRICAL RIGGING AND DRAPES AUDIO VISUAL
15.13	SUPPLY AIR PLENUM MECHANICAL
21.01	FIRE SPRINKLER HEAD - ALL SPRINKLERS PAINTED BLACK UNLESS OTHERWISE NOTED - VERIFY LOCATION W/FIRE PROTECTION DRAWINGS
26.02	LIGHT FIXTURE ELECTRICAL
26.06	THEATER LIGHT FIXTURE ELECTRICAL & AV





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NOTES



FACILITY: 100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

1ST FLOOR - REFLECTED CEILING PLAN 1

PLEASE RECYCLE

1/8" = 1'-0"

PN



CLIENT PROJ NO:

AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

1ST FLOOR - REFLECTED CEILING PLAN

MAMMOTH LAKES FOUNDATION MAMMOTH LAKES, CA 93546

LAY OUT ACOUSTIC CEILING TILE GRID FROM CENTER OF ROOMS, BOTH DIRECTIONS, U.N.O. THE EXTENT OF ACCESS DOORS AND EQUIPMENT, AS SHOWN ON THE REFLECTED CEILING PLANS DO NOT NECESSARILY REPRESENT THEIR FULL LIMITS. ADDITIONAL

ALUMINUM CANOPY |FACTORY FINISHED TO MATCH MULLION STOREFRONT EXTERIOR PERFORATED METAL PANEL SOFFIT |FACTORY FINISHED TO MATCH METAL FASCIA. DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A10.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.

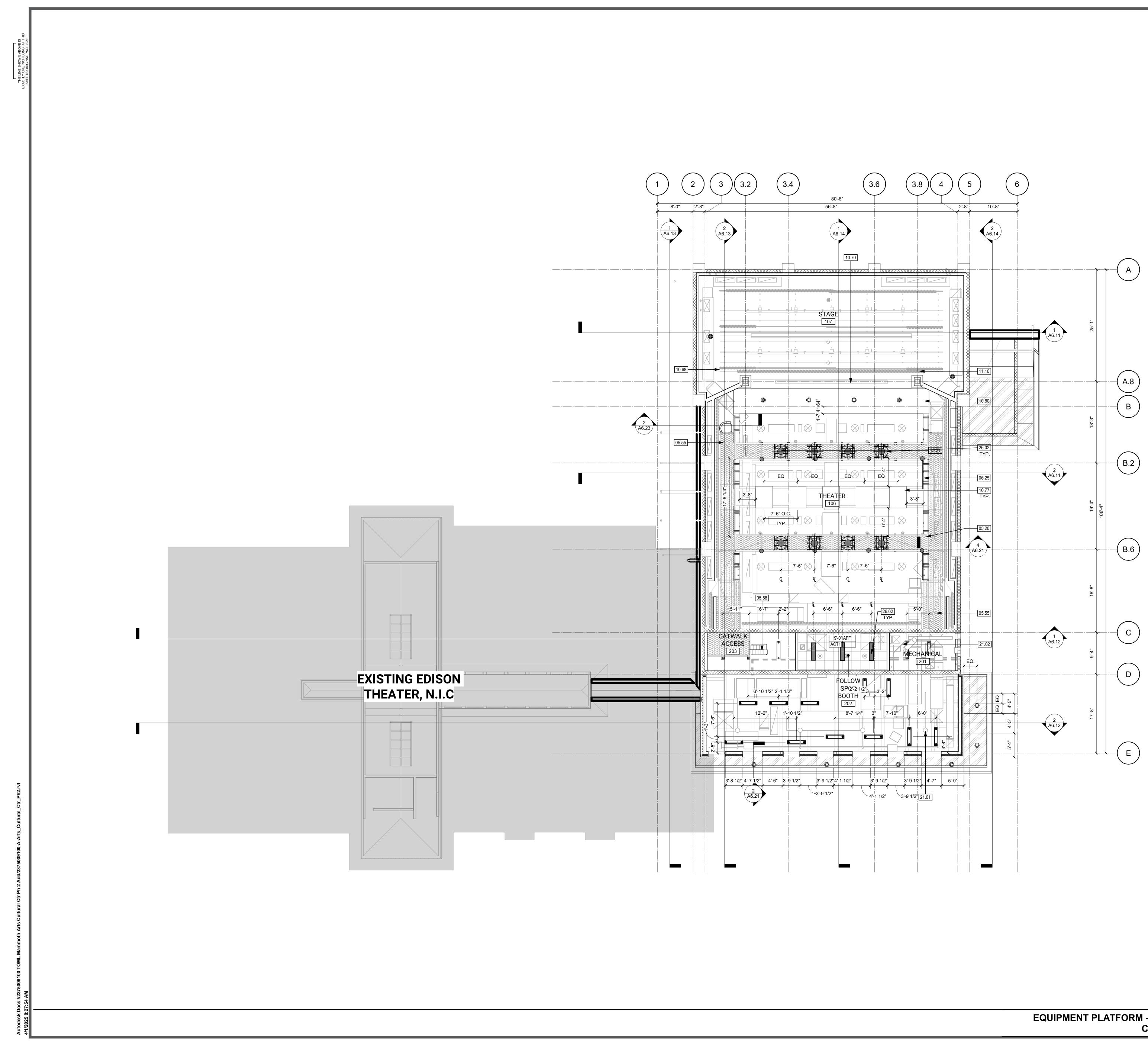
FIRE SPRINKLER | FIRE PROTECTION ROOF LINE ABOVE EXISTING BUILDING NOT IN SCOPE

EXISTING PARTITION TO REMAIN WALL / PARTITION | A2.15 CMU WALL | STRUCTURAL -HEIGHT ABOVE LEVEL (NOT FINISH FLOOR) -CLG FINISH, IF APPLICABLE -CEILING TYPE GB, PLASTER CEILING 24"x24" ACOUSTIC TILE CEILING SYSTEM

TWALK SYSTEM | 6/A10.51 & STRUCTURAL SHEET S5.45 STOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTING

- C-32052 REN.05/31/25 3546 CONCOURS STREET 909 989 9979 / www.hmcarchitects.com Δ **DESCRIPTION**
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3546 CONCOURS STREET

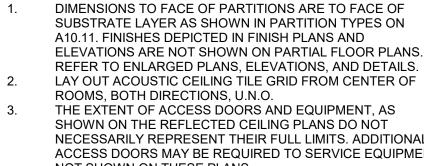
ONTARIO, CA 91764 909 989 9979 / www.hmcarchitects.com ISSUE Δ **DESCRIPTION**

KEYNOTES

05.20	STEEL GUARDRAIL AT CATWALK REFER TO STRUCTURAL 1/S5.45
05.55	CATWALK SYSTEM 6/A10.51 & STRUCTURAL SHEET S5.45
05.58	ACCESS LADDER TO ROOF 11/A10.42
06.25	CUSTOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTI
10.68	PIPE BATTEN AV
10.70	PROJECTION SCREEN AV
10.77	ACOUSTICAL REFLECTOR - REFER TO 2/A10.61
10.80	FRAMED ACOUSTIC STAGE CANOPY - REFER TO 1/A10.92
11.10	THEATRICAL RIGGING AND DRAPES AUDIO VISUAL
15.21	MECHANICAL AIR TERMINAL MECHANICAL
21.01	FIRE SPRINKLER HEAD - ALL SPRINKLERS PAINTED BLACK UNLESS OTHERWISE NOTED - VERIFY LOCATION W/FIRE PROTECTION DRAWINGS
21.02	FIRE PROTECTION PIPING FIRE PROTECTION
26.02	LIGHT FIXTURE ELECTRICAL

LEGEND

10'-0" GYP A# __****__ — — • — — 777777 7// /// NOTES



NECESSARILY REPRESENT THEIR FULL LIMITS. ADDITIONAL ACCESS DOORS MAY BE REQUIRED TO SERVICE EQUIPMENT NOT SHOWN ON THESE PLANS. SEE A10.3X SERIES SHEETS FOR TYP CEILING DETAILS. LIGHT FIXTURES & MECHANICAL REGISTERS ARE SHOWN FOR LOCATION PURPOSES ONLY. REFER TO ELECTRICAL & MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. SEE OTHER DISCIPLINE DRAWINGS AND COORDINATE 6. CEILING MOUNTED DEVICES. CENTER ALL LIGHTING FIXTURES IN ROOM/SPACE AS SHOWN, U.N.O. WHERE PAINTED FINISH IS DENOTED ON OPEN TO 8. STRUCTURE CEILINGS, ALL DUSTWORK, STRUCTURE AND OTHER ELEMENTS TO RECEIVE PAINT P4.

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: BUILDING

SHEET NAME: EQUIPMENT PLATFORM - REFLECTED CEILING PLAN



DATE: 04/01/2025 SHEET:

PN



CLIENT PROJ NO:

AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

ROOF LINE ABOVE ALUMINUM CANOPY |FACTORY FINISHED TO MATCH MULLION STOREFRONT EXTERIOR PERFORATED METAL PANEL SOFFIT |FACTORY FINISHED TO MATCH

METAL FASCIA.

FIRE SPRINKLER | FIRE PROTECTION EXISTING BUILDING NOT IN SCOPE

CMU WALL | STRUCTURAL -HEIGHT ABOVE LEVEL (NOT FINISH FLOOR) -CLG FINISH, IF APPLICABLE -CEILING TYPE GB, PLASTER CEILING 24"x24" ACOUSTIC TILE CEILING SYSTEM

EXISTING PARTITION TO REMAIN WALL / PARTITION | A2.15

STOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTING

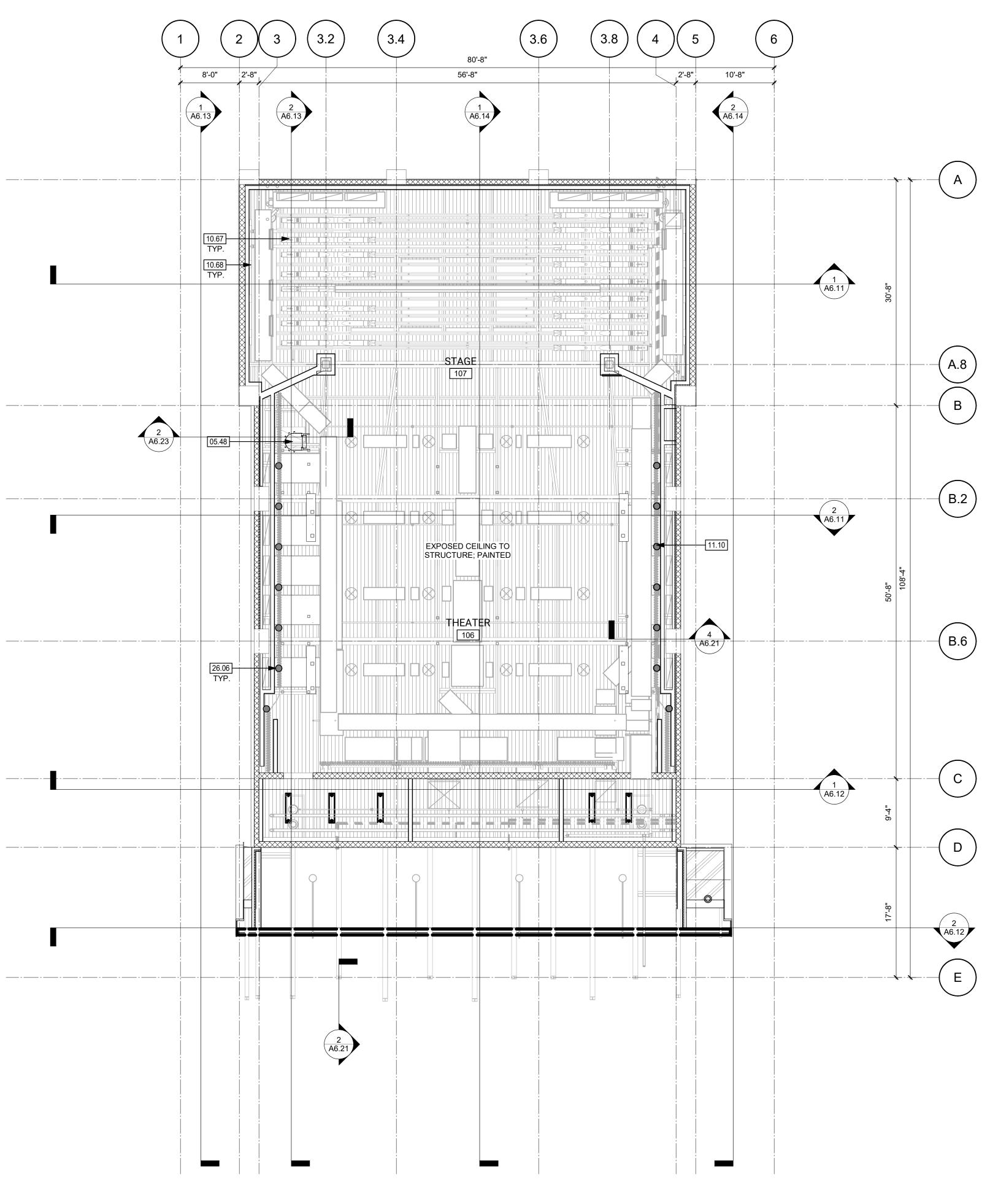
05.20 STEEL GUARDRAIL AT CATWALK REFER TO STRUCTURAL TWALK SYSTEM | 6/A10.51 & STRUCTURAL SHEET S5.45 CESS LADDER TO ROOF | 11/A10.42

- HMC Architects C-32052 REN.05/31/25
- Manmoth Lakes

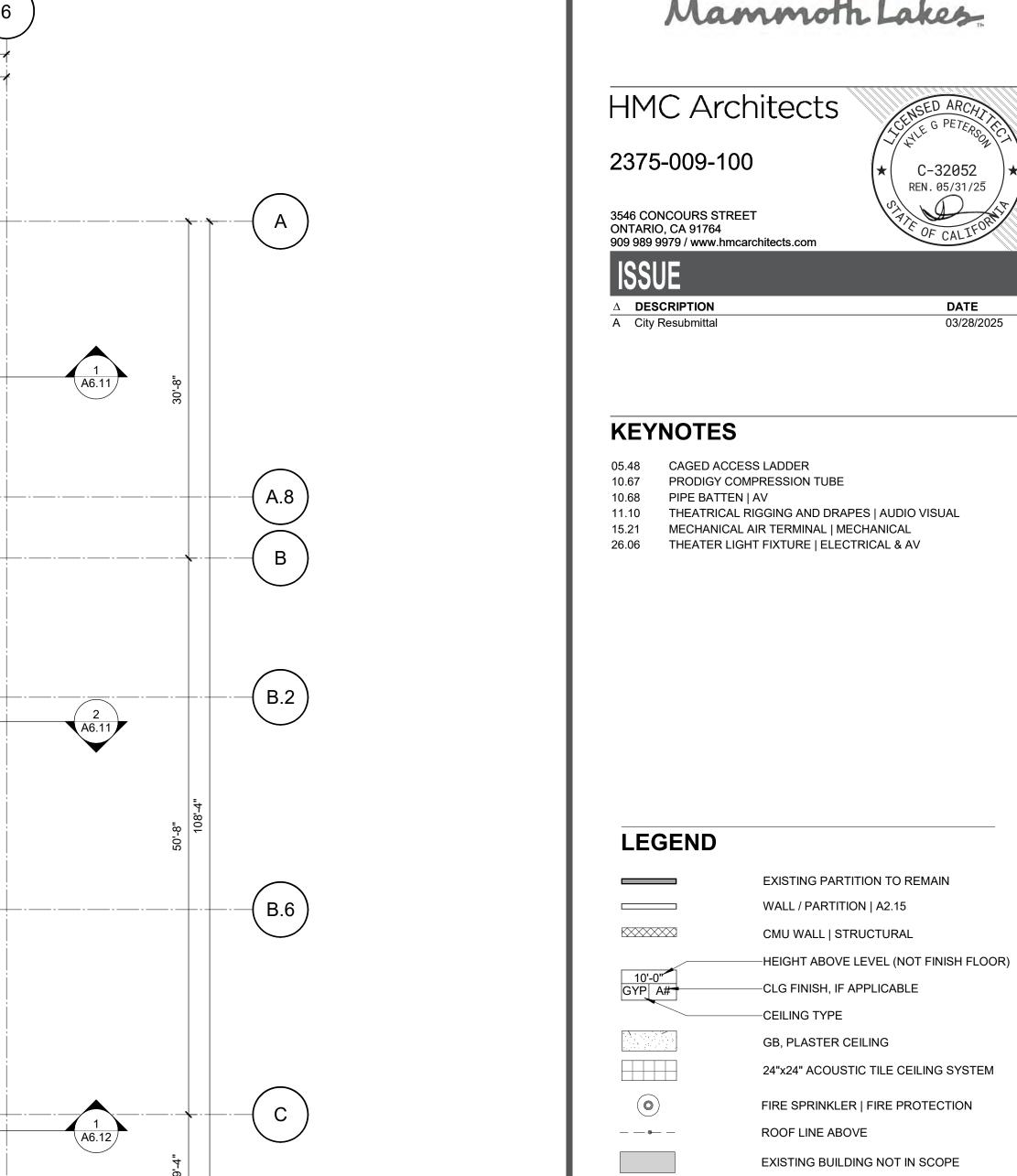




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AGENCY APPROVAL:



FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

U.N.O.

777777

NOTES

1.

3.

4

6.

8.

7.

5.

PROJECT: MAMMOTH ARTS & CULTURAL CENTER NEW BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

THEATER - REFLECTED CEILING PLAN

PLEASE RECYCLE

1/8" = 1'-0"

TN

PN



CLIENT PROJ NO:

THEATER - REFLECTED CEILING PLAN

AGENCY SUBMITTAL

LOCATION PURPOSES ONLY. REFER TO ELECTRICAL & MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. SEE OTHER DISCIPLINE DRAWINGS AND COORDINATE CEILING MOUNTED DEVICES. CENTER ALL LIGHTING FIXTURES IN ROOM/SPACE AS SHOWN, WHERE PAINTED FINISH IS DENOTED ON OPEN TO STRUCTURE CEILINGS, ALL DUSTWORK, STRUCTURE AND OTHER ELEMENTS TO RECEIVE PAINT P4.

ACCESS DOORS MAY BE REQUIRED TO SERVICE EQUIPMENT

LIGHT FIXTURES & MECHANICAL REGISTERS ARE SHOWN FOR

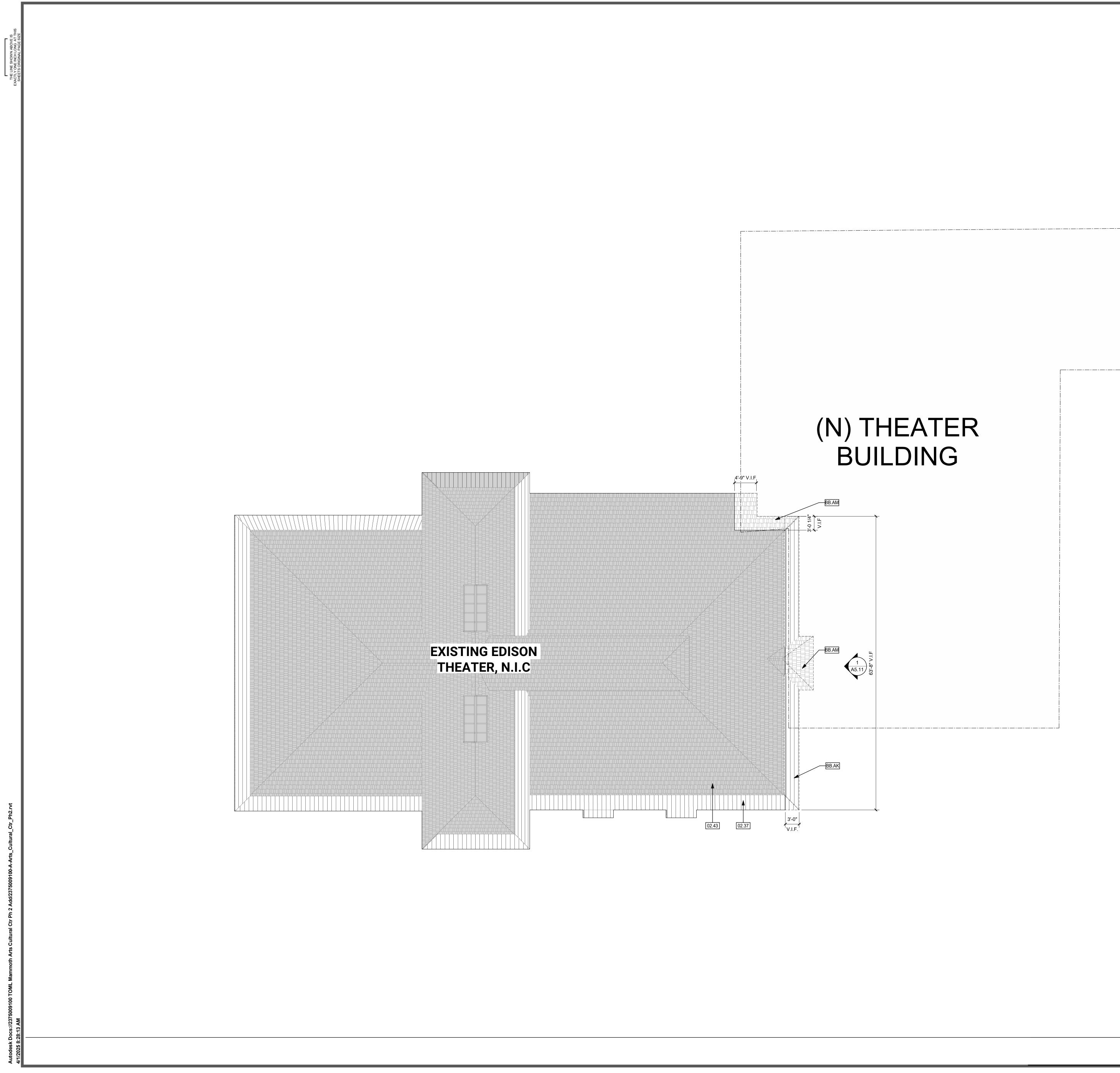
SEE A10.3X SERIES SHEETS FOR TYP CEILING DETAILS.

NOT SHOWN ON THESE PLANS.

DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A10.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS. LAY OUT ACOUSTIC CEILING TILE GRID FROM CENTER OF ROOMS, BOTH DIRECTIONS, U.N.O. THE EXTENT OF ACCESS DOORS AND EQUIPMENT, AS SHOWN ON THE REFLECTED CEILING PLANS DO NOT NECESSARILY REPRESENT THEIR FULL LIMITS. ADDITIONAL

ALUMINUM CANOPY |FACTORY FINISHED TO MATCH MULLION STOREFRONT EXTERIOR PERFORATED METAL PANEL SOFFIT |FACTORY FINISHED TO MATCH METAL FASCIA.





Page 248 of 455

AGENCY

ISSUE Δ **DESCRIPTION**

KEYNOTES

LEGEND

_-----

NOTES

1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS. REFER TO ALL OTHER DISCIPLINES FOR ADDITIONAL 2. DEMOLITION SCOPE. CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL HARDSCAPE/PLANTING OUTSIDE OF LIMIT OF WORK LINE FOR CONNECTION OF UNDERGROUND UTILITIES. PATCH AND REPAIR EXISTING BLDG AS NEEDED FOR 4. ADDITION THE DEMOLITION DRAWINGS ARE BASED ON AVAILABLE RECORD DRAWINGS. REPORT TO ARCHITECT FOR ANY DISCREPANCIES. PROVIDE SAFETY BARRIERS AND PROTECTION AS 6. REQUIRED BY THE CONTRACTOR FOR CONSTRUCTION AND APPLICABLE REGULATORY AGENCIES CONTRACTOR SHALL REPORT ANY UNKNOWN ACTIVE 7. UTILITIES TO OWNER DAMAGE TO EXISTING STRUCTURE, UTILITIES, AND OTHER 8. ITEMS WHICH ARE CAUSED BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION MAINTAIN WEATHERTIGHT CONDITION OF ROOF THROUGHOUT DURATION OF CONSTRUCTION

9. FACILITY:

MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: BUILDING

SHEET NAME: DEMO ROOF PLAN



DATE: 04/01/2025 SHEET:

ROOF PLAN - DEMO

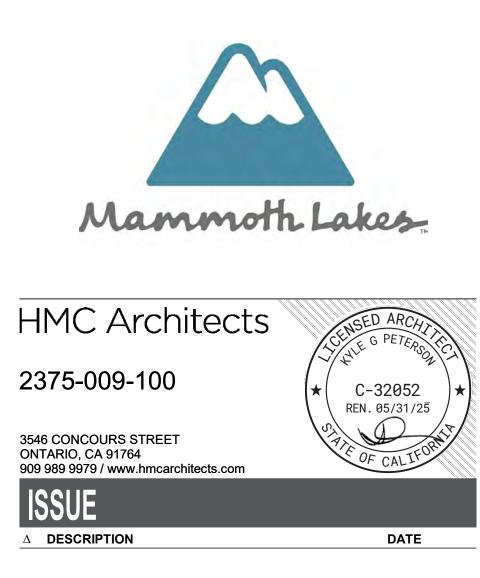
PLEASE RECYCLE

TN

PN

1/8" = 1'-0"





02.37 (E) METAL SEAM, PROTECT IN PLACE 02.43 (E) SHINGLE ROOF, PROTECT IN PLACE BB.AG DEMOLISH PORTION OF (E) SHINGLE ROOF & SUBSTRUCTURE | STRUCTURAL BB.AH DEMOLISH (E) METAL SEAM | STRUCTURAL BB.AK DEMOLISH (E) METAL SEAM ROOF BB.AM DEMOLISH (E) SHINGLE ROOFING

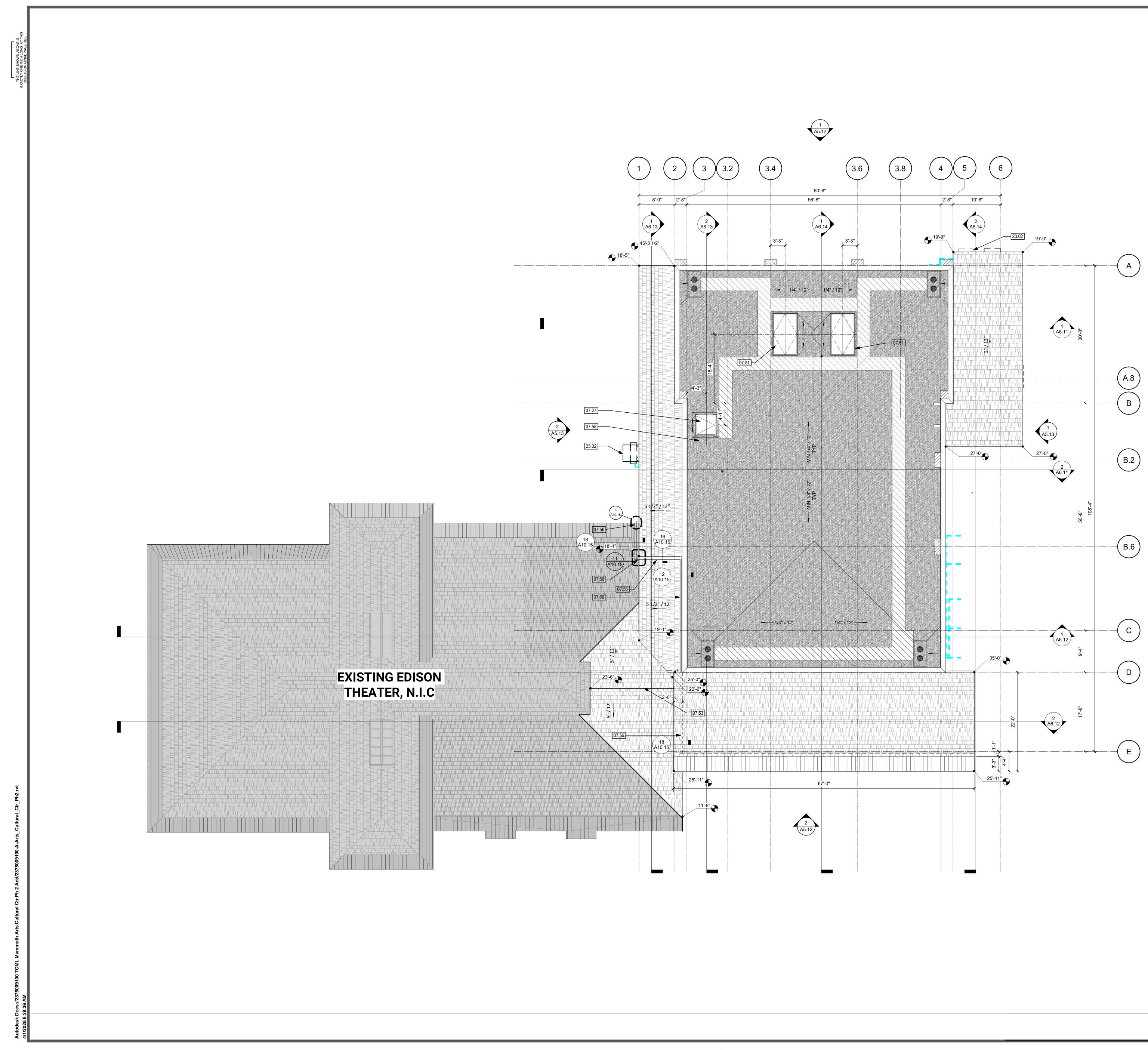


PORTION OF (E) BUILDING IN SCOPE TO BE DEMOLISHED. OUTLINE OF NEW THEATER EXISTING BUILDING NOT IN SCOPE

MAMMOTH ARTS & CULTURAL CENTER NEW

AGENCY SUBMITTAL

CLIENT PROJ NO:



Mammoth Lakes

3546 CONCOURS STREET ONTARIO, CA 91764 ISSUE

KEYNOTES

07.51 07.53 CREATE NEW RIDGE SLOPE | STRUCTURAL 07.56 EXPANSION JOINT AT ROOF REFER TO PLAN FOR DETAIL 07.58 FALL PROTECTION RAILING | XX/XX.XX 23.02 MECH EQUIPMENT, S.M.D.

LEGEND

9'-0" x 5'-0" SMOKE VENT 48" x 48" ROOF ACCESS HATCH DIRECTION OF ROOF SLOPE . ———

NOTES ROOF SURFACE. 6. 9. 10. 11 12.

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: BUILDING

SHEET NAME: **ROOF PLAN**



DATE: 04/01/2025 SHEET:

ROOF PLAN 10 1/8" = 1'-0"

PN

PLEASE RECYCLE



CLIENT PROJ NO:

AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

MECHANICAL EQUIPMENT AND ROOF ACCESSORIES. REFER TO MECHANICAL DRAWINGS FOR LOCATION AND SIZE OF EQUIPMENT. VERIFY ALL DIMENSIONS OF MECHANICAL EQUIPMENT CURBS WITH HVAC MANUFACTURER. REFER TO PLUMBING DRAWINGS FOR LOCATION OF VENTS, ROOF DRAINS, AND DOWNSPOUTS TO BE INSTALLED. REFER TO SHEET A10.41 FOR ROOF DETAILS. ROOF SYSTEM TO BE CLASS A MINIMUM. FOOTPRINT OF RTU TO BE LOCATED AND SKATED OUT ON ROOF TO ENSURE MANUFACTURER REQUIRED CLEARANCE AROUND UNIT IS PROVIDED PRIOR TO INSTALLATION OF ROOF FRAMING AND CURB. 13. ALL ROOFING ASSEMBLIES SHALL MEET A MINIMUM STC OF 40.

THE ROOF PLANS. CRICKETS TO BE SLOPED PER SPECS. PROVIDE AN R-VALUE OF 30 FOR THE ROOF ASSEMBLY WITH BATT INSULATION BETWEEN THE ROOF JOISTS. INSTALLATION OF ROOFING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PROCEDURES. COORDINATE ROOFING INSTALL WITH ROOFTOP MECHANICAL EQUIPMENT, PLUMBING COMPONENTS AND ROOFTOP ACCESSORIES. INSTALL ROOF TRAFFIC SURFACING PRIOR TO INSTALLATION OF

ITEMS FROM MECHANICAL, PLUMBING, AND ELECTRICAL SCOPES MAY BE SHOWN FOR REFERENCE AND COORDINATION ONLY. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS, AND OTHER ITEMS ON THE BOODE SUBFACE ALL ROOF FLASHING TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. INSTALL ROOF SYSTEM AT PRIMARY ROOF SLOPES AS INDICATED ON

SHINGLE ROOFING ASSEMBLY ERA-2 O/ WOOD FRAMING TO MATCH EXISTING EDISON THEATER; SEE DETAIL 17/A10.41

WALKING PADS

SHINGLE ROOFING ASSEMBLY **ERA-3** O/ METAL DECK; SEE DETAIL 18/A10.41 PVC ROOFING ASSEMBLY ERA-1, SEE DETAIL 16/A10.41

NOT IN SCOPE, N.I.C. METAL SEAM ROOF

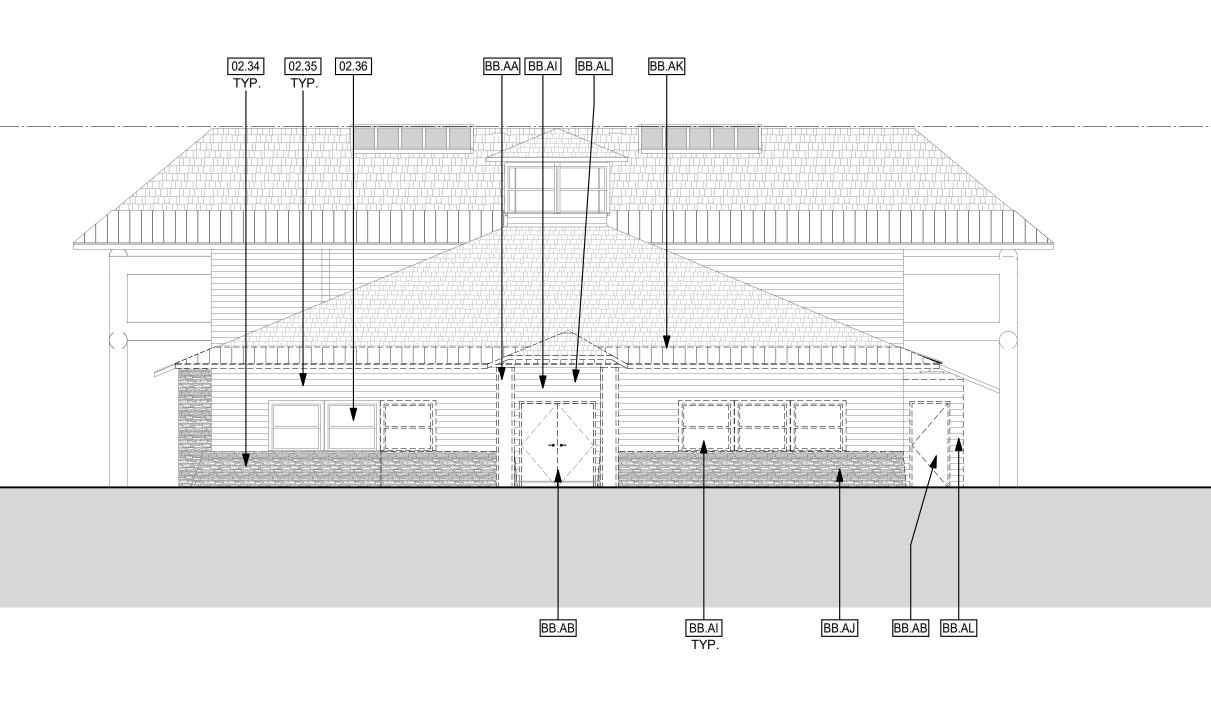
2375-009-100 C-32052 REN.05/31/25 909 989 9979 / www.hmcarchitects.com DATE Δ **DESCRIPTION**

07.27 ROOF HATCH | STC 50 MIN. | 11/A10.42 SMOKE VENT HATCH | STC 50 MIN | 3/A10.42 MANUFACTURED WOOD TRUSSES ON TOP OF (E) ROOF TO

HMC Architects



THE LINE SHOWN ABOVE IS EXACTLY ONE INCH LONG AT THIS SHEETS ORIGINAL PAGE SIZE		
4/1/2025 8:28:39 AM		



	AGENCY APPROVAL:
	Aammoth Lake
EXISTING ROOF LINE 30'-0 67/128"	
	HMC Architects 2375-009-100 3546 CONCOURS STREET ONTARIO, CA 91764 909 989 9979 / www.hmcarchitects.com
1ST FLOOR 0"	
	KEYNOTES
	 02.34 (E) STONE VENEER, PROTECT IN PLACE 02.35 (E) CEDAR EXTERIOR FINISH, PROTECT IN PLACE 02.36 (E) WINDOW, PROTECT IN PLACE BB.AA DEMOLISH (E) COLUMNS BB.AB DEMOLISH (E) DOORS BB.AI DEMOLISH (E) WINDOW BB.AJ DEMOLISH (E) STONE VENEER BB.AK DEMOLISH (E) METAL SEAM ROOF BB.AL DEMOLISH (E) WALL
EXISTING EDISON THEATER - EAST 1 ELEVATION - DEMO 1/8" = 1'-0"	

NOTES

FACILITY: MAMMOTH LAKES FOUNDATION 100 COLLEGE PKWY MAMMOTH LAKES, CA 93546

PROJECT: MAMMOTH ARTS & CULTURAL CENTER NEW BUILDING

SHEET NAME: **EXTERIOR ELEVATIONS - DEMOLITION**



DATE: 04/01/2025 SHEET:

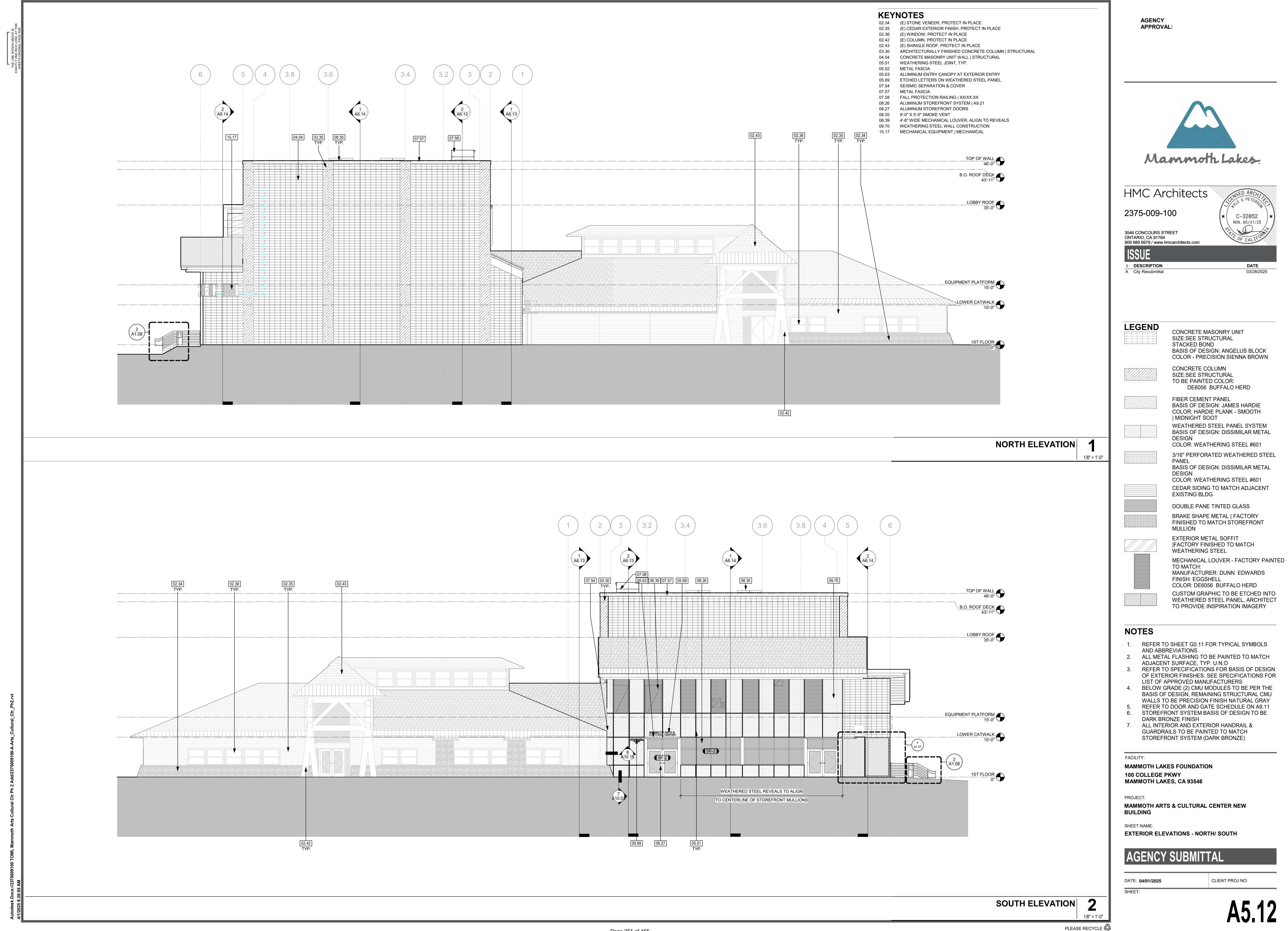


CLIENT PROJ NO:

AGENCY SUBMITTAL

~ ~ ammoth Lakes Architects)-100 C-32052 REN.05/31/25 STREET v.hmcarchitects.com DATE









	92.34 (E) STONE VENEER, PROTECT IN PLACE 92.35 (E) CEDAR EXTERIOR FINISH, PROTECT IN PLACE 92.36 (E) WINDOW, PROTECT IN PLACE 93.30 ARCHITECTURALLY FINISHED CONCRETE COLUMN 94.44 CONCRETE MASONRY UNIT WALL STRUCTURAL 95.51 WEATHERING STEEL 95.55 GUARDRAIL 3/A10.51 95.66 GUARDRAIL 3/A10.51 95.67 GUARDATE D WEATHERED STEEL PANEL 97.58 ETCHED LETTERS ON WEATHERED STEEL PANEL 97.59 ETCHED LETTERS ON WEATHERED STEEL PANEL 97.50 METAL FASCIA 97.55 EXPANSION JOINT, CMU WALL & ROOF STRUCTURE 97.56 EXPANSION JOINT AT ROOF REFER TO PLAN FOR TO THE FASCIA 97.57 METAL FASCIA 97.58 FALL PROTECTION RAILING XX/XX XX 97.60 Y 14" X 14" LOUVER, ALIGN TO CMU PAINT TO MAT 97.61 FALL PROTECTION RAILING LOUVER, ALIGN TO CMU PA 97.61 Y 14" MECHANICAL LOUVER, ALIGN TO CMU PA 97.61 Y 14" MECHANICAL LOUVER, ALIGN TO CMU PA 97.61 Y 14" MECHANICAL LOUVER, ALIGN TO CMU PA 97.61 Y 14" MECHANICAL LOUVER, ALIGN TO CMU PA 97.61	RAL DETAIL TCH SURROUNDING SURFACE AINT TO MATCH SURROUNDING SURF.	Ma	chitects 00 REET
		EAST ELEVATION	LEGEND 	CONCRETE MASONRY UNIT SIZE:SEE STRUCTURAL STACKED BOND BASIS OF DESIGN: ANGELUS BLOCK COLOR - PRECISION SIENNA BROWN CONCRETE COLUMN SIZE:SEE STRUCTURAL TO BE PAINTED COLOR: DE6056 BUFFALO HERD FIBER CEMENT PANEL BASIS OF DESIGN: JAMES HARDIE COLOR: HARDIE PLANK - SMOOTH MIDNIGHT SOOT WEATHERED STEEL PANEL SYSTEM BASIS OF DESIGN: DISSIMILAR METAL DESIGN COLOR: WEATHERING STEEL #601 3/16" PERFORATED WEATHERED STEEL PANEL BASIS OF DESIGN: DISSIMILAR METAL DESIGN COLOR: WEATHERING STEEL #601 CEDAR SIDING TO MATCH ADJACENT EXISTING BLDG DOUBLE PANE TINTED GLASS BRAKE SHAPE METAL FACTORY FINISHED TO MATCH STOREFRONT MULLION EXTERIOR METAL SOFFIT FACTORY FINISHED TO MATCH WEATHERING STEEL MECHANICAL LOUVER - FACTORY PAINTE
2	TOP OF WALL 46'-0" B.O. ROOF DECK 43'-11" LOBBY ROOF 35'-0"		AND ABB 2. ALL META ADJACEN 3. REFER TO OF EXTER LIST OF A 4. BELOW O BASIS OF WALLS TO	TO MATCH: MANUFACTURER: DUNN EDWARDS FINISH: EGGSHELL COLOR: DE6056 BUFFALO HERD CUSTOM GRAPHIC TO BE ETCHED INTO WEATHERED STEEL PANEL, ARCHITECT TO PROVIDE INSPIRATION IMAGERY O SHEET G0.11 FOR TYPICAL SYMBOLS REVIATIONS AL FLASHING TO BE PAINTED TO MATCH IT SURFACE, TYP. U.N.O O SPECIFICATIONS FOR BASIS OF DESIGN RIOR FINISHES. SEE SPECIFICATIONS FOR NPROVED MANUFACTURERS FRADE (2) CMU MODULES TO BE PER THE DESIGN, REMAINING STRUCTURAL CMU O BE PRECISION FINISH NATURAL GRAY O DOOR AND GATE SCHEDULE ON A9.11
	EQUIPMENT PLATFORM 15'-0" LOWER CATWALK 10'-0" 1ST FLOOR 0"		6. STOREFF DARK BR 7. ALL INTEL GUARDR STOREFF FACILITY: MAMMOTH LAK 100 COLLEGE F MAMMOTH LAK PROJECT: MAMMOTH ART BUILDING SHEET NAME: EXTERIOR ELE	RONT SYSTEM BASIS OF DESIGN TO BE ONZE FINISH RIOR AND EXTERIOR HANDRAIL & AILS TO BE PAINTED TO MATCH RONT SYSTEM (DARK BRONZE) CES FOUNDATION PKWY SES, CA 93546 TS & CULTURAL CENTER NEW VATIONS - EAST/ WEST
			AGENCY	SUBMITTAL
			DATE: 04/01/2025 SHEET:	CLIENT PROJ NO:
	V	WEST ELEVATION	2 1/8" = 1'-0"	A5.13

PLEASE RECYCLE



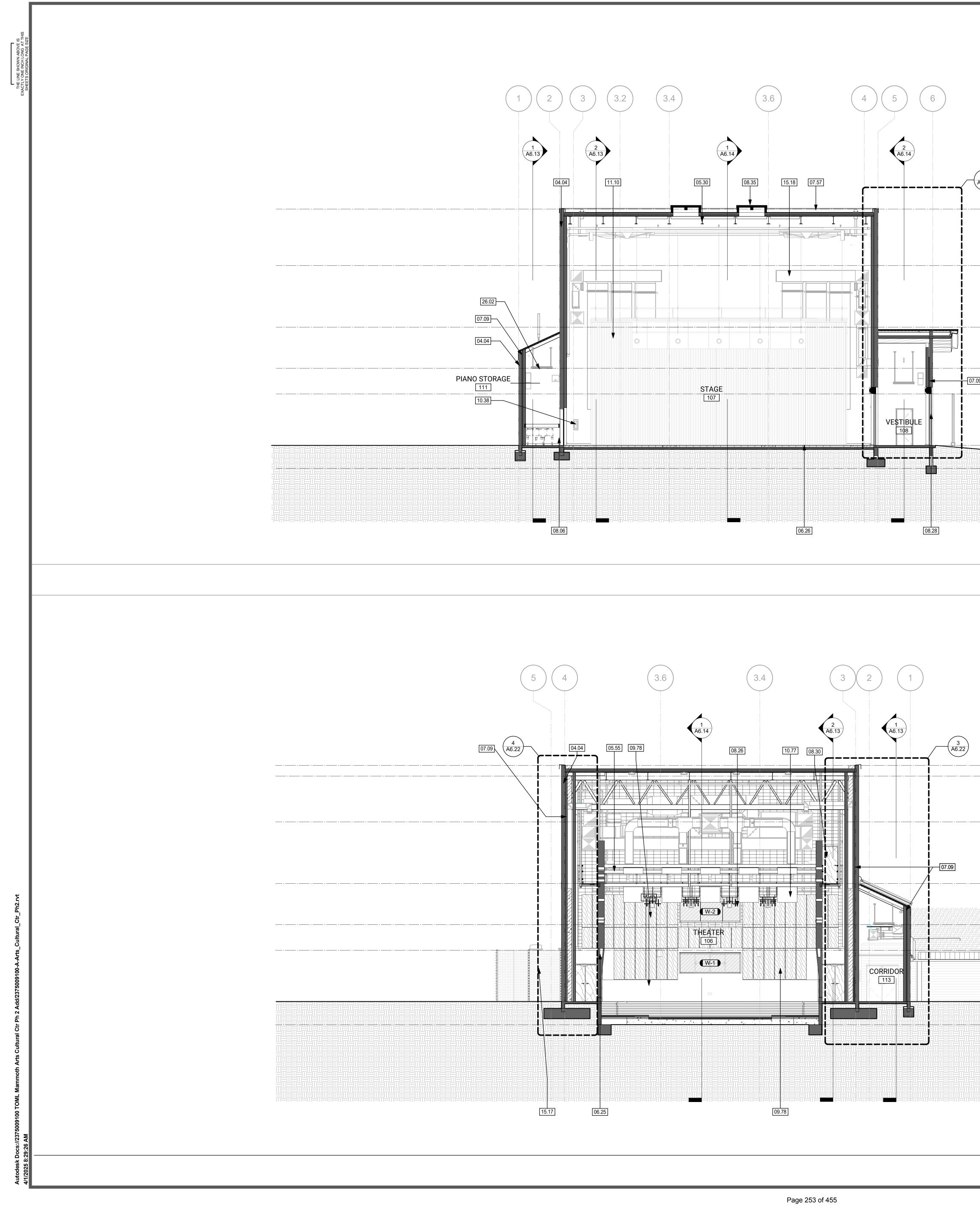
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ELEVATIONS - EAST/ WEST

MECHANICAL LOUVER - FACTORY PAINTED







AGEN
APPR

1 6.22	<u>TOP OF WALL</u> 46'-0"			Ma	Month Lakes.
	LOBBY ROOF 35'-0"		3	HMC Are 2375-009-1 546 CONCOURS STI NTARIO, CA 91764 29 989 9979 / www.hi	REET C= 32032 REN. 05/31/25
)] 	UPPER CATWALK 23'-0" EQUIPMENT PLATFORM 15'-0" LOWER CATWALK 10'-0"			DESCRIPTION	DATE
	1ST FLOOR O' O' BELOW GRADE -4'-6' O	STAGE LOOKING NOR		5.30 BEAM STR 5.55 CATWALK 6.25 CUSTOM V 6.26 PLYWOOD 7.09 2" RIGID IN 7.57 METAL FAS 8.06 HM DOOR 8.26 ALUMINUM 8.28 ROLL UP D 8.30 SOLID COF 8.35 9'-0" X 5'-0"	E MASONRY UNIT WALL STRUCTURAL RUCTURAL SYSTEM 6/A10.51 & STRUCTURAL SHEET S5.45 ERTICAL MILLWORK PANEL W/ GRAPHIC & LIGH STAGE THEATER SULATION
			1/8" = 1'-0"	0.77ACOUSTIC1.10THEATRIC/5.17MECHANIC5.18MECHANIC	D FIRE EXTINGUISHER CABINET 8/A10.91 AL REFLECTOR - REFER TO 2/A10.61 AL RIGGING AND DRAPES AUDIO VISUAL AL EQUIPMENT MECHANICAL AL DUCT MECHANICAL URE ELECTRICAL CONCRETE MASONRY UNIT SIZE:8X16 STACKED BOND
	TOP OF WALL 46'-0" B.O. ROOF DECK 43'-11"				BASIS OF DESIGN: ANGELUS BLOC COLOR - CUSTOM GRAPHIC TO BE ETCHED WEATHERED STEEL PANEL, ARCHI TO PROVIDE INSPIRATION IMAGER FIBER CEMENT PANEL BASIS OF DESIGN: JAMES HARDIE COLOR: HARDIE PLANK - SMOOTH MIDNIGHT SOOT
	LOBBY ROOF 35'-0"			NOTES	WEATHERING STEEL PANEL SYSTE BASIS OF DESIGN: COLOR: DOUBLE PANE TINTED GLASS
	UPPER CATWALK 23'-0" EQUIPMENT PLATFORM 15'-0" LOWER CATWALK 10'-0"		1 2 3 4	ABBREVIA SEE PLANS SEE STRUG INFORMAT	S FOR WALL TYPES. CTURAL DRAWINGS FOR MORE
	1ST FLOOR O" BELOW GRADE -4'-6"		N 1 N P N B S E	00 COLLEGE P AMMOTH LAK ROJECT: IAMMOTH ART UILDING HEET NAME: SUILDING SECT	ES, CA 93546 S & CULTURAL CENTER NEW IONS - TRANSVERSE
				AGENCY	SUBMITTAL



PLEASE RECYCLE



CLIENT PROJ NO:

CY SUBMITTAL

DATE: 04/01/2025

SHEET:

ARTS & CULTURAL CENTER NEW

LAKES, CA 93546

R TO SHEET G0.11 FOR TYPICAL SYMBOLS AND EVIATIONS.

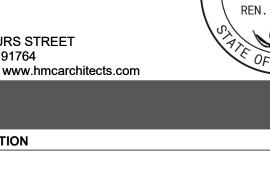
WEATHERING STEEL PANEL SYSTEM BASIS OF DESIGN: COLOR:

WEATHERED STEEL PANEL, ARCHITECT TO PROVIDE INSPIRATION IMAGERY

SIZE:8X16 STACKED BOND BASIS OF DESIGN: ANGELUS BLOCK COLOR -CUSTOM GRAPHIC TO BE ETCHED INTO

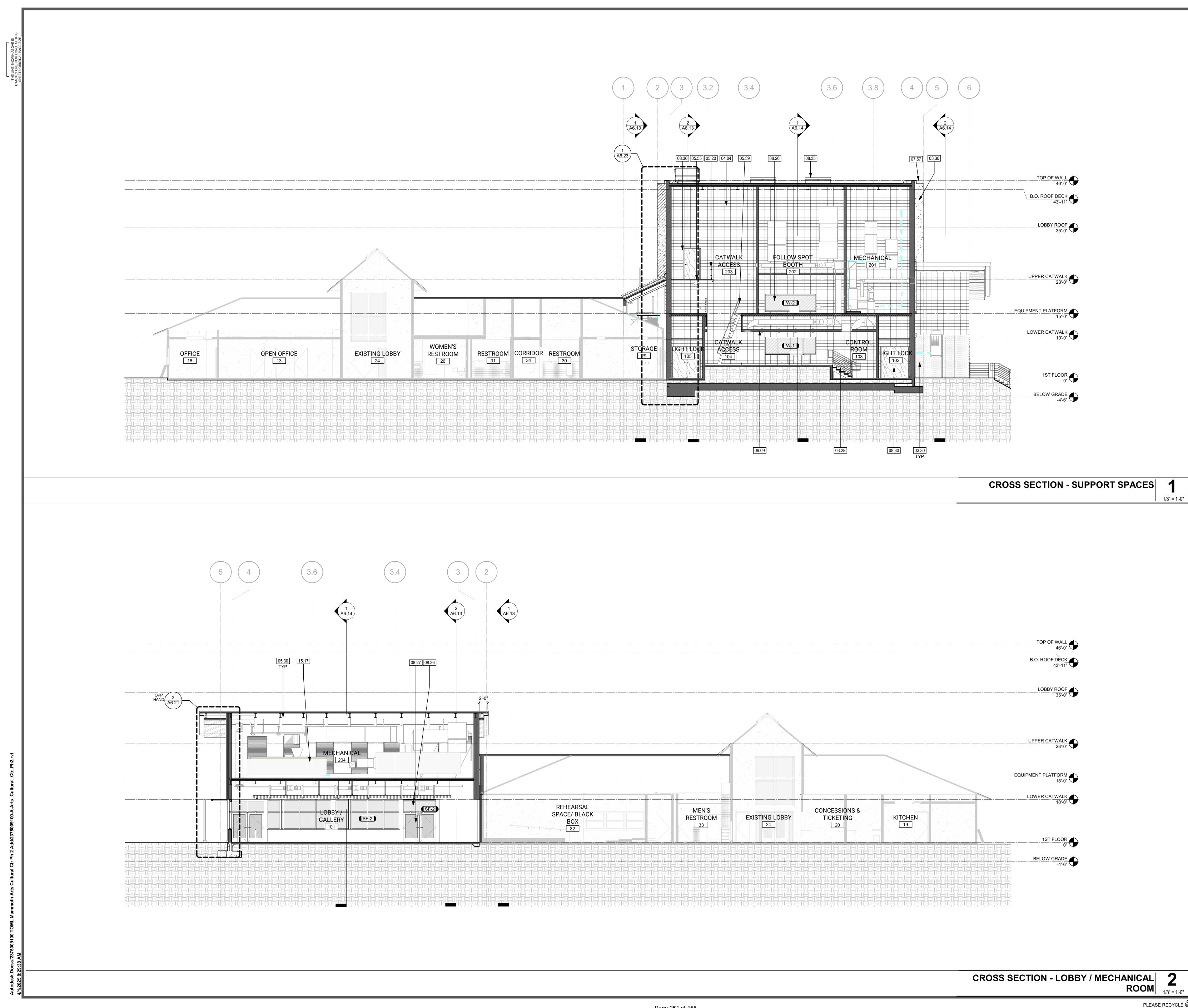
CONCRETE MASONRY UNIT

CRETE MASONRY UNIT WALL | STRUCTURAL M | STRUCTURAL NALK SYSTEM | 6/A10.51 & STRUCTURAL SHEET S5.45 TOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTING



REN. 05/31/25





HMC Architects 2375-009-100

3546 CONCOURS STREET ONTARIO, CA 91764 ISSUE Δ **DESCRIPTION**

KEYNOTES

03.28	CONC
03.30	ARCH STRU
04.04	CONC
05.20	STEE 1/S5.4
05.30	BEAN
05.39	ALTE 18/A1
05.55	CATV
07.57	META
08.26	ALUM
08.27	ALUM
08.30	SOLIE
08.35	9'-0" >
09.09	ACOL
15.17	MECH

LEGEND

NOTES

1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS.

FACILITY: 100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:

46'-0"			
B.O. ROOF DECK 43'-11"			
LOBBY ROOF 35'-0"			
23'-0"			
	ΕΕ.		
15'-0"			
LOWER CATWALK			
10'-0"			
		KITOUEN	DNCESSIONS &
		KITCHEN	TICKETING
			sta in <mark>LEX -</mark> King Atlantice
1ST FLOOR	1- // > 1		
1ST FLOOR 0"			
0"			
0"			
0"			
0"			

PLEASE RECYCLE



CLIENT PROJ NO:

AGENCY SUBMITTAL

BUILDING SECTIONS - TRANSVERSE

MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES, CA 93546

MAMMOTH LAKES FOUNDATION

2. SEE PLANS FOR WALL TYPES. 3. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. 4. REFER TO ROOF PLAN FOR ROOF ASSEMBLIES

DOUBLE PANE TINTED GLASS

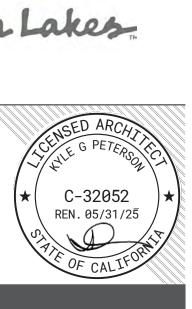
- | MIDNIGHT SOOT WEATHERING STEEL PANEL SYSTEM BASIS OF DESIGN: COLOR:
- FIBER CEMENT PANEL BASIS OF DESIGN: JAMES HARDIE COLOR: HARDIE PLANK - SMOOTH
- BASIS OF DESIGN: ANGELUS BLOCK COLOR -CUSTOM GRAPHIC TO BE ETCHED INTO WEATHERED STEEL PANEL, ARCHITECT TO PROVIDE INSPIRATION IMAGERY
- CONCRETE MASONRY UNIT SIZE:8X16 STACKED BOND
- MECHANICAL EQUIPMENT | MECHANICAL
- MINUM STOREFRONT DOORS ID CORE WOOD DOOR | DOOR SCHEDULE " X 5'-0" SMOKE VENT USTICAL CEILING | REFLECTED CEILING PLAN
- WALK SYSTEM | 6/A10.51 & STRUCTURAL SHEET S5.45 TAL FASCIA MINUM STOREFRONT SYSTEM | A9.21
- M | STRUCTURAL RNATING TREAD CATWALK ACCESS LADDER REFER TO 10.51
- CHITECTURALLY FINISHED CONCRETE COLUMN | ICRETE MASONRY UNIT WALL | STRUCTURAL EL GUARDRAIL AT CATWALK REFER TO STRUCTURAL

03.28 CONCRETE FILLED METAL PAN STAIRS | SEE A10.51

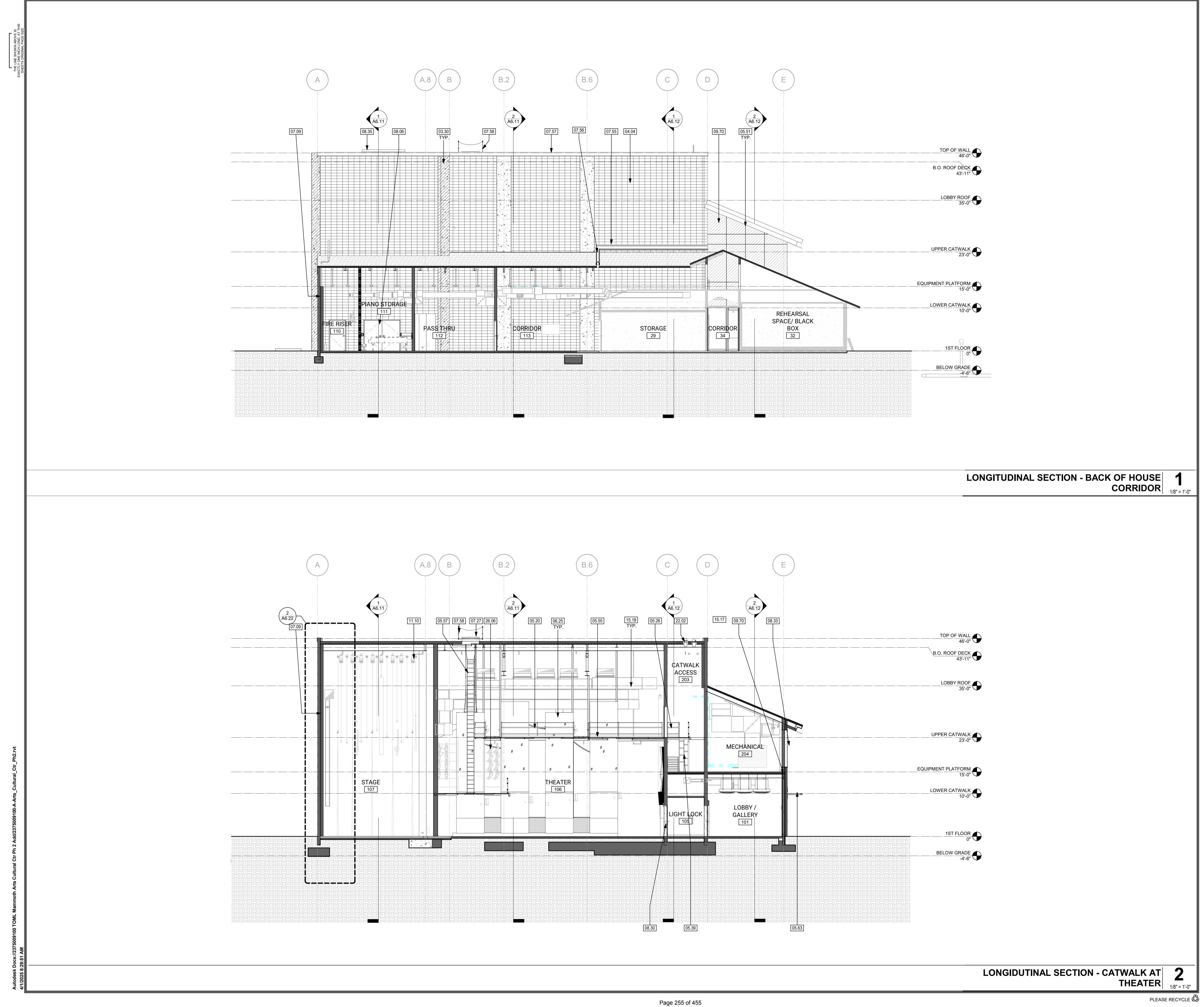


Mammoth Lakes





DATE



AGENCY

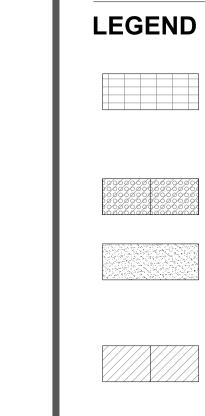
Mammoth Lakes

2375-009-100

ONTARIO, CA 91764 ISSUE

KEYNOTES

03.30	STRUC
04.04	CONCF
05.20	STEEL
	1/S5.45
05.26	42" STE
05.39	ALTER
	18/A10.
05.51	WEATH
05.55	CATWA
05.57	CAGED
05.63	ALUMI
06.25	CUSTC
07.09	2" RIGI
07.27	ROOF I
07.55	EXPAN
07.56	EXPAN
07.57	METAL
07.58	FALL P
08.06	HM DO
08.30	SOLID
08.33	ARCHI
	MATCH
	COLOR
08.35	9'-0" X :
09.70	WEATH
11.10	THEAT
15.18	MECHA



NOTES

1.	REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS.
2.	SEE PLANS FOR WALL TYPES.
3.	SEE STRUCTURAL DRAWINGS FOR MORE
	INFORMATION.
4.	REFER TO ROOF PLAN FOR ROOF ASSEMBLIES

FACILITY: 100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME:



DATE: 04/01/2025 SHEET:



CLIENT PROJ NO:

AGENCY SUBMITTAL

BUILDING SECTIONS - LONGITUDINAL

MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES, CA 93546

MAMMOTH LAKES FOUNDATION

COEOR.
DOUBLE PANE TINTED GLASS

COLOR: HARDIE PLANK - SMOOTH MIDNIGHT SOOT
WEATHERING STEEL PANEL SYSTEM BASIS OF DESIGN: COLOR [:]

TO PROVIDE INSPIRATION IMAGERY FIBER CEMENT PANEL BASIS OF DESIGN: JAMES HARDIE

SIZE:8X16 STACKED BOND BASIS OF DESIGN: ANGELUS BLOCK COLOR -CUSTOM GRAPHIC TO BE ETCHED INTO WEATHERED STEEL PANEL, ARCHITECT

CONCRETE MASONRY UNIT

26.06	THEATER LIGHT FIXTURE ELECTRICAL & AV			
22.02	ROOF DRAIN PLUMBING			
15.18	MECHANICAL DUCT MECHANICAL			
11.10	THEATRICAL RIGGING AND DRAPES AUDIO VISUAL			

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RIGID INSULATION DF HATCH | STC 50 MIN. | 11/A10.42 ANSION JOINT, CMU WALL & ROOF | STRUCTURAL ANSION JOINT AT ROOF REFER TO PLAN FOR DETAIL

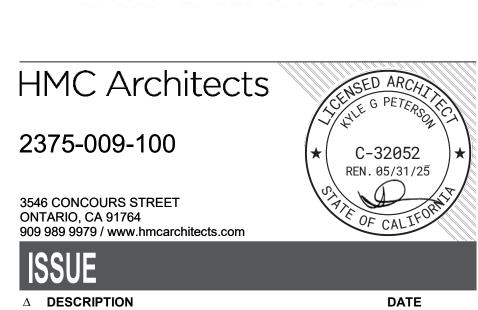
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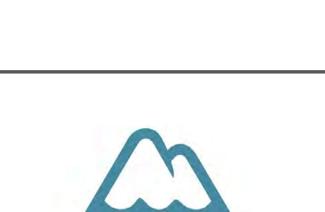
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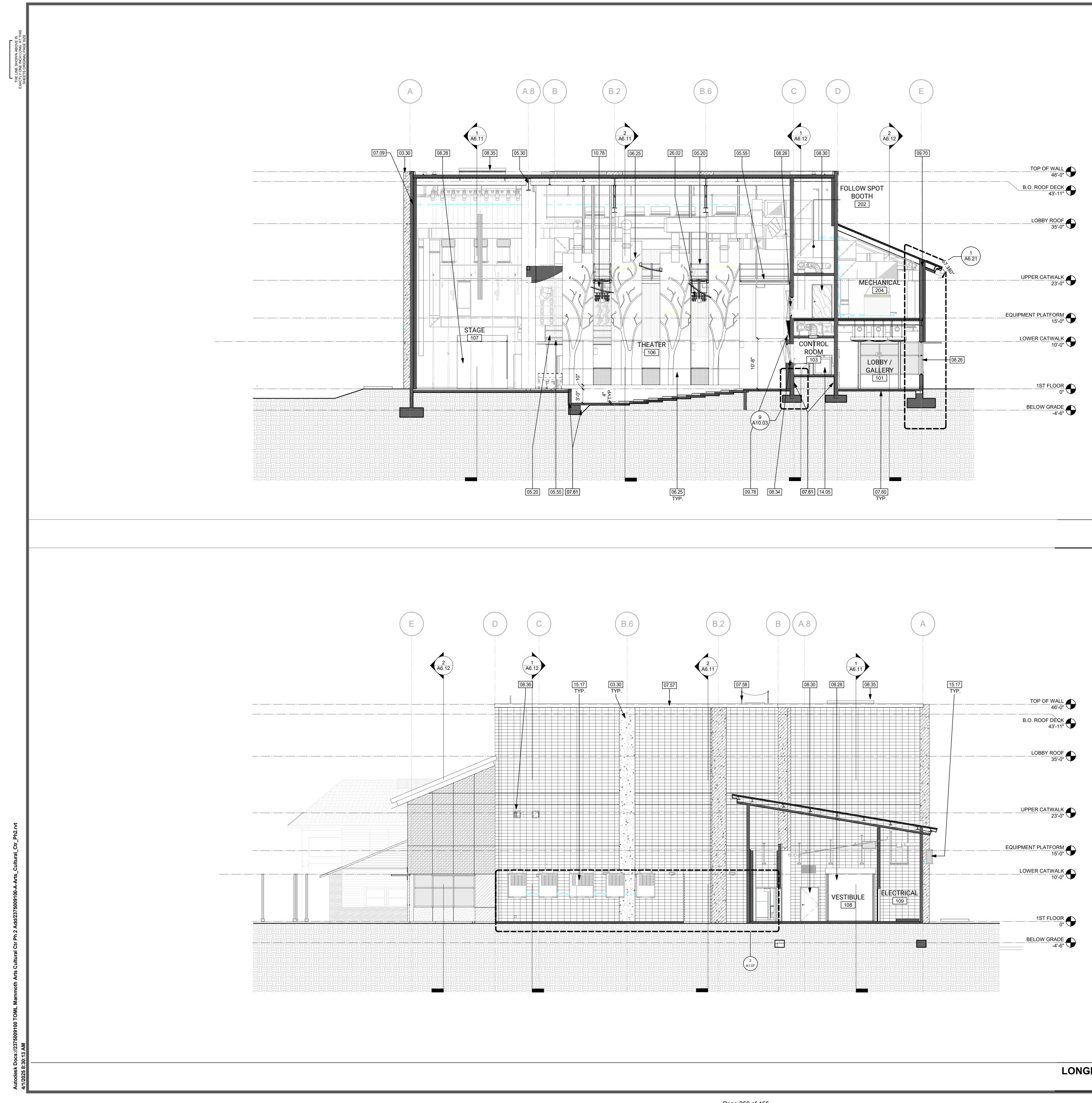
RUCTURAL ICRETE MASONRY UNIT WALL | STRUCTURAL

03.30 ARCHITECTURALLY FINISHED CONCRETE COLUMN |









AGENCY

Mammoth Lakes

2375-009-100

3546 CONCOURS STREET ONTARIO, CA 91764

ISSUE

KEYNOTES

07.57 METAL FASCIA 07.60 VAPOR RETARDER 08.34 08.35 1'-4" X 1'-4" LOUVER, ALIGN TO CMU | PAINT TO MATCH 08.36 SURROUNDING SURFACE 09.70 WEATHERING STEEL WALL CONSTRUCTION 09.78 CUSTOM ACOUSTIC VENEERED EXTRUSIONS

LEGEND

NOTES

FACILITY: 100 COLLEGE PKWY

PROJECT: BUILDING

SHEET NAME: **BUILDING SECTIONS - LONGITUDINAL**



DATE: 04/01/2025 SHEET:





1/8" = 1'-0"

LONGITUDINAL SECTION - STAGE/ THEATER 1/8" = 1'-0"



CLIENT PROJ NO:

AGENCY SUBMITTAL

MAMMOTH ARTS & CULTURAL CENTER NEW

MAMMOTH LAKES, CA 93546

MAMMOTH LAKES FOUNDATION

2. SEE PLANS FOR WALL TYPES. 3. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. 4. REFER TO ROOF PLAN FOR ROOF ASSEMBLIES

1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS.

DOUBLE PANE TINTED GLASS

WEATHERING STEEL PANEL SYSTEM BASIS OF DESIGN: COLOR:

FIBER CEMENT PANEL BASIS OF DESIGN: JAMES HARDIE COLOR: HARDIE PLANK - SMOOTH | MIDNIGHT SOOT

STACKED BOND BASIS OF DESIGN: ANGELUS BLOCK COLOR -CUSTOM GRAPHIC TO BE ETCHED INTO WEATHERED STEEL PANEL, ARCHITECT TO PROVIDE INSPIRATION IMAGERY

CONCRETE MASONRY UNIT SIZE:8X16

10.78 ACOUSTICAL REFLECTOR AT UNDERSIDE OF CATWALK -REFER TO 2/A10 14.05 WHEELCHAIR LIFT 15.17 MECHANICAL EQUIPMENT | MECHANICAL 26.02 LIGHT FIXTURE | ELECTRICAL

07.61 BELOW GRADE WATERPROOFING 08.26 ALUMINUM STOREFRONT SYSTEM | A9.21 08.28 ROLL UP DOOR | DOOR SCHEDULE 08.30 SOLID CORE WOOD DOOR | DOOR SCHEDULE ANGLED STOREFRONT AT CONTROL ROOM | A9.21 9'-0" X 5'-0" SMOKE VENT

07.58 FALL PROTECTION RAILING | XX/XX.XX

05.55 CATWALK SYSTEM | 6/A10.51 & STRUCTURAL SHEET S5.45 06.25 CUSTOM VERTICAL MILLWORK PANEL W/ GRAPHIC & LIGHTING 07.09 2" RIGID INSULATION

STRUCTURAL 05.20 STEEL GUARDRAIL AT CATWALK REFER TO STRUCTURAL 1/S5.45 05.30 BEAM | STRUCTURAL



03.30 ARCHITECTURALLY FINISHED CONCRETE COLUMN |

HMC Architects C-32052 REN.05/31/25 909 989 9979 / www.hmcarchitects.com



Attachment C

ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Mammoth Arts and Cultural Center (MACC)

November 29, 2023



Lead Agency:

Town of Mammoth Lakes 437 Old Mammoth Road Mammoth Lakes, CA 93546 Contact: Ms. Gina Montecallo Phone: (760) 965-3641 Email: gmontecallo@townofmammothlakes.ca.gov This document is designed for double-sided printing to conserve natural resources.

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ATTACHMENT

- 1 Habitat Assessment
- 2 Cultural Resources Memorandum
- 3 Transportation Analysis



1.0 INTRODUCTION

As Lead Agency, the Town of Mammoth Lakes (Town) prepared an Initial Study/Mitigated Negative Declaration (IS/MND) for the *Mammoth Arts and Cultural Center (MACC) Project* (approved project), sponsored by the Mammoth Lakes Foundation (MLF). The Town Council approved the *Mammoth Arts and Cultural Center (MACC) Project Initial Study/Mitigated Negative Declaration* (approved 2019 IS/MND) (State Clearinghouse [SCH] No. 2019042023) on April 10, 2019.

Following approval of the IS/MND, MLF has requested to modify the proposed theatre component (reducing the square footage and siting the facility closer to the existing building) and leasing the remainder of the MACC project site to the Town to construct and operate the following:

- Childcare center;
- Dog park; and
- Potential redevelopment of the Dog Park into an affordable townhome community.

These changes to the project are collectively referred to as the "modified project". Refer to <u>Section</u> 2.2, <u>Proposed Project Characteristics</u>, for a full description of the modified project.

This Addendum to the approved 2019 IS/MND has been prepared in accordance with the provisions of the California Environmental Quality Act (CEQA) statutes (California Public Resources Code [PRC] 21000 et seq.); the CEQA Guidelines (14 California Code of Regulations [CCR], 15000 et seq.); and the rules, regulations, and procedures for implementing CEQA as adopted by the Town of Mammoth Lakes. The purpose of the Addendum to the approved 2019 IS/MND is to determine whether the proposed project would result in new or substantially more severe significant environmental impacts compared with the impacts disclosed in the approved 2019 IS/MND.

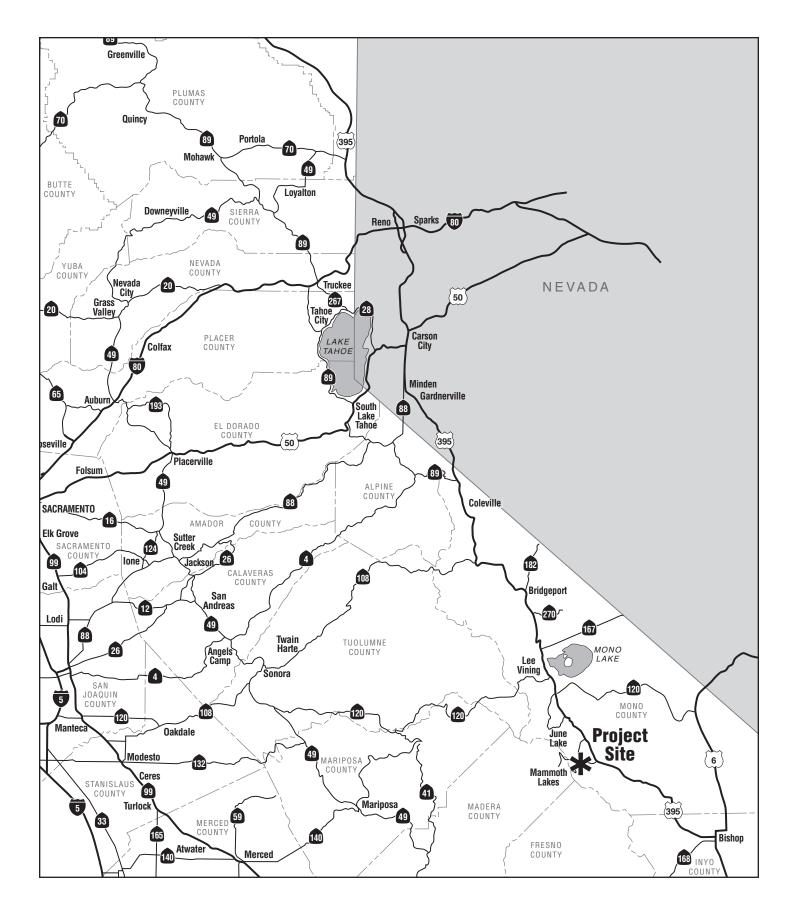
Additionally, project-specific impacts related to energy, vehicle miles traveled, tribal cultural resources, and wildfire were not specifically identified in the approved 2019 IS/MND as these topics were not subject matter that required evaluation pursuant to the CEQA Guidelines at the time the document was prepared. As such, this Addendum also analyzes the proposed project's impacts related to these topical areas.

As described in greater detail below, the Town finds that the previously approved 2019 IS/MND (SCH No. 2019042023) remains relevant in light of the proposed changes.

1.1 PROJECT LOCATION AND ENVIRONMENTAL SETTING

The 7.9-acre project site is located at the Cerro Coso Community College campus at 100 College Parkway in the Town of Mammoth Lakes (Mono County), California; refer to Exhibit 1, <u>Regional Vicinity</u>. The project site consists of predominantly vacant land, the existing Edison Theatre, and the associated parking lot; refer to Exhibit 2, <u>Site Vicinity</u>. Surrounding roadways include College Parkway and Meridian Boulevard. Mammoth Elementary School, a single-family residential community and the Cerro Coso Community College-Eastern Sierra Campus are also within the vicinity of the project site.

1



MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Regional Vicinity



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Exhibit 1







MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Site Vicinity



1.2 PREVIOUS ENVIRONMENTAL DOCUMENT

On April 10, 2019, the Town approved the *Mammoth Arts and Cultural Center (MACC) Project Initial Study/Mitigated Negative Declaration* (approved 2019 IS/MND), for the development of 298seat Performing Arts Theatre, 500-seat outdoor amphitheater, a new parking lot located east of the project site, and improvements to the existing parking lot east of the Edison Theatre. An existing unsignalized entryway from Meridian Boulevard to College Parkway would continue to serve as primary access to the project site. Additionally, approximately 17 trees would be removed on-site, while 14 trees would be protected in place. Last, utility improvements for the project would connect to the existing utilities that serve the existing Edison Theatre (i.e., utilities including sewer, water, storm drain systems, and dry utilities).

The Town, as the Lead Agency under the CEQA, determined that an Initial Study was required to review the existing conditions and analyze potential environmental impacts. The approved 2019 IS/MND was prepared in conformance with CEQA (PRC Section 21000 et seq.); CEQA Guidelines (CCR, Title 14, Section 15000 et seq.); and the rules, regulations, and procedures for implementation of CEQA, as adopted by the Town.

1.3 DOCUMENTS INCORPORATED BY REFERENCE

CEQA Guidelines Section 15150 permits and encourages environmental documents to incorporate by reference other documents that provide relevant data and analysis. The approved 2019 IS/MND referenced above is incorporated by reference herein, as well as those listed below. These documents are available for review at the Town of Mammoth Lakes Community and Economic Development Department, located at 437 Old Mammoth Road, Suite 230, Mammoth Lakes, CA 93546 and on the Town's website: <u>http://www.townofmammothlakes.ca.gov</u>.

1.3.1 Town of Mammoth Lakes General Plan 2007 (adopted August 2007)

The Town of Mammoth Lakes Town Council adopted the *Town of Mammoth Lakes General Plan* 2007 (General Plan) on August 15, 2007. The General Plan establishes standards, guidelines, and priorities that define the community now and for the future. The General Plan is organized by elements. Each element is introduced with an explanation of the intent of the goals, policies, and actions within that element. The General Plan contains the following elements:

- Economy;
- Arts, Culture, Heritage, and Natural History;
- Community Design;
- Neighborhood and District Character;
- Land Use;
- Mobility;
- Parks, Open Space and Recreation;
- Resource Management and Conservation; and
- Public Health and Safety.

It is noted that the Housing and Noise Elements were not updated as part of the General Plan. However, the latest Housing Element (i.e., the 2019-2027 Housing Element) was adopted on August 7, 2019. Additionally, the Town Council amended the Parks, Open Space, and Recreation



Element in 2012 with the addition of new policies and one additional goal, revoking the 1990 Parks and Recreation Element.

1.3.2 Final Program Environmental Impact Report for the Town of Mammoth Lakes 2005 General Plan Update (certified May 2007), SCH No. 2003042155

The Final Program Environmental Impact Report for the Town of Mammoth Lakes 2005 General Plan Update (General Plan PEIR) analyzed the environmental impacts associated with the update of the Town's General Plan. This update provided the Town's long-range comprehensive direction to guide future development and identified the community's environmental, social, and economic goals. The General Plan PEIR document was prepared as a Program EIR, which is intended to facilitate consideration of broad policy directions, program-level alternatives, and mitigation measures consistent with the level of detail available for the plan. The General Plan PEIR concluded significant and unavoidable impacts regarding aesthetics, air quality, biological resources, public safety and hazards, noise, public services and utilities, and recreation.

1.3.3 Town of Mammoth Lakes Municipal Code (current through Ordinance No. 22-02)

The *Town of Mammoth Lakes Municipal Code* (Municipal Code) consists of all the regulatory and penal ordinances and administrative ordinances of the Town of Mammoth Lakes. It is the method the Town uses to implement control of land uses, in accordance with General Plan goals and policies. Municipal Code Title 17, *Zoning*, is the Zoning Ordinance for the Town, which identifies land uses permitted and prohibited according to the zoning category of particular parcels. In 2015, the Town updated the Zoning Code along with General Plan Land Use Element Amendments and a Mobility Element Update, all of which collectively known as the Land Use Element/Zoning Code Amendments and Mobility Element Update (the 2016 Update).

1.3.4 Town of Mammoth Lakes General Plan Land Use Element/Zoning Code Amendments and Mobility Element Update Draft Environmental Impact Report

During the course of the Town's Zoning Code Update, a proposal was made to use floor area ratio (FAR) to regulate the intensity of development in the Town's commercial zoning districts. In response, the *Town of Mammoth Lakes General Plan Land Use Element/Zoning Code Amendments and Mobility Element Update Draft Environmental Impact Report* (Land Use Element/Zoning Code Amendmenting a FAR standard with no unit or room density limitations within the Town's commercial areas. The Land Use Element/Zoning Code Amendments and unavoidable impacts regarding air quality and public services.

1.3.5 Eastern Sierra College Center Mammoth Lakes Environmental Impact Report (certified November 1994), SCH No. 94012060

The Eastern Sierra College Center Mammoth Lakes Environmental Impact Report (ESCC EIR) addressed the environmental impacts associated with development of a College Center, Cultural Center, Upper Division College, and Student Housing, all completed in four separate phases. The ESCC project footprint included the project site. The proposed Cultural Center phase included the construction of a 21,000-square foot, 500-seat theatre on 2.5 acres and a 35,000-square foot 1,800-seat amphitheater (1,000 sloped and 800 grass) on 2.7 acres. The ESCC EIR determined that potentially significant environmental impacts with regard to land use compatibility, long-term



employment/housing, geologic/seismic, vegetation (weed establishment, insect infestations, and locally sensitive species), wildlife (noise, dust, lighting, roving pets, adjacent lands, and direct mortality), cultural resources, noise, air quality, and water resources would be mitigated to avoid or lessen adverse environmental effects of the project. Impacts regarding vegetation and wildlife as well as visual resources were determined to be significant and unavoidable. All other impact areas were determined to be less than significant.

1.3.6 Town of Mammoth Lakes Parks and Recreation Master Plan (adopted February 2012)

The Town of Mammoth Lakes Council adopted the *Town of Mammoth Lakes Parks and Recreation Master Plan* (Parks and Recreation Master Plan) on February 1, 2012, which assesses the Town's recreation needs for the future and establishes goals and policies that would guide park improvements. The Parks and Recreation Master Plan contains an analysis of the supply, demand, and needs for park and recreation facilities and services within the Town and includes a comprehensive assessment of public and private facilities available in and around Mammoth Lakes. It also recommends implementation strategies to help meet the challenges of providing parks and recreation facilities and a vision for developing parks and recreation within Mammoth Lakes for the next 17 years.



2.0 DESCRIPTION OF PROPOSED PROJECT

2.1 ADDENDUM'S PURPOSE AND NEED

When an Environmental Document has been certified for a project, CEQA Guidelines Section 15162 mandates that no subsequent or supplemental environmental review documentation shall be required unless one or more of the following events occurs:

- Substantial changes are proposed in the project, which will require major revisions of the previous Environmental Document due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
- 2) Substantial changes occur with respect to the circumstances under which the project is undertaken, which will require major revisions of the previous Environmental Document due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
- 3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous Environmental Document was certified as complete, shows any of the following:
 - A. The project will have one or more significant effects not discussed in the previous Environmental Document;
 - B. Significant effects previously examined will be substantially more severe than shown in the previous Environmental Document;
 - C. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
 - D. Mitigation measures or alternatives which are considerably different from those analyzed in the previous Environmental Document would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

When none of the above events has occurred, yet minor technical changes or additions to the previously adopted negative declaration are necessary, an Addendum may be prepared (CEQA Guidelines Section 15164[b]).

As discussed below, none of the conditions described in CEQA Guidelines Section 15162 calling for preparation of subsequent environmental review have occurred. This Addendum supports the conclusion that the proposed project would result in minor technical changes that do not result in any new significant environmental effects or a substantial increase in the severity of previously identified significant effects. In addition, as discussed below, the proposed project would not result in any new or substantially increased significant environmental impacts, no new mitigation



measures, and no new alternatives that would substantially reduce significant impacts. As a result, an Addendum is an appropriate CEQA document for analysis and consideration of the proposed project.

Circulation of an Addendum for public review is not necessary (CEQA Guidelines Section 15164[c]); however, the Addendum must be considered in conjunction with the adopted Final Environmental Document by the decision-making body (CEQA Guidelines Section 15164[d]).

2.2 PROPOSED PROJECT CHARACTERISTICS

In 2019, the Town of Mammoth Lakes analyzed the development of a 298-seat Performing Arts Theatre, 500-seat outdoor amphitheatre, a new 80-space parking lot located in the eastern portion of the project site, and improvements to the existing parking lot east of the existing Edison Theatre as part of the approved 2019 IS/MND; refer to Exhibit 3, *Original 2019 Site Plan*. As part of the approved project, an existing unsignalized entryway from Meridian Boulevard to College Parkway was proposed to serve as the primary access to the project site. Additionally, approximately 17 trees would be removed on-site, while 14 trees would be protected in place; refer to Exhibit 4, *Original 2019 Landscape Concept Plan*. The 298-seat Performing Arts Theatre would be constructed in the south/central portion of the project site along College Parkway. The theatre would include a 21,856-square foot main level, 2,184-square foot costume storage area, and a 1,454-square foot mechanical attic; refer to Exhibit 5, *Original 2019 Performing Arts Theatre Site Plan*. Last, utility improvements for the project would connect to the existing utilities that serve the existing Edison Theatre (i.e., utilities including sewer, water, storm drain systems, and dry utilities).

In 2022, MLF has requested to modify the theatre component (reducing the square footage and siting the facility at the existing Edison Theatre). The modified theatre would be a remodel/addition to the existing Edison Theatre facility. MLF would also construct an approximately 1,000-square foot storage building to the north of the existing Edison Theatre parking lot. Given that MLF would not develop the remainder of the project site, other than the outdoor amphitheatre, MLF proposes leasing the remainder of the site to the Town of Mammoth Lakes to construct and operate the following (refer to Exhibit 6, Overall Modified Conceptual Site Plan):

- Childcare center;
- Dog park; and
- Potential redevelopment of the Dog Park into an affordable townhome community.

For the purpose of this comparative analysis, the modified project would result in the same circulation, ingress/egress, parking, and landscaping as the approved project. Although it is acknowledged that the modified project would allow for one additional parking space in the Edison Theatre parking lot, compared to the approved project. The Landscaping Plan would be designed in accordance with the Municipal Code, and would be reviewed and confirmed by the Town at the time of Design Review.

Specific details of each modified project component are further described below.



Source: Design Workshop, Mammoth Fine Arts District Illustrative Plan, August 29, 2018.

05/2023 | JN 190838

NOT TO SCALE

Michael Baker INTERNATIONAL MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Original 2019 Site Plan

Exhibit 3



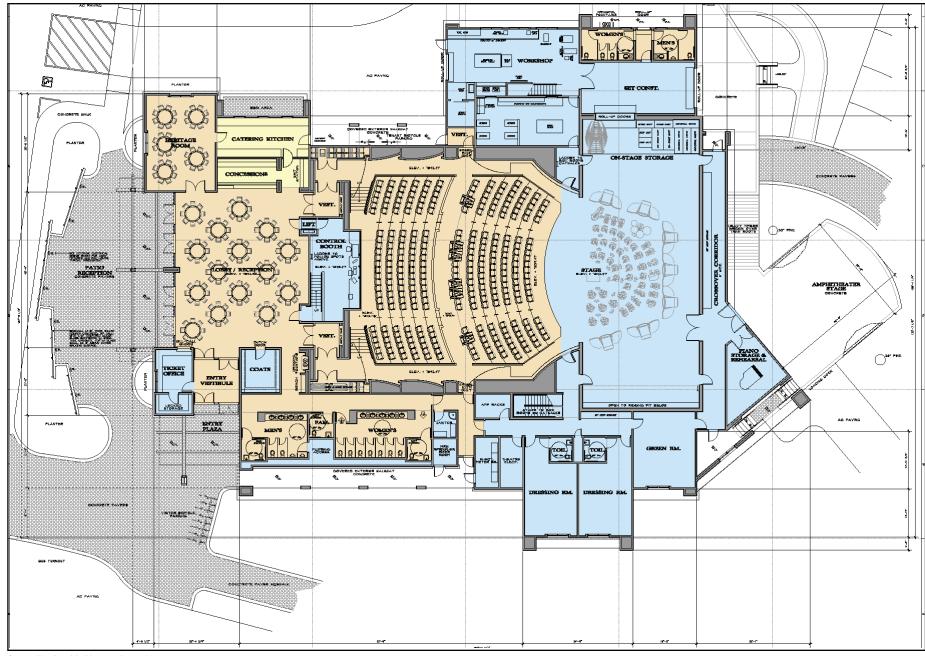


Source: Design Workshop, August 23, 2018.

MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Original 2019 Landscape Concept Plan



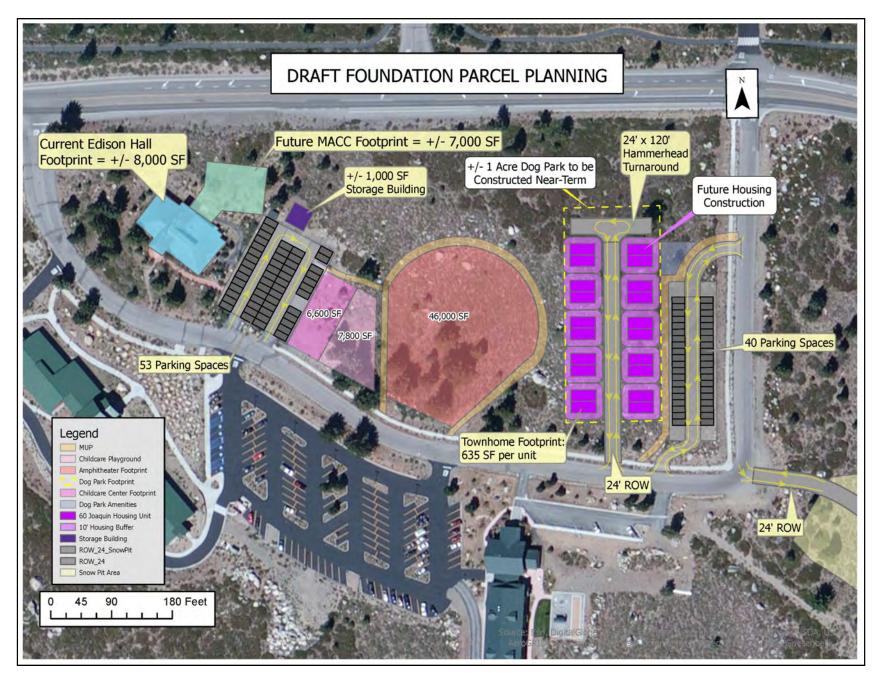


Source: Woodward Architecture, August 22, 2018



MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Original 2019 Performing Arts Theatre Site Plan



MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Overall Modified Conceptual Site Plan

05/2023 | JN 190838



2.2.1 Performing Arts Theatre

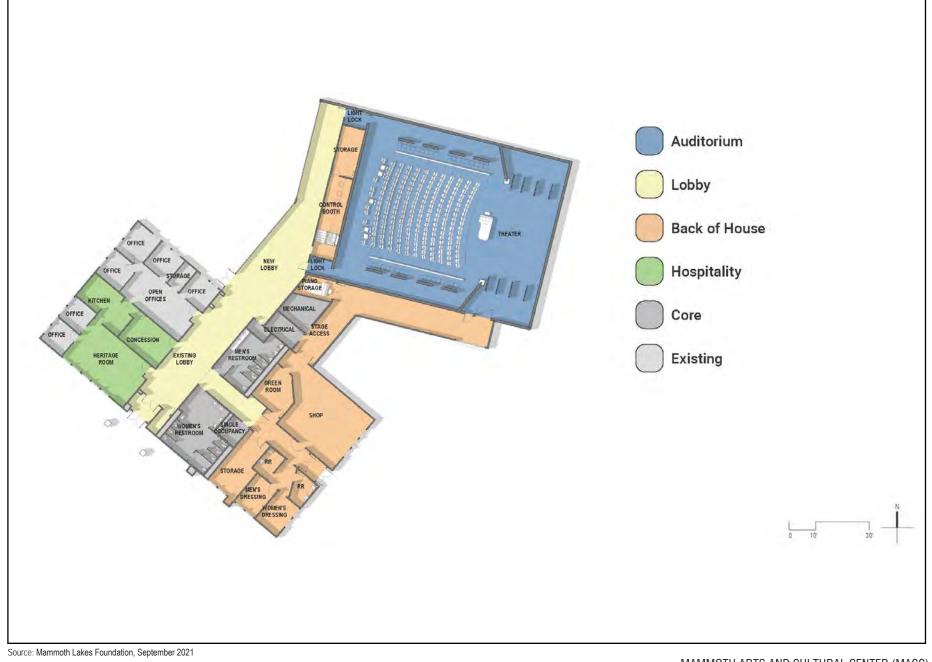
The modified project would no longer construct the 298-seat Performing Arts Theatre at the southcentral portion of the project site. Rather, the modified project would improve the existing Edison Theatre and construct a new addition Performing Arts Theatre, north of the building. The new theatre addition would connect to the existing Edison Theatre via an enclosed pedestrian connection, or "jewel box connector"; refer to Exhibit 7; <u>Modified Performing Arts Theatre Site</u> <u>Plan</u>.

The modified building would be total 15,655 square feet (8,705 net new square feet); refer to <u>Table 1</u>, <u>Proposed Performing Arts Theatre Building Square Footage</u>. The modified building would include the following components:

Description	Square Footage
Existing Square Footage	6,950
Existing Square Footage to Remain	2,280
Modified Building Square Footage	
Public Space	990
Back of House	2,390
Administrative Space	390
Ancillary Space	900
Subtotal	4,670
New Addition Square Footage	
Auditorium (250-seats)	5,890
Public Space	1,200
Back of House	1,190
Ancillary Space	425
Subtotal	8,705
Total Proposed Building Square Footage	15,655
Total Net New Square Feet	8,705

Table 1Proposed Performing Arts Theatre Building Square Footage

- <u>Auditorium</u>: The proposed theatre would include a 3,000-square foot auditorium containing approximately 250 seats. The proposed theatre would also include a 1,100-square foot stage.
- <u>Public Space</u>: A new lobby/reception area is also proposed at a reduced size of 1,200 square feet. The proposed lobby/reception area would be located adjacent to the proposed jewel box connector, and serve as the main entrance to the auditorium.
- <u>Back of House</u>: Additionally, a 450-square foot general storage room and an 80-square foot piano storage room would both be located east of the lobby/reception area. A 820-square foot access room would provide circulation to the stage. This area would also include a 290-square foot dressing room, a 1,060-square foot rehearsal space, and a 70-square foot restroom.



MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Modified Performing Arts Theatre Site Plan

Michael Baker

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- <u>Administrative Space</u>: Existing offices would remain.
- <u>Ancillary Space</u>: The project would remodel the existing structure to include restrooms, as well as construct new electrical/mechanical facilities to support the new theatre.

It is anticipated that approximately 40 to 50 full-time employees would be employed for the theatre.

2.2.2 Storage Building

The proposed project would construct a new 1,000-square foot storage building, north of the existing Edison Theatre parking lot. The proposed storage building would be used by the proposed theatre operation.

2.2.3 Childcare Center

Under the direction of the Town, the proposed project would construct an approximately 6,600square foot childcare center; refer to <u>Exhibit 6</u>. The new development would be located in the south/central portion of the project site along College Parkway. The proposed childcare center would include a 7,800-square foot ancillary playground. Vehicular and pedestrian access to the proposed childcare center would occur through the existing Edison Theatre Parking Lot. No more than 100 staffing and kids are anticipated at the childcare facility.

2.2.4 Dog Park

Under the direction of the Town, the proposed project would include an approximately one-acre dog park located east of the proposed outdoor amphitheater; refer to <u>Exhibit 6</u>. The proposed dog park would include a small dog park area and a large dog park area, as well as multiple amenities, such as hoops, benches, dog ramps, and stepping paws. An ancillary surface parking lot (40 parking spaces) would be constructed just east of the new dog park. The proposed parking lot would include two driveways connecting to College Parkway, to the east and to the south.

2.2.5 Future Townhomes

The Town proposes the option to redevelop the proposed dog park into a 24-unit affordable townhome community in the future. The project would condition the future units to be afforded to institutional employees pursuant to the Municipal Code requirements. The exact timing of this activity is unknown at this time. The proposed townhome community would consist of approximately 24 units in 10 buildings. All 24 for-sale townhome units would be moderate for-sale market rate and affordable units for the purpose of institutional employee housing. The new townhome development would be supported by a 24-foot drive isle as well as a 24-foot by 120-foot hammerhead turnaround at the northern terminus of the new drive isle. Project driveway access would be afforded from College Parkway to the south.



2.3 REQUESTED ACTIONS

The proposed project would include, but not be limited to, the following Town approvals:

Edison Theatre

• Major Design Review.

Child Care Center

• Design Review.

Dog Park

• Design Review.

Townhome Community

- Tentative Tract Map (for for-sale units); and
- Major Design Review.



3.0 MODIFIED INITIAL STUDY CHECKLIST

NEW SIGNIFICANT ENVIRONMENTAL EFFECTS OR SUBSTANTIALLY MORE SEVERE SIGNIFICANT ENVIRONMENTAL EFFECTS COMPARED TO THOSE IDENTIFIED IN THE PREVIOUS CEQA DOCUMENT. The subject areas checked below were determined to be new significant environmental effects or to be previously identified effects that have a substantial increase in severity either due to a change in project, change in circumstances, or new information of substantial importance, as indicated by the checklist and discussion on the following pages.

Aesthetics	Agriculture and Forestry	Air Quality
Biological Resources	Cultural Resources	Energy
Geology and Soils	Greenhouse Gas Emissions	Hazards/Hazardous Materials
Hydrology and Water Quality	Land Use and Planning	Mineral Resources
Noise	Population and Housing	Public Services
Recreation	Transportation	Tribal Cultural Resources
Utilities and Service Systems	Wildfire	Mandatory Findings of Sig.

DETERMINATION (To be completed by the Lead Agency): On the basis of this initial evaluation:

- No substantial changes are proposed in the project and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous approved ND or MND or certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Also, there is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, the previously adopted ND or MND or previously certified EIR adequately discusses the potential impacts of the project without modification.
- No substantial changes are proposed in the project and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous approved ND or MND or certified EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Also, there is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, the previously adopted ND, MND or previously certified EIR adequately discusses the potential impacts of the project; however, minor changes require the preparation of an ADDENDUM.
- Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous ND, MND or EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). However, all new potentially significant environmental effects or substantial increases in the severity of previously identified significant effects are clearly reduced to below a level of significance through the incorporation of mitigation measures agreed to by the project applicant. Therefore, a SUBSEQUENT MND is required.
- Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous environmental document due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). However, only minor changes or additions or changes would be necessary to make the previous EIR adequate for the project in the changed situation. Therefore, a SUPPLEMENTAL EIR is required.
- Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous environmental document due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, a SUBSEQUENT EIR is required.

Signature		

Date

Printed Name

For

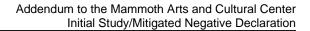


EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A finding of "No New Impact/No Impact" means that the potential impact was fully analyzed and/or mitigated in the prior CEQA document and no new or different impacts will result from the proposed activity. A brief explanation is required for all answers except "No New Impact/No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No New Impact/No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No New Impact/No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) A finding of "New Mitigation is Required" means that the project have a new potentially significant impact on the environment or a substantially more severe impact than analyzed in the previously approved or certified CEQA document and that new mitigation is required to address the impact.
- 3) A finding of "New Potentially Significant Impact" means that the project may have a new potentially significant impact on the environment or a substantially more severe impact than analyzed in the previously approved or certified CEQA document that cannot be mitigated to below a level of significance or be avoided.
- 4) A finding of "Reduced Impact" means that a previously infeasible mitigation measure is now available, or a previously infeasible alternative is now available that will reduce a significant impact identified in the previously prepared environmental document.
- 5) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 6) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analyses Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis. Describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the proposed action.
 - c) Infeasible Mitigation Measures. Since the previous EIR was certified or previous ND or MND was adopted, discuss any mitigation measures or alternatives previously found not to be feasible that would in fact be feasible or that are considerably different from those previously analyzed and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives.
 - d) Changes in Circumstances. Since the previous EIR was certified or previous ND or MND was adopted, discuss any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause a change in conclusion regarding one or more effects discussed in the original document.
- 7) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.



- 8) Supporting Information Sources. A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 9) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 10) The explanation of each issue should identify:
 - a) the significance criteria or threshold, if any, used to evaluate each question;
 - b) differences between the proposed activity and the previously approved project described in the approved ND or MND or certified EIR; and
 - c) the previously approved mitigation measure identified, if any, to reduce the impact to less than significance.





4.0 ENVIRONMENTAL ASSESSMENT

This comparative analysis has been undertaken to analyze whether the modified project would result in any new or substantially more severe significant environmental impacts as compared with the impacts disclosed in the approved 2019 IS/MND and subsequent addenda, if any. The comparative analysis discusses whether impacts are greater than, less than, or similar to the conclusions discussed in the approved 2019 IS/MND and subsequent addenda.

4.1 **AESTHETICS**

lssu	Jes:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Wo	uld the project:					
a.	Have a substantial adverse effect on a scenic vista?	Approved 2019 IS/MND Pages				\boxtimes
b.	Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	4.1-3				
C.	In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	Approved 2019 IS/MND Pages 4.1-3 to 4.1-7				
d.	Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?	Approved 2019 IS/MND Pages 4.1-7 to 4.1-8			\boxtimes	

(a) The approved 2019 IS/MND determined that implementation of the approved project would result in less than significant impacts on scenic vistas; particularly, the viewshed of the Sherwin Range and Mammoth Mountain (identified visual resources per the Town's General Plan). The approved 2019 IS/MND noted that although the approved project may result in nominal view blockage of the Sherwin Range from Meridian Boulevard based on the mass and scale of the originally proposed Performing Arts Theatre (with maximum height of 54 feet), views of the Sherwin Range would largely remain. Further, approved project implementation would not result in view obstruction of Mammoth Mountain (westward). Impacts would be less than significant in this regard.

The modified project would be located in the same project site of the approved project. Although there is no height limit in the P-QP zone, building height of any building proposed within the project



site is limited to the tree canopy height in accordance with General Plan Policy C.2.X, and compliment neighboring land uses and preserve views to the surrounding mountains in regard to building height, massing, and scale in accordance with General Plan Policy C.2.V. For reference, commercial zones adjacent to the project site to the west have maximum heights of 45 to 55 feet (Old Mammoth Road and Downtown zones, respectively). Overall, this modified project would result in a 15,655-square foot modified building for institutional uses, which is a smaller footprint than the 21,856-square foot Performing Arts Theatre originally proposed under the approved project. As such, the modified project is anticipated to result in similar or reduced impacts in regard to building height and massing.

Overall, all proposed structures under the modified project would maintain the Town's character of "village in the trees", and the overall views of the Sherwin Range would largely remain. Based on the smaller scale and massing of the proposed structures under the modified project as compared to those under the approved project, impacts in this regard would be reduced and no new mitigation measures are required.

(b) The approved 2019 IS/MND concluded no impacts would occur to scenic resources within a State scenic highway.

Based on the California Department of Transportation's *California Scenic Highway Mapping System*, there are no Officially Designated State Scenic Highways located in close proximity to the project site.¹ The modified project site is in the same location as the approved project site. Thus, the modified project would similarly have no impact on scenic resources within a State scenic highway.

(c) The approved 2019 IS/MND determined that compliance with the Town's Municipal Code, including the Town's Design Review process, would ensure the approved project's long-term impacts pertaining to the degradation of visual character/quality are less than significant.

The modified project would include the expansion of the existing Edison Theatre with the addition of a new, connecting Performing Arts Theatre; the construction of an approximately 1,000 squarefoot storage building; and the construction of a childcare center and a dog park. The modified project would also include redevelop of the dog part into a townhome community. Similar to the approved project, the modified project could alter the existing character of the site and surrounding area as new hardscapes and landscaping would be introduced to the project site. As discussed under Impact Statement 4.1(a), the proposed remodeling of Edison Theatre/addition of a new Performing Arts Theatre under the modified project would be reduced in massing and scale, compared to the originally approved Performing Arts Theatre. Further, the proposed future townhomes, under the modified project, would be limited to the tree canopy height in accordance with General Plan Policy C.2.X, complement compliment neighboring land uses and preserve views to the surrounding mountains in accordance with General Plan Policy C.2.V. As such, all proposed structures under the modified project would maintain the Town's character of "village in the trees". Overall, based on the smaller scale and massing of the proposed structures under the modified project, compared to those under the approved project, no new significant impacts have been identified and no new mitigation measures are required.

¹ California Department of Transportation, *California State Scenic Highway System Map*, https://caltrans.maps.arcgis.com/apps/webappviewer/index.html?id=465dfd3d807c46cc8e8057116f1aaca a, accessed February 6, 2023.



It is acknowledged that all tree removal activities would be required to comply with Municipal Code Section 17.36.140, *Tree Removal and Protection*. In accordance with Municipal Code Section 17.36.140, the Town's Community and Economic Development Director may require replacement planting. If required, replacements shall be limited to plantings in areas suitable for tree replacement with species identified in the Town's Recommended Plant List. The replacement ratio, tree sizes, and other requirements shall be determined by the Town's Community and Economic Development Director. Compliance with Municipal Code Section 17.36.140 would ensure potential impacts associated with pine tree removal under the modified project are reduced to less than significant levels. As such, no new significant impacts have been identified and no new mitigation measures are required in this regard.

Pursuant to Design Guidelines for the Town of Mammoth Lakes (Design Guidelines), the Community Development Department and/or an Advisory Design Panel (ADP) reviews project materials such as drawings, site development plans, landscape plans, building elevations, cross-sections, sample materials/color palettes, and visual simulations to determine compliance with the Design Guidelines. All Town staff and ADP findings and recommendations would be presented to the Planning Commission for a compliance determination. Overall, the Design Guidelines Review process would ensure that landscaping would enhance the character of the on-site development and would be required to be compatible with, and complementary to, the natural environment in Mammoth Lakes and the surrounding region. Proposed landscaping would be required to meet Municipal Code requirements, including tree replacement. Compliance with Town's Design Review process and Municipal Code Section 17.36.140 would ensure potential impacts on visual character/quality under the modified project are reduced to less than significant levels. As such, no new significant impacts have been identified and no new mitigation measures are required in this regard.

(d) The approved 2019 IS/MND determined that compliance with Municipal Code Chapter 15.08.020, *Hours of Working*, which limits construction activities to occur between 7:00 a.m. and 8:00 p.m. Monday through Saturday, and the approved 2019 IS/MND Mitigation Measure NOI-1, which requires all construction-related stationary equipment to be placed such that emitted noise (as well as lighting) is directed away from sensitive receivers, would reduce the approved project's construction-related light and glare impacts to less than significant levels. In regard to operational impacts, the approved 2019 IS/MND determined that compliance with Municipal Code Section 17.36.030, *Exterior Lighting*, which requires an outdoor lighting plan to be submitted in conjunction with the application for design review approval, would ensure the approved project's operational light and glare impacts are less than significant. Implementation of the approved 2019 IS/MND Mitigation Measure AES-1 would also require a non-reflective finish to be applied to the building materials, including the exterior building materials of the proposed Performing Arts Theatre. As such, the approved 2019 IS/MND concluded that compliance with the approved 2019 IS/MND Mitigation Measure AES-1 would ensure neighboring uses are not exposed to substantial daytime glare and impacts would be less than significant in this regard.

Similar to the approved project, short-term light and glare impacts associated with the modified project's construction activities would be limited to nighttime lighting (for security purposes) in the evening hours. Construction activities under the modified project would be limited to between 7:00 a.m. and 8:00 p.m. Monday through Saturday in accordance with Municipal Code Chapter 15.08.020. The modified project would also implement the approved 2019 IS/MND Mitigation Measure NOI-1, which requires all construction-related stationary equipment to be place such



that emitted noise (as well as lighting) would be directed away from sensitive receivers. Upon compliance with Municipal Code and implementation of the approved 2019 IS/MND Mitigation Measure NOI-1, the modified project's construction-related light and glare impacts would be reduced to less than significant levels. No new impacts have been identified and no new mitigation measures are required in this regard.

Similar to the approved project, implementation of the modified project would increase lighting at the project site during operations, compared to existing conditions. Compliance with Municipal Code Section 17.36.030. Exterior Lighting, which requires an outdoor lighting plan be submitted in conjunction with the application for design review approval, would ensure the modified project's operational light and glare impacts are less than significant. Specifically, exterior lighting associated with the proposed Performing Arts Centre, dog park, childcare center, and potential future townhomes would be required to comply with Municipal Code Section 17.36.030 and prepare an outdoor lighting plan for the Town's design review approval. The outdoor lighting plan would be required to show that all outdoor lighting fixtures are designed, located, installed, aimed downward or toward structures, retrofitted if necessary, and maintained to prevent glare, light trespass, and light pollution. Outdoor lighting installations associated with the modified project would be designed to avoid harsh contrasts in lighting levels between the project site and the adjacent properties. The modified project would also be required to implement the approved 2019 IS/MND Mitigation Measure AES-1, which would require a non-reflective finish to be applied to all applicable building materials to reduce potential daytime glare. With compliance with Municipal Code and implementation of the approved 2019 IS/MND Mitigation Measure AES-1, the modified project's operational light and glare impacts would be reduced to less than significant levels. No new significant impacts have been identified and no new mitigation measures are required in this regard.

Approved 2019 IS/MND Mitigation Measures

The following mitigation measures from the approved 2019 IS/MND are applicable to the modified project. Any modifications to the original measures are shown in strikethrough for deleted text and in <u>double underline</u> for new, inserted text.

Refer to Section 4.13, *Noise*, for the approved 2019 IS/MND Mitigation Measure NOI-1.

AES-1 Prior to issuance <u>of the</u> Building Permit<u>s</u>, the Town shall identify on the building plans that potential reflective building materials (e.g., the vertical ribbed metal siding, aluminum windows and doors, raw steel columns and beams, metal roofing, and steel doors) shall use a non-reflective finish.

New Mitigation Measures

No new mitigation measures are required.



4.2 AGRICULTURE AND FORESTRY RESOURCES

	Where Impact Was Analyzed	New	New	No New	
	in Prior	Potentially	Mitigation	Significant	
	Environmental	Significant	is	Impact/No	Reduced
Issues:	Documents	Impact	Required	Impact	Impact

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest protocols adopted by the California Air Resources Board. Would the project:

a.	Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	Approved 2019 IS/MND Page 4.2-1			
b.	Conflict with existing zoning for agricultural use, or a Williamson Act contract?	Approved 2019 IS/MND Page 4.2-1			
C.	Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	Approved 2019 IS/MND Page 4.2-2			
d.	Result in the loss of forest land or conversion of forest land to non-forest use?	Approved 2019 IS/MND Page 4.2-2		\boxtimes	

(a)-(e) The approved 2019 IS/MND confirmed that the project site and adjacent areas do not support agricultural use and are not designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance as shown on maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. The approved 2019 IS/MND also confirmed that although the project site and its surrounding vicinity are known for forest resources, the Town does not include zoning for forest land, timberland, or timberland production. Thus, project implementation would not conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g)). No impacts in this regard would occur.

The modified project is located within the same project site as the approved project and does not involve any land use changes related to agriculture, forest land, or timberland production. As such,



no new or substantially more severe impacts would occur, and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.3 AIR QUALITY

	Where Impact Was Analyzed in Prior	New Potentially	New Mitigation	No New Significant	Deduced
	Environmental	Significant	IS	Impact/No	Reduced
Issues:	Documents	Impact	Required	Impact	Impact

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a.	Conflict with or obstruct implementation of the applicable air quality plan?	Approved 2019 IS/MND Page 4.3-1		\boxtimes	
b.	Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non- attainment under an applicable Federal or State ambient air quality standard?	Approved 2019 IS/MND Pages 4.3-2 to 4.3-6			
c.	Expose sensitive receptors to substantial pollutant concentrations?	Approved 2019 IS/MND Page 4.3-6		\boxtimes	
d.	Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	Approved 2019 IS/MND Page 4.3-6			

(a) The project site is located within the Great Basin Valleys Air Basin (Basin), which is governed by the Great Basin Unified Air Pollution Control District (GBUAPCD). As a non-attainment area, the GBUAPCD was subject to the *State Implementation Plan* (SIP), later satisfied by the *Mammoth Lakes Air Quality Maintenance Plan and PM*₁₀ *Redesignation Request for the Town of Mammoth Lakes* (2014 AQMP) pursuant to the Federal Clean Air Act (FCAA). The approved 2019 IS/MND determined that the approved project would not conflict with the 2014 AQMP as development associated with the approved project would be consistent with what was anticipated in the General Plan and Zoning Code, and vehicle miles traveled (VMT) associated with the approved project is included in the General Plan buildout VMT estimate that was included in the



modeling for the 2014 AQMP. As such, the approved 2019 IS/MND concluded that a less than significant impact would occur in this regard.

As discussed in <u>Section 4.11</u>, <u>Land Use and Planning</u>, the site is designated Institutional Public (IP) and zoned Public and Quasi Public (P-QP). According to the General Plan, the IP land use designation allow for institutional uses such as schools, hospitals, governmental offices and facilities, museums, performing arts and cultural facilities, physical wellness and rehabilitation facilities, and related uses; residential uses are not permitted with the exception of employee housing that supports and is ancillary to the allowed institutional uses and student housing that is accessory to the College. According to the Municipal Code, the "P-QP" zone is intended to permit adequate identification of areas reserved and developed for public uses other than street rights-of-way, to provide for educational and cultural activities and facilities, to provide for expansion of their operations or change in use, and, to identify and preserve areas of historic and community significance for the enjoyment of future generations.

The modified project would include the expansion of the existing Edison Theatre with the addition of a new, connecting Performing Arts Theatre; the construction of an outdoor amphitheater as previously proposed under the approved project; the construction of an approximately 1,000-square foot storage building; and the construction of a childcare center and a dog park. The modified project also considers the future redevelopment of the dog park into an institutional employee (workforce) housing townhome community. As discussed in <u>Section 4.10</u>, <u>Land Use and Planning</u>, the future 24-unit institutional employee townhome community on the 7.9-acre site (3.04 units per acre) would be a permitted use under the site's existing land use designation and zoning, which allows a maximum of four units per gross acre.

Further, as detailed in the *Mammoth Arts and Cultural Center (MACC) – Trip Generation and VMT Analysis Update* (Transportation Analysis), prepared by LSC Transportation Consultants, Inc., dated November 27, 2023, the modified project would generate approximately 84 average daily trips, which represents a net decrease of 11 average daily trip compared to trips generated by the approved project (i.e., 95 trips); refer to <u>Attachment 3</u>, <u>Transportation Analysis</u>. As such, VMT associated with the modified project would be within the General Plan buildout VMT estimate would be similar to the approved project.

Overall, the modified project would not conflict with the 2014 AQMP as development associated with the modified project would be consistent with what was anticipated in the General Plan buildout, and VMT associated with the modified project would be included in the General Plan buildout VMT estimate that was utilized in the modeling for the 2014 AQMP. As such, no new impacts are identified and no new mitigation measures are required.

(b) According to the approved 2019 IS/MND, criteria pollutant emissions associated with the approved project were measured against the numerical standards developed by the Mojave Desert Air Quality Management District (MDAQMD) as the GBUAPCD does not maintain CEQA significance thresholds for criteria pollutant emissions other than State and Federal standards at the time of writing. According to the approved 2019 IS/MND, construction and operational emissions associated with the approved project would not exceed the applicable MDAQMD significance thresholds and would not result in a cumulatively considerable net increase of any criteria pollutant; refer to the approved 2019 IS/MND Table 4.3-2, *Maximum Daily Construction Emissions*, and Table 4.3-3, *Long-Term Operational Air Emissions*. Although the approved project may result in short-term air quality impacts from fugitive dust in the vicinity of the project site as a



result of construction activities, construction and operation of the proposed project would not result in long-term or cumulatively considerable increases in air pollution emissions for which Mono County is currently in nonattainment (ozone and PM₁₀).In addition, the approved project would be required to implement approved 2019 IS/MND Mitigation Measure AQ-1, which would minimize fugitive dust emissions and ensure compliance with GBUAPCD Rules. With implementation of Mitigation Measure AQ-1, the approved 2019 IS/MND concluded that construction and operation emissions associated with the approved project would result in less than significant impacts.

Short-Term Construction Impacts

Construction activities associated with the modified project would include tree removal, grading, paving, construction of buildings, and painting. Emitted pollutants would include volatile organic compound (VOC), carbon monoxide (CO), nitrogen oxides (NO_X), and particulate matter (PM_{10} and $PM_{2.5}$). The largest amount of VOC, CO, and NO_X emissions would occur during the earthwork phase. PM_{10} and $PM_{2.5}$ emissions would occur from fugitive dust (due to earthwork and excavation) and from construction equipment exhaust. Exhaust emissions from construction activities include emissions associated with the transport of machinery and supplies to and from the project site, emissions produced on-site as the equipment is used, and emissions from trucks transporting materials to and from the site.

Construction emissions associated with exhaust emissions (emissions associated with the transport of machinery and supplies to and from the project site, emissions produced on-site as the equipment is used, and emissions from trucks transporting materials to and from the site) are anticipated to be lower under the modified project due to technological advances expected over time, as construction of the approved project was scheduled to begin in 2019 and conclude in 2020.

In regard to the proposed structures, the modified project would no longer construct the 298-seat, 21,856-square foot Performing Arts Theatre. Rather, the modified project would improve the existing Edison Theatre and construct a new smaller 250-seat, 5,890-square foot Performing Arts Theatre north of the Edison Theatre. As such, this modified project would result in the construction of a 15,655-square foot modified building (8,705 net new square feet), which is a smaller footprint than the 21,856-square foot Performing Arts Theatre originally proposed under the approved project. Overall, the buildings proposed under the modified project (including the 15,655-square foot childcare center) would total approximately 15,380 square feet, which would be lower than the originally proposed 21,464-square foot Arts and Cultural Center under the approved project.

In regard to outdoor spaces, it should be noted that the modified project would result in the similar parking (one additional parking space) and landscaping as the approved project. The modified project would include an outdoor amphitheater (which remains from the approved project) a 7,800-square foot ancillary playground for the childcare center, and a one-acre dog park. Construction-related impacts from construction of the outdoor amphitheater would be the same as approved project, and the ancillary playground and dog park are not anticipated to generate substantial air emissions as only grading and minimal paving would be involved. As such, the construction-related air quality impacts resulting from the modified project are anticipated to be less than or similar to what as previously envisioned under the approved project.



Finally, in regard to the potential redevelopment of the dog park into a 24-unit townhome community, the proposed townhome development would be consistent with the General Plan and Zoning designation of the existing site. As such, the modified project would be considered consistent with the growth forecasts of the GBUAPCD and 2014 AQMP, and would not cause new impacts as compared to the approved project.

Overall, changes under the modified project are not anticipated to result in a substantial increase in criteria pollutant emissions, including ozone and PM_{10} , in a manner that would exceed MDAQMD significance thresholds during project construction. In addition, the modified project would be required to implement the approved 2019 IS/MND Mitigation Measure AQ-1, which would minimize fugitive dust emissions and ensure compliance with GBUAPCD Rules during project construction. With implementation of approved 2019 IS/MND Mitigation Measure AQ-1, the modified project is not anticipated to result in any new or potentially adverse construction-related air quality impacts not previously considered and addressed in the approved 2019 IS/MND. No new significant impacts are identified and no new mitigation measures are required.

Long-Term Operational Impacts

Long-term air quality impacts typically consist of mobile source emissions generated from projectrelated traffic and from stationary source emissions from combustion to produce space heating, water heating, other miscellaneous heating, or air conditioning, consumer products, and landscaping.

As detailed above, implementation of the modified project involves reduced total building footprint and would develop more outdoor uses (only minimal lighting and water uses may result in emissions) as compared to the approved project. As such, operational impacts from stationary sources (e.g., mechanical equipment, landscaping, and HVAC equipment) would be similar to existing conditions and would not substantially increase operational emissions. The modified project would also potentially accommodate a 24-unit townhome community in place of the proposed dog park. Higher density infill housing typically increase energy and water efficiency and reduce VMT when compared to that of lower density housing. As detailed in the Transportation Analysis, the modified project would generate approximately 84 average daily trips, which represents a net decrease of 11 average daily trip compares to trips generated by the approved project (i.e., 95 trips); refer to Attachment 3. As such, the modified project is not anticipated to result in any new or potentially adverse operational air quality impacts not previously considered and addressed in the approved 2019 IS/MND and is not anticipated to exceed the MDAQMD's significance thresholds or cumulatively contribute to the nonattainment designations of the ozone and PM₁₀. No new impacts are identified and no new mitigation measures are required.

(c) The approved 2019 IS/MND concluded that as local fugitive dust, CO, and/or ozone precursor emissions generated during the operational phase of the approved project would be minimal and the approved project would be required to comply with all applicable GBUAPCD Rules and dust control measures in accordance with the approved 2019 IS/MND Mitigation Measure AQ-1, the approved 2019 IS/MND concluded that the approved project would not expose sensitive receptors to substantial pollutant concentrations and less than significant impacts would occur in this regard.



Sensitive uses near the project site include Mammoth Elementary School and single-family residences to the north, Mammoth Middle School to the northwest, Mono County Library to the west, and South Gateway Student Apartments to the south.

As detailed above, the buildings proposed under the modified project (including the 15,655-square foot modified building, 1,000 square foot storage building and the 6,600-square foot childcare center) would total approximately 15,380 square feet, which would result in a reduced buildout compared to the originally proposed 21,464-square foot Arts and Cultural Center under the approved project. In regard to outdoor spaces, the modified project would include surface parking lot and an outdoor amphitheater similar to that proposed under the approved project; a 7,800-square foot ancillary playground for the childcare center, and a one-acre dog park. Construction-related impacts from construction of the outdoor amphitheater would be the same as approved project, and the ancillary playground and dog park are not anticipated to generate substantial air emissions as only grading and minimal paving would be involved. Further, construction of the approximately 38,100-square foot future townhomes would not be located near sensitive receptors and residential uses are not typically associated with substantial air pollutant emissions.

As such, the modified project is not anticipated to result in substantial air pollutant concentrations. In addition, the modified project would be required to implement the approved 2019 IS/MND Mitigation Measure AQ-1, which would minimize fugitive dust emissions and ensure compliance with GBUAPCD Rules during project construction. With implementation of approved 2019 IS/MND Mitigation Measure AQ-1, the modified project is not anticipated to result substantial pollutant concentrations not previously considered and addressed in the approved 2019 IS/MND. No new impacts are identified and no new mitigation measures are required.

(d) According to the approved 2019 IS/MND, odor impacts from construction activities would be intermittent, short-term in nature, and cease upon project completion, and operational odor impacts is not anticipated as no odor-generating land uses were proposed. As such, the approved 2019 IS/MND concluded that less than significant impacts would occur in this regard.

Similar to the approved project, construction-related odor impacts from the modified project would be short-term and cease upon project completion, and the modified project does not include any odor-generating land use. As such, no new impacts are identified and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

The following mitigation measures from the approved 2019 IS/MND are also applicable to the modified project. Any modifications to the original measures are shown in strikethrough for deleted text and in <u>double underline</u> for new, inserted text.

AQ-1 Prior to approval of the project plans and specifications, the Public Works Director, or designee, shall confirm that the plans and specifications stipulate that, in compliance with GBUAPCD Rule 401, excessive fugitive dust emissions shall be controlled by regular watering or other dust preventive measures, as specified in the GBUAPCD Rules and Regulations. In addition, GBUAPCD Rule 402 requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. Implementation of the following measures would reduce short-term fugitive dust impacts on nearby sensitive receptors:



- All active portions of the construction site shall be watered to prevent excessive amounts of dust;
- On-site vehicles' speed shall be limited to 15 miles per hour (mph);
- All on-site roads shall be paved as soon as feasible or watered periodically or chemically stabilized;
- All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust; watering, with complete coverage, shall occur at least twice daily, preferably in the late morning and after work is done for the day;
- If dust is visibly generated that travels beyond the site boundaries, clearing, grading, earth moving or excavation activities that are generating dust shall cease during periods of high winds (i.e., greater than 25 mph averaged over one hour); and
- All material transported off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust.

New Mitigation Measures

Service?

No new mitigation measures are required.

4.4 **BIOLOGICAL RESOURCES**

lss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
Wo	ould the project:					
a.	Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	Approved 2019 IS/MND Pages 4.4-1 to 4.4-3				
b.	Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife	Approved 2019 IS/MND Page 4.4-3				



lss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
C.	Have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	Approved 2019 IS/MND Page 4.4-3				
d.	Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	Approved 2019 IS/MND Pages 4.4-4 to 4.4-5				
e.	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	Approved 2019 IS/MND Page 4.4-5				
f.	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan?	Approved 2019 IS/MND Page 4.4-5				

This section is based on the *Habitat Assessment for the Addendum to the Mammoth Arts and Cultural Center Project located in the Town of Mammoth Lakes, Mono County, California* (Habitat Assessment), prepared by Michael Baker International, dated March 17, 2023; refer to <u>Attachment 1, *Habitat Assessment*</u>.

(a) The approved 2019 IS/MND determined that no special-status plant species were observed within the project site and that the project site does not provide suitable habitat for any special-status plant species. Additionally, the approved 2019 IS/MND determined that special-status plant communities do not occur within the project site, and the project site is not located within any designated Critical Habitat. While the project site has high potential to support western white-tailed jackrabbit (*Lepus townsendii townsendii*) and low potential to provide suitable foraging habitat for northern goshawk (*Accipiter gentilis*) and prairie falcon (*Falco mexicanus*), the approved 2019 IS/MND determined that the project site does not provide high quality habitat for these species and that the undeveloped, natural areas to the south of the site, including Mammoth Creek, provide ample habitat for these species. Therefore, impacts were determined to be less than significant in this regard.

The modified project would encompass the same project site as the approved project. As such, and similar to the approved project, the modified project would not provide suitable habitat for any special-status plant species, special-status plant communities would not occur within the project site, and the and the project site is not located within any designated Critical Habitat. Additionally, while the project site would have high potential to support western white-tailed jackrabbit and low potential to provide suitable foraging habitat for northern goshawk, similar to the approved project, the project site would not provide high quality habitat for these species. Further, undeveloped,



natural areas to the south of the project site, including Mammoth Creek, would provide ample habitat for these species. As such, no new impacts to special status species would occur, and no new mitigation measures are required.

(b) The approved 2019 IS/MND found that no jurisdictional drainage and/or wetland features were observed within or adjacent to the project site that would be considered jurisdictional by the U.S. Army Corps of Engineers (Corps), Regional Water Quality Control Board (Regional Board), or California Department of Fish and Wildlife (CDFW), and as such, no impact would occur in this regard. Further, the Mono Pumice Flat and Water Birch Riparian Scrub, both special-status plant communities, were not observed on-site.

The modified project would encompass the same project site as the approved project. As such, and similar to the approved project, no drainage and/or wetland features would occur within or adjacent to the project site that would be considered jurisdictional by the Corps, Regional Board, or CDFW. Additionally, based on the Habitat Assessment, the Mono Pumice Flat and Water Birch Riparian Scrub special-status plant communities were not observed on-site. As such, no new impacts to any riparian habitat or other sensitive natural community would occur, and no new mitigation measures are required.

(c) As stated above, the approved 2019 IS/MND found that no jurisdictional drainage and/or wetland features were observed within or adjacent to the project site that would be considered jurisdictional by the Corps, Regional Board, or CDFW. As such, no impact would occur in this regard.

The modified project would encompass the same project site as the approved project. Based on the Habitat Assessment, and similar to the approved project, no drainage and/or wetland features would occur within or adjacent to the project site that would be considered jurisdictional by the Corps, Regional Board, or CDFW, and the modified project would not result in the direct removal, filling, hydrological interruption, or other direct or indirect impact to wetlands under jurisdiction of regulatory agencies. Accordingly, no new impacts are identified, and no new mitigation measures are required.

(d) While the project site is located 0.3-mile north of Mammoth Creek, an area that provides opportunities for wildlife movement, the approved 2019 IS/MND determined that implementation of the approved project would not result in impacts to the creek. Further, the project site was not found to be located within any local or regional designated migratory corridors or linkages. As such, impacts in regard to habitat linkages and wildlife corridors would be less than significant.

The approved 2019 IS/MND found that plant communities, vegetated areas, and open ground areas within the project site provide foraging and nesting opportunities for species protected pursuant to the Migratory Bird Treaty Act (MBTA), the Bald and Golden Eagle Protection Act, and the California Fish and Game Code. As such, Mitigation Measure BIO-1 would require a qualified biologist to conduct a pre-construction nesting bird clearance survey should project activities be initiated during the nesting season (February 1 to August 31). Implementation of Mitigation Measure BIO-1 would reduce approved project impacts on nesting bird species to less than significant levels.

The modified project would encompass the same project site as the approved project. While the project site would have a less than significant impact in regard to habitat linkages and wildlife



corridors, similar to the approved project, and based on the Habitat Assessment, project activities for the modified project that occur during the nesting season (January 1st through August 31st) could impact bird species protected by the MBTA, the Bald and Golden Eagle Protection Act, or the California Fish and Game Code. As such, the modified project would be required to implement Mitigation Measure BIO-1 in order to ensure impacts to protected nesting birds remain less than significant.

(e) According to the approved 2019 IS/MND, the approved project would remove 17 of 41 existing trees on-site (14 trees to remain). Pursuant to Municipal Code Section 17.36.140, the approved project would be required to provide grading or building permit(s) depicting the location, type and size of all trees proposed for removal. It was also anticipated that tree replacement may be required. The 2019 IS/MND determined that compliance with the Town's Municipal Code requirements would ensure project impacts on the 17 pine trees proposed for removal as part of the approved project would be reduced to less than significant levels.

Similar to the approved project, the modified project would result in pine tree removal. As such, and as recommended by the Habitat Assessment, a tree removal and protection plan would be prepared that is consistent with the standards of Municipal Code Section 17.36.140 in order to ensure impacts to biological resources due to modified project implementation would remain less than significant. Thus, no new significant impacts have been identified, and no new mitigation measures are required.

(f) According to the approved 2019 IS/MND, the project site and surrounding vicinity are not located within an area covered by a Habitat Conservation Plan or Natural Community Conservation Plan. As such, no impact would occur in this regard.

The modified project would encompass the same project site as the approved project. Similar to the approved project, the modified project would not be located within an area covered by a Habitat Conservation Plan or Natural Community Conservation Plan.² Thus, no new impacts have been identified, and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

The following mitigation measure from the approved 2019 IS/MND is also applicable to the modified project. Any modifications to the original measure is shown in strikethrough for deleted text and in <u>double underline</u> for new, inserted text.

BIO-1 If construction activities are to be initiated during the nesting season (February-January 1st to August 31st), a preconstruction nesting bird clearance survey shall be conducted by a qualified biologist no more than three days prior to the start of any vegetation removal or ground-disturbing activities. A qualified biologist shall survey all suitable nesting bird habitat within the project impact area, and within a biologically defensible buffer distance surrounding the project impact area. Documentation of surveys and findings shall be submitted to the Town of Mammoth Lakes for review and file. If no active nests are detected, project construction activities may begin. If an active nest is found, the bird(s) shall be identified to species and a "no disturbance" buffer shall be estimated and

² California Department of Fish and Wildlife, *California Natural Community Conservation Plans Map*, April 2019.



established around the active nest(s). The distance of the "no disturbance" buffer may be increased or decreased according to the judgement of the qualified biologist depending on the level of construction activity and sensitivity of the species. The qualified biologist shall periodically monitor any active nests to determine if the "no disturbance" buffer should be increased based on increased or moved construction activities. Once the young have fledged and left the nest, or the nest otherwise becomes inactive under natural conditions, project construction activities within the "no-disturbance" buffer may occur.

New Mitigation Measures

No new mitigation measures are required.

4.5 CULTURAL RESOURCES

lss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
Wo	ould the project:					
a.	Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?	Approved 2019 IS/MND Page 4.5-1				
b.	Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?	Approved 2019 IS/MND Pages 4.5-2 to 4.5-3				
c.	Disturb any human remains, including those interred outside of dedicated cemeteries?	Approved 2019 IS/MND Pages 4.5-3 to 4.5-4				

This section is based on the *Cultural Resources Addendum for the Mammoth Arts and Cultural Center Project, Town of Mammoth Lakes, Mono County, California* (Cultural Resources Memorandum), prepared by Rincon Consultants, Inc., dated October 12, 2022; refer to <u>Attachment 2, Cultural Resources Memorandum</u>.

(a) A records search for previous cultural resources studies and previously recorded cultural resources within a 0.5-mile radius of the project site was conducted for the approved project. The search included a review of the National Register of Historic Places (NRHP), the California Register of Historical Resources (CRHR), the California Points of Historical Interest list, the California Historical Landmarks list, the Archaeological Determinations of Eligibility list, and the California State Historic Resources Inventory list. The search identified one previously conducted cultural resources study at the project site (MN-00620) in 1993; no cultural resources were identified as part of the study. As such, the approved 2019 IS/MND found that the project site does not support historical resources pursuant to CEQA and development of the approved project would not adversely impact historic resources. No impact would occur in this regard.



The modified project would encompass the same project site as the approved project. The Cultural Resources Memorandum determined that, similar to the approved project, no previously recorded resources were documented within the project site. Therefore, no new impacts have been identified and no new mitigation measures are required for the modified project.

(b) As described above in Response 4.5(a), MN-00620 was conducted within the project site. Although no archaeological resources were discovered as part of this effort, the approved 2019 IS/MND stated that the region remains highly sensitive for cultural resources and potentially significant cultural deposits may exist beneath the project site and may be impacted during ground-disturbing activities. As such, the approved project included Mitigation Measures CUL-1 and CUL-2 to ensure impacts to potentially significant archaeological resources are reduced to less than significant levels.

The modified project would encompass the same project site as the approved project, and as such would have the same potential for encountering and impacting potentially significant cultural deposits during ground-disturbing activities. The Cultural Resources Memorandum recommended that, similar to the approved project, the modified project implement Mitigation Measures CUL-1 and CUL-2 to ensure impacts to potentially significant archaeological resources are reduced to less than significant levels. Therefore, no new impacts have been identified and no new mitigation measures are required for the modified project.

(c) Although no conditions exist that suggest human remains are likely to be found on the project site, development of the project site could result in the discovery of human remains and potential impacts to these resources. If human remains are found, those remains would be required to conduct proper treatment, in accordance with applicable laws. The approved 2019 IS/MND determined that following compliance with existing State regulations, which detail appropriate actions necessary in the event human remains are encountered, impacts in this regard would be reduced to less than significant levels.

The modified project would encompass the same project site as the approved project, and as such would have the same potential for encountering human remains. The Cultural Resources Memorandum determined that, compliance with existing State regulations, which detail appropriate actions necessary in the event human remains are encountered, impacts in this regard would be reduced to less than significant levels. Applicable laws include Health and Safety Code Sections 7050.5 to 7055 and Public Resources Code Section 5097.98, which requires notifying the County Coroner and Native American Heritage Commission (NAHC), followed by consultation with the "most likely descendent (MLD)" of the deceased. No new impacts have been identified and no new mitigation measures are required for the modified project.

The following mitigation measures from the approved 2019 IS/MND are applicable to the modified project. Any modifications to the original measures are shown in strikethrough for deleted text and in <u>double underline</u> for new, inserted text.

CUL-1 **Workers Environmental Awareness Program**. Prior to ground disturbing activities, the Project Applicant shall prepare and implement a Workers Environmental Awareness Program (WEAP) training to address cultural resources issues anticipated at the project site for review and approval by the Public Works Director. The WEAP shall include information of the laws and regulations that protect cultural resources, the penalties for a disregard of those laws and regulations, what to do if cultural



resources are unexpectedly uncovered during construction, and contact information for a qualified archaeologist, defined as an archaeologist who meets the Secretary of the Interior's Professional Qualification Standards for archaeology, who shall be contacted in the case of unanticipated discoveries. The WEAP shall also include project specific information regarding the potential for and types of prehistoric and historic resources that may potentially be encountered.

CUL-2 Archaeological and Native American Monitoring. A qualified archaeologist, defined as an archaeologist who meets the Secretary of the Interior's Professional Qualification Standards for archaeology, and qualified Native American monitor shall be retained to perform all mitigation measures related to prehistoric and historic cultural and tribal cultural resources for the project. An archaeologist and Native American monitor shall be present to monitor all initial ground disturbing activities associated with the project, including but not limited to: removal of building asphalt, pot-holing or auguring, grubbing, weed abatement, boring/grading of soils, drilling/trenching for utilities, excavations associated with development, etc. The monitors shall complete monitoring logs on a daily basis. The logs shall provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. In addition, the monitors are required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k).

New Mitigation Measures

No new mitigation measures are required.

4.6 ENERGY

Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Would the project:					
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	Not Previously Analyzed				
b. Conflict with or obstruct a State or local plan for renewable energy or energy efficiency?	Not Previously Analyzed			\boxtimes	

(a)-(b) The approved 2019 IS/MND did not evaluate energy impacts in a standalone section or quantitatively as it was not required in the CEQA Guidelines at the time the approved 2019 IS/MND was prepared. Although not addressed in a standalone section, energy considerations were



discussed in the approved 2019 IS/MND Section 4.7, *Greenhouse Gas Emission*. Specifically, approved 2019 IS/MND Table 4.7-2, *Mono County Resource Efficiency Plan Consistency Analysis*, includes an analysis on the approved project's consistency with applicable policies in the Mono County Resource Efficiency Plan (REP). The REP was adopted by the County on August 1, 2014 and identifies the County's long-term strategies to reduce GHG emissions and provide energy, fuel, water, and monetary savings to the County's residents. As shown on approved 2019 IS/MND Table 4.7-2, the approved project is consistent with all the applicable REP policies and would meet the applicable mandated energy efficiency programs and regulations included in Title 24 Energy Efficiency Standards for Residential and Nonresidential Buildings (California Code of Regulations [CCR], Title 24, Part 6; commonly known as Title 24) and the California Green Building Standards Code (CCR Title 24, Part 11; commonly known as CALGreen).

The modified project would include the expansion of the existing Edison Theatre with the addition of a new, connecting Performing Arts Theatre; the construction of an outdoor amphitheater as previously proposed under the approved project; the construction of an approximately 1,000 square-foot storage building; and the construction of a childcare center and a dog park. The modified project also considers the future redevelopment of the dog park into a workforce housing townhome community (with 24 units). Development in the Town does not use natural gas, but would rely on propane gas instead to fuel furnaces, water heaters, and stoves, etc. As such, energy consumption associated with the modified project would be primarily associated with electricity and propane gas consumption as well as mobile fuel consumed during construction and operation.

The modified project would be consistent with permitted uses under the project site's General Plan land use designation and zoning upon the Commission's approval. It is anticipated that the reduction of building size overall would result in reduced building energy consumption than what was proposed under the approved project. Further, the day care and townhome community is also not anticipated to result in significant energy impacts as the modified project would be required to adhere to all applicable federal, State, and local requirements for energy efficiency, including the most current (2022) Title 24 standards, (2022) CALGreen, and the REP (last updated in May 2022). It should be acknowledged that Title 24, CALGreen, and REP were all recently adopted or updated since the approved 2019 IS/MND was certified, and compliance with the latest standards would result in more energy efficiency and GHG emissions reduction than the 2019 Title 24 envisioned for the approved project. Specifically, the modified project would reduce on-site energy use by installing energy efficient lighting and appliances at the Performing Arts Theatre and outdoor amphitheater, installing water efficient irrigation systems, and incorporating water reducing features and fixtures into the building. Further, photovoltaic solar panels would be installed on the roof of the new Performing Arts Theatre to promote renewable energy generation as conditions and budget allow.

The modified project would also have minimal off-site energy use associated with mobile fuel consumption as it would generate approximately 84 average daily trips, which represents a net decrease of 11 average daily trip compares to trips generated by the approved project (i.e., 95 trips); refer to <u>Attachment 3</u>. Pedestrian access is afforded along both sides of College Parkway, south of the project site. Additionally, a Class I, off-site bike trail is present to the south, and along College Parkway. Last, the modified project would be located within walking distance of two existing transit stops for the Eastern Sierra Transit bus route. As such, the modified project would encourage multiple modes of transportation which would enable a reduction in VMT from



employee commutes by providing clean air vehicle spaces and be sited where pedestrian access, bike lane, and bus stops are accessible.

Overall, the modified project would not result in the inefficient, wasteful, or unnecessary consumption of energy. No new impacts are identified and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.7 GEOLOGY AND SOILS

lssu	ies:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Wou	uld the project:					
	Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:					
	 Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. 	Approved 2019 IS/MND Page 4.6-1				
	2) Strong seismic ground shaking?	Approved 2019 IS/MND Page 4.6-2				
	3) Seismic-related ground failure, including liquefaction?	Approved 2019 IS/MND Pages			\boxtimes	
	4) Landslides?	4.6-2 to 4.6-3 Approved 2019 IS/MND Page 4.6-3			\boxtimes	
	Result in substantial soil erosion or the loss of topsoil?	4.6-3 Approved 2019 IS/MND Pages 4.6-3 to 4.6-4			\boxtimes	



lss c.	ues: Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on-or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	Where Impact Was Analyzed in Prior Environmental Documents Approved 2019 IS/MND Page 4.6-4	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
d.	Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	Approved 2019 IS/MND Pages 4.6-4 to 4.6-5				
e.	Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	Approved 2019 IS/MND Page 4.6-5				
f.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	Approved 2019 IS/MND Page 4.5-3				

(a)(i) According to the approved 2019 ISMND, no Alquist-Priolo Earthquake Fault Zones are mapped within the Town.

The modified project would be located in the same project site as the approved project; as such, no impacts would result in this regard. No new impacts have been identified and no new mitigation measures are required

(a)(ii) According to the approved 2019 ISMND, the Town is in proximity to historically active faults, including the Hilton Creek Fault, Owens Valley Fault, and Chalfant Valley Fractures. Active and potentially active faults in the project area are capable of producing seismic shaking at the project site, and it is likely that the project site would periodically experience ground acceleration as a result of exposure to moderate to large magnitude earthquakes. However, structures built for human occupancy must be designed to meet or exceed the California Building Code (CBC) standards for earthquake resistance and in accordance with Municipal Code Chapter 15.04, Building Regulations and Codes. Designs for structures built within the Town would also be required to comply with local building codes related to seismic and wind design, snow-loading, and construction requirements related to roof materials, concrete placement, and footing/foundation, to name a few, in accordance with Municipal Code Chapter 15.24, Design Requirements. Further, the Town would review applicable engineering plans and soils report during the plan review process to ensure compliance with specific recommended geotechnical improvements in accordance with Municipal Code Section 12.08.078, Standard Grading Permit Requirements, and Section 12.08.080, Engineered Grading Permit Requirements. Therefore, although the Town is in a seismically active area, the approved 2019 ISMND concluded that impacts associated with seismic ground shaking would be less than significant.



Accordingly, the modified project would be located in the same project site as the approved project. Similar to the approved project, the modified project would also be required to adhere with regulations pursuant to the CBC, Municipal Code Chapter 15.04, Chapter 15.24, Section 12.08.078, and Section 12.08.080. With adherence with all applicable regulations, impacts associated with seismic ground shaking would be less than significant. No new impacts have been identified and no new mitigation measures are required.

(a)(iii) The approved 2019 IS/MND determined that the nearest area to the project site that is susceptible to liquefaction, as it is underlain by alluvium and moraine with shallow groundwater depths, is near Meridian Boulevard and Minaret Road, approximately one mile west of the project site. Given this distance, and upon adherence with regulations pursuant to Municipal Code Chapter 15.04, Chapter 15.24, Section 12.08.078, and Section 12.08.080, the approved 2019 IS/MND concluded that impacts associated with ground failure, including liquefaction, would be less than significant

Accordingly, the modified project would be located in the same project site as the approved project. Similar to the approved project, the modified project would also be required to adhere with regulations pursuant to Municipal Code Chapter 15.04, Chapter 15.24, Section 12.08.078, and Section 12.08.080. With adherence with all applicable regulations, impacts associated with ground failure, including liquefaction, would be less than significant. No new impacts have been identified and no new mitigation measures are required.

(a)(iv) The approved 2019 IS/MND determined that the project site and surrounding areas are generally flat, and void of topographical features capable of producing a landslide. Therefore, development of the approved project would not expose people or structures to landslide hazards. No impacts would occur.

Accordingly, the modified project would be located in the same project site as the approved project. No new impacts have been identified and no new mitigation measures are required.

(b) The approved 2019 IS/MND determined that construction of the approved project could result in soil erosion. However, proposed improvements would be subject to the National Pollution Discharge Elimination System (NPDES) permitting regulations, including development and implementation of a Stormwater Pollution Prevention Plan (SWPPP), and to coverage under a General Construction Permit (CGP) as issued by the State Water Resources Control Board (SWRCB). Further, the construction contractor would be required to implement Best Management Practices (BMPs) related to soil erosion and sedimentation control as set forth by the Lahontan Regional Water Quality Control Board (LRWQCB). Consequently, impacts regarding soil erosion or the loss of topsoil would be less than significant during the construction phase. Regarding operation of the approved project, the project area is mostly flat within minimal rises or changes in elevation. Given that the approved project would add new structures and landscaping compared to existing conditions, the approved 2019 IS/MND concluded that potential for erosion or loss of topsoil would be low upon project completion. The impact was found to be less than significant.

Construction of the modified project would be subject to the requirements of Chapters 12.04 (construction encroachment permits), 12.08 (earthwork standards), and 15.08 (erosion control), and Section 17.08.020 (grading permits) of the Town's Municipal Code. The modified project



would encompass the same project site as the approved project and would entail similar construction activities. However, each project component would be permitted separately on a case-by-case basis. While the modified project proposes an altered site plan compared to the approved project, including minor modifications in building massing and scale, the modified project would add new structures and landscaping to the project site compared to existing conditions. Accordingly, upon completion of the modified project, it is anticipated that the project site would have low potential for soil erosion. As such, no new impacts have been identified and no new mitigation measures are required.

(c) Refer to Responses 4.7(a)(iii)-(iv). Upon compliance with applicable provisions of the CBC and Municipal Code, the approved 2019 IS/MND determined that project implementation would have a less than significant impact related to geologic hazards. No mitigation was required.

Similarly, as the modified project would be located in the same project site as the approved project, and thus prone to the same susceptibility for soil instability, the modified project would need to adhere to the above-referenced provisions of the CBC and Municipal Code in order to reduce potential impacts related to geologic hazards. No new impacts have been identified and no new mitigation measures are required.

(d) The approved 2019 IS/MND determined that no expansive soils have been mapped or encountered in the Town. With adherence to the above-referenced requirements of the CBC and Municipal Code, no impact would occur regarding risks to life or property due to expansive soil.

Accordingly, the modified project would be located in the same project site as the approved project; as such, no impacts would result in this regard. No new impacts have been identified and no new mitigation measures are required.

(e) As no septic tanks or alternative wastewater disposal systems were proposed as part of the approved project, the approved 2019 IS/MND determined that no impact would occur in this regard.

Similar to the approved project, the modified project does not propose any septic tanks or alternative wastewater disposal systems. The modified project would connect to existing sewer mainlines and service lines, which are currently available in the project area. As such, no new impacts have been identified and no new mitigation measures are required.

(f) According to the approved 2019 IS/MND, there are no known unique paleontological resources or sites, and no known unique geologic features in the developable portions of the Town of Mammoth Lakes. The soils in the project area are glacial till and relatively recent volcanic materials, and therefore no paleontological resources would be expected to occur in the area. Given the lack of potential for paleontological resources within or near the project site, the approved 2019 IS/MND determined that implementation of the approved project would not have the potential to result in significant adverse impacts to such resources. No impact would occur in this regard.

Accordingly, the modified project would be located in the same project site as the approved project; as such, the modified project would not result in direct or indirect impacts to paleontological resources. No new impacts have been identified and no new mitigation measures are required.



Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.8 GREENHOUSE GAS EMISSIONS

Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Would the project:					
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	IO/IVIIND I aues				
b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	IS/MND Pages				

(a)-(b) As shown in approved 2019 IS/MND Table 4.7-1, *Estimated Greenhouse Gas Emissions*, the total amount of approved project-related GHG emissions from direct and indirect sources combined would be below the GBUAPCD recommended applicable California Air Pollution Control Officers Association (CAPCOA) numerical threshold. Further, as detailed in the approved 2019 IS/MND Table 4.7-2, the approved project would be consistent with applicable policies in the County's REP, which identifies the County's long-term strategies to reduce GHG emissions and aims to provide energy, fuel, water, and monetary savings to the County's residents. The approved project also includes design features meeting the current applicable Title 24 CALGreen requirements that would further reduce project-related GHG emissions. As such, the approved 2019 IS/MND concluded that the approved project would result in a less than significant impact with regard to GHG emissions.

As previously discussed, the modified project would be consistent with permitted uses under the project site's General Plan land use designation and zoning upon the Commission's approval. The modified project would encourage multiple modes of transportation which would enable a reduction in VMT from employee commutes by providing clean air vehicle spaces and be sited where pedestrian access, bike lane, and bus stops are accessible. The modified project would also have minimal GHG impacts associated with mobile fuel consumption as it would generate approximately 84 average daily trips, which represents a net decrease of 11 average daily trip compares to trips generated by the approved project (i.e., 95 trips); refer to <u>Attachment 3</u>. Consequently, operational GHG emissions impacts associated with the proposed project would be less than significant.



Additionally, the modified project would be required to comply with mandated energy efficiency programs and regulations, including the most current (2022) Title 24 standards, (2022) CALGreen, and the REP (last updated in May 2022). It should be acknowledged that Title 24, CALGreen, and REP were all recently adopted or updated since the approved 2019 IS/MND was certified, and compliance with the latest standards would result in more energy efficiency and GHG emissions reduction than the 2019 Title 24 envisioned for the approved project. Therefore, modified project compliance with the latest standards would result in more energy efficiency and GHG emissions reduction than that of the approved project. Further, the project would be in compliance with the REP that was recently updated. The new REP includes Appendix B, *GHG Checklist*, for County and private development project to demonstrate project consistency with the REP. <u>Table 2</u>, <u>Mono County Resource Efficiency Plan Consistency Analysis</u>, evaluates the modified project's consistency with applicable REP policies.

REP Policy/Action and Policy Requirement	Project Compliance	Remarks (Project-Level Details)
Energy Efficient Measures and Practices		
Action CO.1.B.ii.a. Conservation and Open Space Element Action 16.B.2.a	Not Applicable	The modified project is not an existing residential project.
Requirement: Promote installation of variable frequency drive water pumps to serve existing residential buildings.		
Action CO.1.B.ii.b. Conservation and Open Space Element Action 16.B.2.b. <u>Requirement</u> : Encourage voluntary upgrades of residential and nonresidential HVAC systems.	Project Complies	The modified project would remodel (and retrofit) 4,670 square feet of the original 6,950 square feet Edison Theatre to meet or exceed current Title 24 CALGreen standards. Specifically, the modified project would install energy efficient windows, insulation, lighting, ventilation systems, install water efficient irrigation systems and water reducing features into the building. The modified project would also install photovoltaic solar panels on the roof of the new Performing Arts Theatre to promote renewable energy generation as conditions and budget allow. All sustainable project design features would be confirmed by the Town at the time of Building Permit Review.
Action CO.1.B.ii.c Conservation and Open Space Element Action 16.B.2.c.	Project Complies	See response to Action CO.1.B.ii.c.
<u>Requirement</u> : Encourage energy audits and voluntary retrofits for residential and nonresidential buildings at the time of sale or major renovation (>50% of building square footage, or addition of >500 square feet).		
Water Conservation Practices	•	
Policy CO.6.A.i. Conservation and Open Space Element Action 3.C.1.b. <u>Requirement</u> : Encourage reduced water consumption in residential and nonresidential properties.	Project Complies	The modified project would meet the most current CALGreen standards for indoor and outdoor water use. This would include the installation of water efficient irrigation systems and water reducing features into the building.
Action CO.6.A.i.c. General Plan Conservation and Open Space Element Action 3.C.1.c.	Project Complies	See response to Policy CO.6.A.i.

Table 2Mono County Resource Efficiency Plan Consistency Analysis



REP Policy/Action and Policy Requirement	Project Compliance	Remarks (Project-Level Details)
<u>Requirement</u> : Encourage new residential and commercial construction and new County facilities to exceed CALGreen water conservation requirements.		
Action CO.6.A.i.f. Conservation and Open Space Element Action 3.C.3.a. <u>Requirement</u> : Ensure applicable projects comply with the Water Efficient Landscape Ordinance	Project Complies	The modified project would meet the most current CALGreen standards for outdoor water use. This would include the installation of water efficient irrigation systems. The Landscaping Plan (which proposes low water and native species throughout the site) would be designed in accordance with the Municipal Code, and would be reviewed and confirmed by the Town at the time of Design Review.
Action CO.6.A.ii.a Conservation and Open Space Element Action 4.A.8.a. <u>Requirement</u> : Promote low-impact development solutions (see General Plan Appendix B) for stormwater management on private property, such as rain gardens, green roofs, and detention ponds.	Project Complies	The modified project would conform with the <i>Water Quality</i> <i>Control Plan</i> for the Lahontan Region in regard to stormwater management; refer to <u>Section 4.10</u> , <u>Hydrology</u> <u>and Water Quality</u> . Specifically, the modified project would be required to comply with Municipal Code Chapters 12.08, Land Clearing, Earthwork, And Drainage Facilities, and Section 17.08.020, <i>Requirements for Development and</i> <i>New Land Uses</i> , and implement appropriate measures for stormwater management purposes.
Transportation	1	
Action C.1.A.i.f. Regional Transportation Plan Objective 4.A.6 Requirement: Encourage the installation of bicycle rack, showers, and/or other amenities as part of new commercial development projects to promote bicycle use by employees and residents	Project Complies	The project would comply with CALGreen Section 5.106.4, <i>Bicycle Parking</i> , and provide adequate bicycle parking spaces as well as other end-of-trip amenities for employees and residents.
Action C.1.A.i.f. Regional Transportation Plan Objective 4.A.6 <u>Requirement</u> : Encourage the installation of bicycle rack, showers, and/or other amenities as part of new commercial development projects to promote bicycle use by employees and residents	Project Complies	The project would comply with CALGreen Section 5.106.5.3, <i>Electric Vehicle (EV) Charging</i> , and provide electric vehicle charging stations in parking areas.
Wood Burning		
Great Basin Unified Air Pollution Control District Rule 431 And General Plan Land Use Elementa Action 6.C.1.a. Wood burning fireplaces and other wood burning appliances are certified by the US Environmental Protection Agency.	Not Applicable	The project would not include any wood burning fireplaces or appliances.
<u>Requirement</u> : Wood burning fireplaces not certified by USEPA are prohibited from being installed in Alpine, Mono and Inyo Counties after January 1, 2007. Require all woodstoves installed in the area to be certified EPA Phase II, in conformance to policies in the Conservation/Open Space Element.		
Building Standards	•	
Building Efficiency Standards – Title 24, Part 1 and 6 Requirement: Complies with energy efficiency standards for residential, multifamily, and nonresidential buildings	Project Complies	The project would comply with all applicable energy efficiency standards in accordance with the most current Title 24 and CALGreen requirements.



REP Policy/Action and Policy Requirement	Project Compliance	Remarks (Project-Level Details)
Cal Green Building Standards Code – Title 24, Part 11	Project Complies	Refer to response to Action CO.1.B.ii.b.
<u>Requirement</u> : Residential buildings comply with Chapter 4 – Residential Mandatory Measures. Non-residential buildings comply with Chapter 5 – Nonresidential mandatory measures		
Sources: County of Mono, Mono County Resource Efficie	ency Plan, May 13, 20	22.

As such, the modified project is not anticipated to generated substantial greenhouse gas emissions or conflict with an applicable plan, policy, or regulation regarding GHG emissions. No new impacts are identified, and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.9 HAZARDS AND HAZARDOUS MATERIALS

Iss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Wo	ould the project:					
a.	Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	Approved 2019 IS/MND Pages 4.8-1 to 4.8-2				
b.	Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	Approved 2019 IS/MND Page 4.8-2				
c.	Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	Approved 2019 IS/MND Page 4.8-3				



lss d.	ues: Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to	Where Impact Was Analyzed in Prior Environmental Documents Approved 2019 IS/MND Page 4.8-3	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
e.	the public or the environment? For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?	Approved 2019 IS/MND Page 4.8-3				
f.	Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	Approved 2019 IS/MND Page 4.8-4				
g.	Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?	Approved 2019 IS/MND Page 4.8-5				

(a)-(d) The approved project proposed an Arts and Cultural Center that included the existing Edison Theatre and Edison Theatre Parking Lot in addition to several new buildings, including a Performing Arts Theatre, outdoor amphitheater, and East Parking Lot. The approved 2019 IS/MND determined that, as construction would be temporary and substantial risks associated with hazardous materials are not typically associated with the operation of institutional/quasipublic uses, construction and operational activities associated with the approved project would not cause a significant hazard to the public or environment through the routine use, transport, or disposal of hazardous materials. All transport, use, and disposal of hazardous materials would be required to comply with current local, State and Federal laws and regulations. Compliance with applicable laws and regulations governing the use, storage, and transportation of hazardous materials would ensure that all potentially hazardous materials are used and handled in an appropriate manner and would minimize the potential for safety impacts to occur.

The project site is predominantly comprised of vacant land and the Edison Theatre and Edison Theatre Parking Lot. The approved 2019 IS/MND determined that due to existing site conditions and that the project site is not listed pursuant to Government Code Section 65962.5, the presence of hazardous materials in on-site soil, soil gas, and groundwater is not anticipated. Further, operation of an Arts and Cultural Center would not require the handling/storage/use of hazardous materials in reportable quantities. As such, the release and/or emission of hazardous materials was not anticipated. Given this determination, although the project site is in the vicinity of the Cerro Coso Community College Eastern Sierra Campus, Mammoth Elementary School, Mammoth Middle School, and Mammoth High School, construction and operations of the approved would not significantly impact these nearby schools in regard to hazardous emissions or materials. Overall, impacts were determined to be less than significant.



Similar to the approved project, the modified project would develop an Arts and Cultural Center, inclusive of an outdoor amphitheater, in addition to new structures for storage, childcare, dog park, and future residential uses. Construction activities would be similar to those anticipated for the approved project; additionally, the modified project proposes similar uses as those analyzed under the approved 2019 IS/MND. As such, construction and operational activities associated with the modified project would not cause a significant hazard to the public or environment through the routine use, transport, or disposal of hazardous materials. All transport, use, and disposal of hazardous materials would be required to comply with current local, State and Federal laws and regulations. Compliance with applicable laws and regulations governing the use, storage, and transportation of hazardous materials would ensure that all potentially hazardous materials are used and handled in an appropriate manner and would minimize the potential for safety impacts to occur.

As the modified project would encompass the same project site, the project site is not listed pursuant to Government Code Section 65962.5, and as such would not contain hazardous materials in on-site soil, soil gas, and groundwater that could be emitted or released near the Cerro Coso Community College Eastern Sierra Campus, Mammoth Elementary School, Mammoth Middle School, or Mammoth High School.³ No new impacts have been identified and no new mitigation measures are required for the proposed project

(e) The approved 2019 IS/MND determined that the closest airport (i.e., Mammoth Yosemite Airport) is located approximately 5.5 miles to the east of the project site. As the modified project would encompass the same project site as the approved project, no impact would occur in this regard.

(f) The approved project proposed site access via three driveways along College Parkway, two existing driveways that currently provides access to the Edison Theatre and Edison Theatre Parking Lot, and one new driveway at the southeast corner of the site to the new East Parking Lot. Development of these driveways would be subject to compliance with emergency access standards and requirements specified by State Fire Code and the Municipal Code Section 17.44.110, *Driveways and Site Access*. The approved 2019 IS/MND determined that development of the approved project would have no adverse impact on implementation of the adopted *Emergency Operation Plan* (EOP) as no circulation changes were proposed that may conflict with emergency evacuation routes in the Town. Further, the approved project would be required to comply with Town construction standards and regulations for emergency access, be required to go through the town's development review and permitting process, incorporate all applicable design and safety standards as set forth in the CBC Mammoth lakes Fire Protection District, and Municipal Code related to emergency response and evacuation access. As such, implementation of the approved project would result in less than significant impacts in regard to applicable emergency response or evacuation plan.

As discussed in <u>Section 2.2</u>, the modified project would result in the same circulation and ingress/egress as the approved project. As such, the proposed project would not impair implementation of or physically interfere with the adopted County EOP. No new impacts have been identified and no new mitigation measures are required for the proposed project.

³ California Environmental Protection Agency, *Cortese Listing*, https://calepa.ca.gov/sitecleanup/corteselist/, accessed, accessed May 4, 2023.



(g) Refer to Section 4.20, Wildfire.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.10 HYDROLOGY AND WATER QUALITY

lss	ues:		Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
Wo	ould t	he project:					
a.	wa: oth	late any water quality standards or ste discharge requirements or erwise substantially degrade surface ground water quality?	Approved 2019 IS/MND Pages 4.9-1 to 4.9-4				
b.	sup gro pro gro	ostantially decrease groundwater oplies or interfere substantially with undwater recharge such that the ject may impede sustainable undwater management of the sin?	Approved 2019 IS/MND Page 4.9-5				
C.	pat thro stre of	ostantially alter the existing drainage tern of the site or area, including bugh the alteration of the course of a eam or river or through the addition impervious surfaces, in a manner ich would:					
	1)	Result in substantial erosion or siltation on- or off-site?	Approved 2019 IS/MND Page 4.9-5				
	2)	Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite?	Approved 2019 IS/MND Page 4.9-5				
	3)	Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	Approved 2019 IS/MND Page 4.9-6				



Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
4) Impede or redirect flood flows?	Approved 2019 IS/MND Page 4.9-6				
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	Approved 2019 IS/MND Page 4.9-7			\boxtimes	
 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? 	Not Previously Analyzed				

(a)-(c) The approved project proposed an Arts and Cultural Center that included the existing Edison Theatre and Edison Theatre Parking Lot in addition to several new buildings, including a Performing Arts Theatre, outdoor amphitheater, and East Parking Lot. The approved 2019 IS/MND found that construction of the approved project could result in short-term impacts to water quality due to runoff of pollutants associated with construction materials, construction equipment, and earthmoving activities. However, it was determined that project compliance with NPDES requirements, including implementation of a SWPPP, and with Chapters 12.04, 12.08, and 15.08, and Section 17.08.020 of the Town's Municipal Code would reduce short-term construction-related impacts to water quality.

The project site does not contain any streams, rivers, or other drainage features. Under existing conditions, no designated groundwater recharge basins or infrastructure exist within the project site. The approved project would result in increase in impervious surface area compared to exiting conditions; however, the approved project proposed four retention basins pursuant to the *Water Quality Control Plan* for the Lahontan Region. The approved 2019 IS/MND determined the proposed retention basins would prevent any non-point source pollutants from affecting nearby Mammoth Creek, contain and infiltrate stormwater so as not to substantially deplete groundwater supplies or interfere with recharge, prevent alteration of the existing drainage pattern on site, and ensure post-development peak stormwater runoff rates do not exceed pre-development peak stormwater and polluted runoff from the project site with implementation of BMPs, nor exceed the capacity of existing and planned stormwater drainage; based on the proposed stormwater design, flooding on- or off-site was not anticipated to result. Operational impacts were determined to be less than significant.

The modified project would remodel the existing Edison Theatre with the addition of a new, connecting Performing Arts Theatre, construct an outdoor amphitheater as previously proposed under the approved project, and construct a new storage building, a childcare center, and a dog park on-site. The modified project would also include the potential for redevelopment of the dog park into a 24-unit workforce housing townhome community. The modified project would encompass the same project site as the approved project and would entail similar construction activities. However, each project component would be permitted separately on a case-by-case basis. As such, the modified project would be required to comply with Municipal Code Chapters 12.04, 12.08, 5.08 and Section 17.08.020. Upon compliance with these requirements, short-term



construction-related impacts to water quality would be reduced to a less than significant level. With compliance with the Municipal Code requirements, the modified project would not substantially alter drainage patterns and associated impacts pertaining to erosion/siltation, flooding, runoff pollution, impeded or redirected flood flow, and water quality would be less than significant. No new significant impacts have been identified and no new mitigation measures are required in this regard.

(d) The approved 2019 IS/MND determined that the project site is not within a 100-year flood hazard area or tsunami flood zone. Additionally, the project site is not located within or near any dams, reservoirs, harbors, or storage tanks susceptible to a seiche. As such, it was determined that the approved project would have no impact regarding inundation.

The modified project would encompass the same project site as the approved project; as such, no new impacts have been identified and no new mitigation measures are required in this regard.

(e) The approved 2019 IS/MND did not include assessment criteria for potential conflicts with or obstructions to implementation of a water quality control plan or sustainable groundwater management plan, as it was not required in the CEQA Guidelines at the time the document was prepared. Therefore, the modified project's impacts, as currently proposed, is discussed below.

As described in Responses 4.10(a)-(c), the modified project would comply with the LRWQCB's *Water Quality Control Plan*, with compliance with the Town's Municipal Code requirements. Similar to the approved project, the modified project improvements would not affect nearby Mammoth Creek, substantially deplete groundwater supplies or interfere with recharge, significantly alter the existing drainage pattern on site, or exceed pre-development peak stormwater runoff rates. Additionally, the modified project would be required to comply with Municipal Code Chapters 12.04, 12.08, 5.08 and Section 17.08.020. Upon compliance with these requirements, the modified project would not conflict with any water quality control or groundwater management plans. No new impacts have been identified and no new mitigation measures are required in this regard.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.



4.11 LAND USE AND PLANNING

Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
Would the project:					
a. Physically divide an established community?	Approved 2019 IS/MND Page 4.10-1				
b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	Approved 2019 IS/MND Pages 4.10-1 to 4.10- 3				

(a) The project site is located in a developed part of the Town and is part of the Cerro Coso Community College Eastern Sierra Campus. It is surrounded primarily by educational and residential uses. The approved project proposed an Arts and Cultural Center that includes the existing Edison Theatre and Edison Theatre Parking Lot in addition to several new buildings, including a Performing Arts Theatre, outdoor amphitheater, and East Parking Lot. Together, the various buildings would make up the Arts and Cultural Center. The approved 2019 IS/MND found that the proposed Arts and Cultural Center is within the buildout assumptions previously made for the Cerro Coso Community College Eastern Sierra Campus and analyzed as part of an ESCC EIR prepared by the Kern Community College District in 1994. As such, it was determined that development of the approved project would not physically divide an established community and no impact would occur.

Similar to the approved project, the modified project would develop an Arts and Cultural Center, in addition to new structures for storage, childcare, dog park, and a future 24-unit townhome community. The modified project would encompass the same project site as the approved project. The modified project would not physically divide an established community as the project site is part of the Cerro Coso Community College Eastern Sierra Campus. The project site is surrounded by existing educational and residential uses. Thus, development of the modified project would not result in any physical division of an established community or neighborhood. No new significant impacts have been identified and no new mitigation measures are required.

(b) Based on the General Plan, the site is designated Institutional Public (IP). According to the General Plan, the designation "IP" allows institutional uses such as schools, hospitals, governmental offices and facilities, museums, performing arts and cultural facilities, physical wellness and rehabilitation facilities, and related uses. Residential uses are not permitted, with the exception of employee housing that supports and is ancillary to the allowed institutional uses and student housing that is accessory to the College. The maximum density for housing is four units per gross acre and subject to the High-Density Residential 1 (HDR-1) development standards. The existing zoning is Public and Quasi Public (P-QP). According to the Town's Municipal Code, the designation "P-QP" is intended to permit adequate identification of areas reserved and developed for public uses other than street rights-of-way, to provide for educational and cultural activities and facilities, to provide for expansion of their operations or change in use,



and, to identify and preserve areas of historic and community significance for the enjoyment of future generations. The approved 2019 IS/MND determined that the approved project, a Cultural Center within the Coso Community College Eastern Sierra Campus, would be consistent with permitted uses under the project site's land use designation and zoning. Additionally, approved 2019 IS/MND Table 4.10-1, *Project Consistency with Public and Quasi-Public Zoning District*, concluded that the approved project would satisfy the design requirements of the P-QP design standards per Municipal Code Section 17.32.100. As such, impacts were found to be less than significant in this regard.

The modified project would include the expansion of the existing Edison Theatre with the addition of a new, connecting Performing Arts Theatre; the construction of an outdoor amphitheater as previously proposed under the approved project; the construction of an approximately 1,000 square-foot storage building; and the construction of a childcare center and a dog park. The modified project also considers the potential for future redevelopment of the dog park into a market rate and affordable townhome community. The modified project would encompass the same project site as the approved project. As such, and similar to the approved project, the modified project would provide a Cultural Center within the Coso Community College Eastern Sierra Campus, which would be consistent with permitted uses under the project site's land use designation IP and zoning of P-QP.

The future 24-unit townhome community would be conditioned to be solely for institutional employees in accordance with the IP land use designation. The proposed townhome community would have a density of 3.04 units per gross acre and thus, would not exceed the site's four units per acre maximum allowed density. The townhomes would also be subject to the HDR-1 development standards to be verified during the plan check review process at a later date. As such, the potential townhome community would be consistent with the permitted uses and zoning of the project site.

Additionally, per Municipal Code Section 17.32.100, as concluded in <u>Table 3</u>, <u>Modified Project</u> <u>Consistency with Public and Quasi-Public Zoning District</u>, the modified project would satisfy the design requirements of the P-QP zone. No new significant impacts have been identified and no new mitigation measures are required.

Development Standard	Public and Quasi-Public (P-QP) Zoning Requirement	Modified Project	Does Project Satisfy Requirement?
Site Standards/Setbacks	Site Area: 20,000 square feet	The entire project site is 7.9 acres. The project proposes modifications to the existing Performing Arts Theater, totaling 8,705 net new square feet, construction of a 46,000 square-foot outdoor amphitheater as previously proposed under the approved project, as well as a 1,000 square-foot storage building, a 7,800 square-foot childcare center, and a one-acre dog park; the dog park would have the option to be redeveloped into a	Yes

 Table 3

 Modified Project Consistency with Public and Quasi-Public Zoning District



Development Standard	Public and Quasi-Public (P-QP) Zoning Requirement	Modified Project	Does Project Satisfy Requirement?
		24-unit townhome community (up to 20,000 square feet total).	
	Site Width/Depth: 100 feet	The project site is an irregular 7.9-acre property that spans approximately 1,045 feet wide along College Parkway and approximately 460 feet deep to the south to meet College Parkway.	Yes
	Front/Side/Rear Yard: 20 feet	The closest portion of the proposed development to the front yard along College Parkway is the childcare center and playground, set back approximately 25 feet. The remaining buildings and proposed development areas are located further into the central portion of the site beyond the 20-foot front, side, and rear yard setback.	Yes
Accessory Unit	Maximum density: 4 units per gross acre	As the project site is approximately 7.9 acres, a maximum of 32 residential units are permitted; the modified project proposes 24 future townhome units, which would result in a density of 3.04 units per acre. Thus, the project would not exceed the site's maximum allowed density.	Yes
Screening and Landscaping	As specified in the Use Permit or Design Review approval	Proposed screening and landscaping on- site would be reviewed by the Town and require discretionary approval of Major Design Review.	Yes
Off-Street Parking	Established by special review and approved by the review authority.	The modified project proposes to re-pave and re-stripe the existing Edison Theatre Parking Lot to provide 45 parking spaces, which is acknowledged to be one additional parking space compared to the approved project and includes five Americans with Disabilities Act (ADA) spaces. The modified project also proposes to develop a new parking lot (East Parking Lot), which would provide 80 parking spaces, including four ADA spaces and three motorcycle parking spaces. As part of the design review process, the Town would review the modified project to ensure it provides adequate parking. Further, per a parking agreement between the Applicant and the College, access to an additional 53 parking spaces would be made available at the existing Cerro Coso Community College parking lot to the south of the project site during events.	Yes



Upon approval by the Commission, the proposed employee workforce housing would be allowed under the project site's existing land use and zoning. Further, by providing affordable, workforce housing, the modified project would satisfy the General Plan Land Use Element Goal L.2, to substantially increase housing supply available to the workforce.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.12 MINERAL RESOURCES

Issu	Jes:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Wo	uld the project:					
a.	Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the State?	Approved 2019 IS/MND Page 4.11-1				
b.	Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	Approved 2019 IS/MND Page 4.11-1				

(a)-(b) The approved 2019 IS/MND determined that implementation of the approved project would not result in the loss of availability of a known mineral resource that would be of value to the region and residents of the State, or of a local-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan. There are no known mineral resources or existing mineral operation within the project site. No impacts would occur in this regard.

The modified project would be located in the same project site as the approved project. As such, the modified project would not result in direct or indirect impacts to mineral resources. No new impacts have been identified and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.



4.13 NOISE

lss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Wo	ould the project result in:					
a.	Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	Approved 2019 IS/MND Pages 4.12-10 to 4.12-16				
b.	Generation of excessive groundborne vibration or groundborne noise levels?	Approved 2019 IS/MND Pages 4.12-16 to 4.12-17				
C.	For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	Approved 2019 IS/MND Page 4.12-18				

(a)-(b) According to the approved 2019 IS/MND, construction activities associated with the approved project may result in a temporary increase in noise levels at the project site and at adjacent land uses. However, the approved project would adhere to the Town's regulations governing the hours of construction (Municipal Code Section 8.16.090, Prohibited Acts), and would not exceed the Town's maximum exterior noise levels allowed for the adjacent residential uses from mobile and stationary construction equipment pursuant to Municipal Code Chapter 8.16, Noise Regulation. In addition, implementation of approved 2019 IS/MND Mitigation Measure NOI-1 (i.e., engine muffling, placement of construction equipment, and construction hours) would further reduce construction noise levels during construction. Therefore, the approved 2019 IS/MND concluded that construction noise impacts resulting from the approved project would be less than significant. Operational noise impacts from mobile sources would be less than significant due to the approximately 138 peak hour trips. Further, although sound system noise levels from the proposed outdoor amphitheater would have the potential to exceed the Town's 55 dBA daytime exterior noise standard for nearby sensitive receptors, the approved 2019 IS/MND determined that implementation of approved 2019 IS/MND Mitigation Measure NOI-2 (i.e., Noise Control Plan for event operations) would ensure compliance with the Town's noise standards. Noise impacts from mechanical equipment and parking areas are anticipated to be minimal. Therefore, the approved 2019 IS/MND concluded that operational noise impacts from stationary sources resulting from the approved project would be less than significant. Additionally, the



approved 2019 IS/MND also determined that vibration impacts associated with the proposed project would be less than significant.

The modified project would be located in the same project site of the approved project. Similar to the approved project, construction under the modified project would result in operation of construction equipment approximately 330 feet from the nearest sensitive receptors (single-family residential uses located north of the site) measured from the northern boundary of the project site. However, construction of the modified project is not anticipated to generate higher noise and vibration levels than what was previously analyzed for the approved project upon conformance with regulatory requirements (i.e., construction hours per Municipal Code Section 8.16.090) and implementation of the approved 2019 IS/MND Mitigation Measure NOI-1 (i.e., engine muffling, placement of construction equipment, and construction hours), which would further reduce construction noise levels during construction. As such, no new construction noise and vibration impacts are identified, and no new mitigation measures are required.

The modified project would develop a new Performing Arts Theatre north of the existing Edison Theatre and would keep the Outdoor Amphitheater as previously proposed under the approved project. Although the Performing Arts Theatre would be located closer to the nearest sensitive receptors (single-family residential uses north of the site) than its original location proposed under the approved project, operational noise levels would not be significant, as noise would be confined and located within the structure. No changes are proposed to the outdoor amphitheater; thus, the sound system noise levels from the outdoor amphitheater are not anticipated to generate higher noise and vibration levels than what was previously analyzed for the approved project upon conformance with regulatory requirements (i.e., exterior noise standard per Municipal Code Chapter 8). Further, similar to the approved project, the modified project would also be required to implement approved 2019 IS/MND Mitigation Measure NOI-2, which would require a Noise Control Plan be prepared and implemented for event operations and would ensure modified project compliance with the Town's exterior noise standards during the day. It should be noted that the Performing Arts Theatre and outdoor amphitheater would not operate past 10:00 p.m., and therefore would not exceed the Town's nighttime standard. It is also acknowledged that per the Town's Noise Ordinance (Municipal Code Chapter 8.16.100, Exemptions), certain events (i.e., occasional outdoor gatherings, public dances, shows and sporting and entertainment events) are exempt from specific limits set by the Noise Ordinance with a permit or license issued by the Town. However, most of the proposed events at the MACC, including the outdoor amphitheater activities, would be exempt from the Administrative Permit Requirements per Municipal Code Section 17.56.030, Approved Public Assembly Sites. For those events that are not, such as events that exceed the approved capacity for the Edison Theatre and the new Performing Arts Theatre, or which are scheduled simultaneously (at the outdoor amphitheater and the Edison Theatre/Performing Arts Theatre at the same time), would be required to apply for an Administrative Permit (Special Event Permit). Further, all stationary noise activities would be required to comply with the Municipal Code and the California Building Code requirements pertaining to noise attenuation.

Crowds have the potential to gather at the proposed one-acre dog park and proposed parking areas. Noise generated by groups of people (i.e., crowds) is dependent on several factors including vocal effort, impulsiveness, and the random orientation of the crowd members. Crowd



noise is estimated to be 60 dBA at 3.28 feet away for raised normal speaking.^{4,5} The proposed dog park is located approximately 330 feet from the nearest sensitive receptors (single-family residential uses located north of the site). At this distance, it is not anticipated that crowd noise from the proposed dog park would be audible to the off-site single-family residences. Subsequently, parking lot areas that are located further away would not have the potential to generate substantial noise to the nearest sensitive receptors. Further, regarding the potential residential uses (the 24-unit affordable townhomes) are not typically associated with significant noise impacts, and potential impacts from mechanical equipment are also anticipated to be minimal.

Operational noise impacts from mobile sources under the modified project would remain similar or be reduced due to the reduced trips generated by the modified project; refer to <u>Attachment 3</u>. According to the U.S. Department of Transportation Federal Highway Administration, a doubling of traffic volumes would result in a 3 dB increase in traffic noise levels, which is barely detectable by the human ear.⁶ According to the Transportation Analysis, the modified project would generate only 84 average daily trips (11 trips fewer than the approved 2019 IS/MND); the generated daily trips would not double existing traffic volumes and any increase in traffic noise levels would be imperceptible.

Overall, the modified project would not result in significant short-term construction or long-term operational noise impacts as the level of construction activities is unchanged or lessened, and operations would not result in the doubling of vehicular trips. Additionally, it is noted that vibration impacts are not typically associated with uses that do not involve railroads or substantial heavy truck operations. As such, no new operational noise and vibration impacts are identified, and no new mitigation measures are required.

(c) The approved 2019 IS/MND determined that impacts in this regard would be less than significant as the project site is not located within an airport land use plan and no public airport, public use airport, or private airstrip located within two miles of the project site.

The modified project would be located at the same project site as the approved project. Thus, the proposed project would not expose people residing or working in the project area to excessive airport noise levels. No new impacts have been identified and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

The following mitigation measures from the approved 2019 IS/MND are also applicable to the modified project. Any modifications to the original measures are shown in strikethrough for deleted text and in <u>double underline</u> for new, inserted text.

⁴ Crowd noise is estimated at 60 dBA at one meter (3.28 feet) away for raised normal speaking. This noise level would have a +5 dBA adjustment for the impulsiveness of the noise source, and a -3 dBA adjustment for the random orientation of the crowd members. Therefore, crowd noise would be approximately 62 dBA at one meter from the source.

⁵ Hayne, M.J., *Prediction of Crowd Noise*, November 2006.

⁶ U.S. Department of Transportation Federal Highway Administration, *Techniques for Reviewing Noise Analyses and Associated Noise Reports*, June 1, 2018.



- NOI-1 Prior to issuance of any Grading Permit or Building Permit for new construction, the Public Works Director, or designee, shall confirm that the Grading Plan, Building Plans, and specifications stipulate that:
 - All construction equipment, fixed or mobile, shall be equipped with properly
 operating and maintained mufflers and other State required noise attenuation
 devices.
 - The Contractor shall provide a qualified "Noise Disturbance Coordinator." The Disturbance Coordinator shall be responsible for responding to any local complaints about construction noise. When a complaint is received, the Disturbance Coordinator shall notify the Town within 24-hours of the complaint and determine the cause of the noise complaint (e.g., starting too early, bad muffler, etc.) and shall implement reasonable measures to resolve the complaint, as deemed acceptable by the Public Works Director, or designee. The contact name and the telephone number for the Disturbance Coordinator shall be clearly posted on-site.
 - When feasible, construction haul routes shall be designed to avoid noise sensitive uses (e.g., residences, schools, hospitals, etc.).
 - During construction, stationary construction equipment shall be placed such that emitted noise is directed away from sensitive noise receivers.
 - Construction activities that produce noise shall not take place outside of the allowable hours specified by the Town's Municipal Code Section 8.16.090 (7:00 a.m. and 8:00 p.m. Monday through Saturday; construction is prohibited on Sundays and/or federal holidays).
- NOI-2 Prior to issuance of a Certificate of Occupancy of the Arts and Cultural Center, the Applicant shall develop and implement a Noise Control Plan for event operations at the <u>outdoor ampitheatreArts and Cultural Center</u> that have live or recorded amplified music. The Applicant shall reimburse the Town for the cost of having the Noise Control Plan peer reviewed by a Town selected acoustical engineer. The Noise Control Plan shall contain the following elements:
 - A maximum of two speakers shall be installed at a maximum height of 5 feet from ground level. The speakers shall be positioned no more than 10 feet from the amphitheater stage and shall be oriented toward the amphitheater crowd/seating area. Amplification systems shall include and utilize a processor to control the maximum output that the speakers can reach. Noise levels during this period shall not exceed 97 dBA per speaker at 1 meter from the source. Activities permitted pursuant to Municipal Code Chapter 8.16.100, Exemptions, shall not be subject to this limit. All other non-permitted activities shall be subject to the limits set forth in this mitigation measure.
 - The contact telephone number and email address of the Noise Control Officer shall be posted at each facility entrance for neighbors to lodge noise complaints



or other concerns. Complaints shall be addressed in a diligent and responsive manner.

 Future modifications to the amplification systems would require the Applicant to prepare an acoustical study prepared by a certified acoustical engineer to ensure compliance with the Town's noise standards prior to any performances. The Applicant shall reimburse the Town for the cost of having the acoustical study peer reviewed by a Town selected acoustical engineer.

New Mitigation Measures

No new mitigation measures are required.

4.14 POPULATION AND HOUSING

Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Would the project:					
a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	Approved 2019 IS/MND Page 4.13-1				
 Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere? 	Approved 2019 IS/MND Pages 4.13-1 to 4.13- 2				

(a) The approved 2019 IS/MND determined that as the approved project development (construction of a new Arts and Cultural Center) is within the assumptions previously made for the Cerro Coso Community College Eastern Sierra Campus and analyzed in the ESCC EIR prepared by the Kern Community College District in 1994, the approved project would not induce substantial population growth in the Town than what was envisioned for the site. No impacts would occur in this regard.

Based on the General Plan, the site is designated Institutional Public (IP). According to the General Plan, the designation "IP" allows institutional uses such as schools, hospitals, governmental offices and facilities, museums, performing arts and cultural facilities, physical wellness and rehabilitation facilities, and related uses. Residential uses are not permitted, with the exception of employee housing that supports and is ancillary to the allowed institutional uses and student housing that is accessory to the College. The maximum density for housing is four units per gross acre and subject to the High-Density Residential 1 (HDR-1) development standards. The existing zoning is Public and Quasi Public (P-QP). According to the Town's Municipal Code, the designation "P-QP" is intended to permit adequate identification of areas reserved and developed for public uses other



than street rights-of-way, to provide for educational and cultural activities and facilities, to provide for expansion of their operations or change in use, and, to identify and preserve areas of historic and community significance for the enjoyment of future generations.

The modified project is not anticipated to induce substantial unplanned population growth in the area, either directly or indirectly. Similar to the approved project, the proposed uses under the modified project are permitted uses under the site's current General Plan land use designation (i.e., IP) and zoning (i.e., P-QP) upon the Commission's approval; refer to <u>Section 4.11</u>, <u>Land Use and Planning</u>. Implementation of the modified project is anticipated to employ up to 50 workers at the proposed Performing Arts Theatre and may allow up to a total of 100 children and staff at the proposed childcare facility. Further, the potential townhomes would include 24 workforce housing units that would provide for employee housing opportunities. Given the nature of the proposed future uses, including the Performing Arts Theatre, childcare facility, dog park, and future development of townhomes, the modified project is not anticipated to result in new employees and their families relocating to the Town from outside jurisdictions, but rather, would provide employment opportunities, services, and workforce housing for the Town's existing workforce.

The proposed project is not anticipated to induce substantial unplanned population growth in the area, either directly or indirectly. The project proposes 24 dwelling units on the one-acre dog park site. According to the U.S. Census Bureau, average household size of 2.34 people per unit is assumed for all units occupied by permanent residents in the Town. As such, the project may introduce an increase in population of up to approximately 57 persons, and would result in minor unplanned population growth (as the site was not originally zoned for housing). According to the U.S. Census Bureau, the Town population is approximately 7,271 persons. As such, the population generated from the proposed future townhomes would represent 0.8 percent of total Town population, which would not be significant. Additionally, given the nature of the proposed use (i.e., workforce housing development), the proposed project is not anticipated to generate new jobs (that may result in potential employees relocating to the Town), but rather would provide housing for the Town's workforce. Therefore, no indirect population growth as a result of jobs associated with the project is anticipated, and the project would not result in substantial increases in unplanned population growth in a local context. Therefore, the modified project is not anticipated to induce substantial unplanned population growth in the area, either directly or indirectly.

Overall, although uses proposed under the modified project would induce nominal population growth from hiring new employees, such population growth is anticipated to be less than that of the approved project due to the reduce overall footprint. Accordingly, less than significant impacts would occur in this regard. No new impacts have been identified and no new mitigation measures are required.

(b) The approved 2019 IS/MND determined that no impacts would occur regarding the displacement of any existing housing or residents as the project site is comprised of vacant land and the existing Edison Theatre and Edison Theatre Parking Lot. No existing residences are located on-site.

The modified project would be located in the same project site of the approved project; as such, the modified project would not have the potential to displace existing housing or residents. No impacts would occur in this regard. No new impacts have been identified and no new mitigation measures are required.



Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.15 PUBLIC SERVICES

Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Would the project:					
a. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:					
1) Fire protection?	Approved 2019 IS/MND Pages 4.14-1 to 4.14- 2				
2) Police protection?	Approved 2019 IS/MND Pages 4.14-2 to 4.14- 3				
3) Schools?	Approved 2019 IS/MND Pages 4.14-3 to 4.14- 4				
4) Parks?	Approved 2019 IS/MND Pages 4.14-4 to 4.14- 4				
5) Other public facilities?	Approved 2019 IS/MND Pages 4.14-4 to 4.14- 5				

(a)(1)-(5) Overall, the approved 2019 IS/MND found that the approved project development would have a less than significant impact on public services. The approved project did not propose to construct new or physically alter existing facilities that provide fire or police protection, school,



parks, or other (i.e., library) public services. Given the proximity of existing fire and police protection facilities to the project site, it was not anticipated that response times would be increased due to construction or operation of the approved project. Project construction and operation would be subject to Municipal Code Title 15, which adopts the latest versions of the CBC and California Fire Code and thus includes specific requirements regarding site access, safety precautions, and building standards. Further, any increase in project demands to fire and police protection services would be offset through payment of relevant development impact fees and through property, sales, and utility taxes paid to the Town's General Fund. Regarding school, parks, and library services, it was determined that construction of the approved project would be temporary and that neither construction nor operation would generate additional population that would increase demand for these services, thus resulting in less than significant impacts. Further, the approved 2019 IS/MND found that payment of school impact fees pursuant to Government Code Section 65996 and payment of development impact fees in compliance with Municipal Code Chapter 15.16, *Special Fees*, would offset the cost of providing these and ensure operational impacts of the approved project would be less than significant.

Similar to the approved project, the modified project would develop an Arts and Cultural Center, inclusive of an outdoor amphitheater, in addition to new structures for storage, childcare, dog park, and future residential uses. Similar to the approved project, the modified project does not propose to construct new or physically alter existing facilities that provide fire or police protection, school, parks, or other (i.e., library) public services. The modified project would be located within the same project site as the approved project; as such, the modified project would be serviced by the same existing public service facilities as the approved project. As development under the modified project would be subject to the requirements of Municipal Code Title 15 and payment of relevant development impact fees, and given the project site location, the modified project would not result in additional impacts to fire and police protection services, including response times. Although the modified project provides the potential for future residential development, as described in Section 4.14, Population and Housing, the resulting population growth would be nominal, and as described in Section 4.11, Land Use and Planning, the proposed housing would be allowed under the project site's land use and zoning designations upon the Commission's approval. As such, the modified project would not result in additional demands on school, parks, or library services. Additionally, payment of development impact fees pursuant to Government Code Section 65996 and Municipal Code Chapter 15.16 would also offset impacts on school, parks, and library services. Thus, the modified project would not result in any additional impacts to public services, including fire, police, park, school, and library services that were addressed in the 2019 IS/MND. As such, no new impacts are identified, and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.



4.16 RECREATION

Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
Would the project:					
a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	Approved 2019 IS/MND Page 4.15-1				
b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	Approved 2019 IS/MND Page 4.15-1				

(a)-(b) The approved 2019 IS/MND determined that, while the approved project would not increase the use of existing park and recreational facilities given that the approved Arts and Cultural Center (MACC) would include recreational components to support both residents and the general public, the construction of those recreational components could cause environmental effects. However, the approved 2019 IS/MND determined that the potential environmental effects would be addressed throughout the approved 2019 IS/MND, and that compliance with the relevant laws, ordinances, and regulations identified in the approved 2019 IS/MND would ensure the approved project's construction-related environmental impacts associated with new recreational facilities would be reduced to less than significant levels.

Similar to the approved project, the modified project would include recreational components to support both residents and the general public, and as such would not increase the use of existing park and recreational facilities. As discussed in <u>Section 4.14</u>, the modified project would not induce substantial population growth such that the use of existing parks and recreational facilities would substantially increase. While future residential uses under the modified project would increase demand for recreational facilities, as discussed in <u>Section 4.15</u>, <u>Public Services</u>, the payment of development impact fees pursuant to Municipal Code Chapter 15.16 would also offset impacts on park services. The potential environmental effects caused by construction of the proposed parks and recreational components under the modified project are analyzed throughout this Addendum. The modified project would comply with all relevant laws, ordinances, and regulations identified in this Addendum related to construction impacts on the environment. Therefore, no new significant impacts are identified and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.



New Mitigation Measures

No new mitigation measures are required.

4.17 TRANSPORTATION

lss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
Wo	ould the project:					
a.	Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?	Approved 2019 IS/MND Pages 4.16-7 to 4.16- 13 and 4.16-15 to 4.16-16				
b.	Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?	Not Previously Analyzed			\boxtimes	
C.	Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	Approved 2019 IS/MND Page 4.16-14				
d.	Result in inadequate emergency access?	Approved 2019 IS/MND Pages 4.16-14 to 4.16-15				

This section is based on the *Mammoth Arts and Cultural Center (MACC) – Trip Generation and VMT Analysis Update* (Transportation Analysis), prepared by LSC Transportation Consultants, Inc., dated November 27, 2023; refer to <u>Attachment 3</u>, <u>Transportation Analysis</u>.

(a) The approved project proposed an Arts and Cultural Center that includes the existing Edison Theatre and Edison Theatre Parking Lot in addition to several new buildings, including a Performing Arts Theatre, outdoor amphitheater, and East Parking Lot. Existing Town transportation standards used at the time that the approved project was analyzed included level of service (LOS) criteria at intersections in the project area, using a typical Saturday peak hour as the threshold. Based on the proposed uses, the approved project was forecast to generate approximately 234 daily trips with 95 trips occurring in the winter Saturday evening peak hour. Based on the Town's established thresholds of significance, the approved 2019 IS/MND found that the approved project would not result in significant traffic impacts at the study area intersections or roadway segments for the existing conditions or opening year (2020) future conditions. Impacts would be less than significant in this regard. Further, the approved 2019 IS/MND determined that the approved project would not conflict with any plans, ordinances, or policies supporting alternative transportation. Given the project site's proximity to institutional uses, existing sidewalks, bicycle paths, and multi-use paths, and the Eastern Sierra Transit Mammoth Lakes Purple Line Bus, patrons of the approved project would maintain



access to all existing modes, thereby encouraging a reduction in automobile use. Impacts would be less than significant in this regard.

Similar to the approved project, the modified project would develop an Arts and Cultural Center, inclusive of an outdoor amphitheater, in addition to new structures for storage, childcare, dog park, and future residential uses. The modified project would encompass the same project site as the approved project. Based on the Transportation Analysis, the modified project would result in a net decrease of 11 average daily trips, or 11 percent, compared to the approved project. Therefore, the modified project would not have increased impacts associated with vehicle trips, compared to the approved project. The modified project would meet the Town's standards; no new impacts have been identified and no new mitigation measures are required. Further, as the project site would be the same as the area as that analyzed for the approved 2019 IS/MND, the modified project would maintain existing pedestrian, bicycle, and transit options and thus would not conflict with any plans, ordinances, or policies supporting the Town's circulation system. No new impacts have been identified and no new mitigation measures are required.

(b) The approved 2019 IS/MND calculated VMT (minimal increase of 317 VMT on a winter Saturday) but did not completely evaluate VMT impacts as it was not required in the CEQA Guidelines at the time the approved 2019 IS/MND was prepared. Therefore, the modified project's impacts, as currently proposed, is discussed below.

The Transportation Analysis evaluated VMT in accordance with *SB* 743 *Implementation Guidelines Town of Mammoth Lakes*, dated November 24, 2020. The modified project was screened for non-significant transportation impacts; screening criteria applicable to the modified project include:

- Small Projects Project generation is less than 110 trips per day per the Institute of Transportation Engineers (ITE) Manual or other acceptable source determined by Town of Mammoth Lakes;
- Local Essential Service Building is less than 50,000 square feet: and Land Use is: Day care center; and
- Affordable Housing A high percentage of affordable housing is provided as determined by the Town of Mammoth Lakes

The Transportation Analysis determined that the proposed Performing Arts Theater would generate 74 trips during peak hour and thus, falls under the Small Projects screening criteria. The proposed childcare center would be approximately 6,600 square feet and would fall under the Local Essential Service screening criteria. Last, the future townhome community would offer 24 affordable units and thus, fall under the Affordable Housing screening criteria for the purpose of workforce housing. As such, the Transportation Analysis concluded that less than significant VMT impacts would occur and a full VMT assessment is not required. As such, the project would not conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b). No new significant impacts have been identified and no new mitigation measures are required.

(c) The approved project did not propose any alterations to the Town's circulation system. While the proposed improvements included a new entryway at the southeastern corner of the project site, the approved 2019 IS/MND determined that no queueing issues were identified at any study intersection under existing or future scenarios with or without the approved project, and that no



new turn lanes are warranted under existing or future conditions. Thus, impacts related to hazards due to a design feature would be less than significant.

The modified project would result in the same circulation, ingress/egress, parking, and landscaping as the approved project, with the addition of a hammerhead turnaround within the future townhome community for improved emergency access. Therefore, no new impacts have been identified and no new mitigation measures are required for the modified project.

(d) The approved 2019 IS/MND determined that during construction of the approved project, any temporary lane closures would not result in the closure of surrounding roadways and would not interfere with emergency vehicle access; existing roadways would have the reserve capacity to accommodate short-term construction traffic. The proposed driveway under the approved project would incorporate all appropriate fire and emergency access design elements and would comply with the Town's Municipal Code regarding site access for emergency vehicles. As such, impacts would be less than significant.

The modified project would be located at the same project site and entail similar construction activities as the approved project. During construction of the modified project, it would be required that any temporary lane closures would not result in the closure of surrounding roadways and would not interfere with emergency vehicle access. Similar to the approved project, the existing roadways would have the reserve capacity to accommodate short-term construction traffic. Additionally, the modified project would result in the same circulation, ingress/egress, parking, and landscaping as the approved project. As such, proposed driveway improvements would be required to comply with emergency access standards and requirements specified by State Fire Code and Municipal Code Section 17.44.110, *Driveways and Site Access*. All proposed improvements would incorporate all appropriate fire and emergency access design elements. Therefore, no new impacts have been identified and no new mitigation measures are required for the proposed project.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.



4.18 TRIBAL CULTURAL RESOURCES

lss	ues:		Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Wo	ould t	he project:					
a.	adv trib Pul as lan def of	uld the project cause a substantial verse change in the significance of a al cultural resource, defined in olic Resources Code section 21074 either a site, feature, place, cultural dscape that is geographically ined in terms of the size and scope the landscape, sacred place, or ect with cultural value to a California tive American tribe, and that is:					
	1)	Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	Approved 2019 IS/MND Page 4.17-2				
	2)	A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	Approved 2019 IS/MND Page 4.17-2				

(a)(1) The approved 2019 IS/MND determined that implementation of the approved project would not adversely impact any resources listed or eligible for listing in the CRHR or in a local register of historical resources per Public Resources Code Section 5020.1(k), as the project site does not support CRHR listed or eligible historical resources. No impact would occur in this regard.

As discussed in <u>Section 4.5</u>, <u>Cultural Resources</u>, the project site does not support CRHR listed or eligible historical resources based on the Cultural Resources Memorandum; refer to <u>Attachment 2</u>. As such, no impacts would occur in this regard. No new impacts have been identified and no new mitigation measures are required.

(a)(2) The Town, in accordance with Assembly Bill 52 (AB 52), distributed letters notifying each tribe of the opportunity to consult with the Town regarding the approved project as part of the approved 2019 IS/MND. The Bishop Paiute Tribe requested to be involved in the AB 52 process on March 27, 2018. No tribal cultural resources were identified as part of consultation with the



Bishop Paiute Tribe. Nonetheless, based on the region's high sensitivity for cultural resources and sensitivity with the Bishop Paiute Tribe, the approved project would be required to implement the approved 2019 IS/MND Mitigation Measures CUL-1 and CUL-2. The approved 2019 IS/MND concluded that implementation of these mitigation measures would ensure impacts concerning undiscovered tribal cultural resources would be less than significant.

With respect to tribal consultation for the modified project, AB 52 states that prior to the release of a negative declaration, mitigated negative declaration, or environmental impact report for a project, a lead agency shall begin consultation with a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project, if the tribe requested to the lead agency, in writing, to be informed by the lead agency of proposed projects in that geographic area and the tribe requests consultation. As this environmental document (Addendum) is not a Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report, AB 52 consultation would not apply to the modified project. Nonetheless, the modified project would be located in the same project site of the approved project. As such, the modified project would have the same potential to impact undiscovered tribal cultural resources due to the region's high sensitivity for cultural resources and sensitivity with the Bishop Paiute Tribe. Thus, the modified project would also be required to implement the approved 2019 IS/MND Mitigation Measures CUL-1 and CUL-2. The approved 2019 IS/MND Mitigation Measure CUL-1 requires the preparation and implementation of a Workers Environmental Awareness Program training prior to project commencement and the approved 2019 IS/MND Mitigation Measure CUL-2 requires archaeological and Native American monitoring during initial ground disturbances associated with the project and/or until the monitor determines that monitoring is no longer necessary. The approved 2019 IS/MND Mitigation Measure CUL-2 also requires all construction work to halt if cultural resources are encountered during ground disturbing activities until a qualified archaeologist can evaluate the find. With implementation of these mitigation measures impacts concerning undiscovered tribal cultural resources would be reduced to less than significant levels, similar to that of the approved project. No new impacts have been identified and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

The following mitigation measures from the approved 2019 IS/MND are applicable to the modified project. Any modifications to the original measures are shown in strikethrough for deleted text and in <u>double underline</u> for new, inserted text.

CUL-1 **Workers Environmental Awareness Program**. Prior to ground disturbing activities, the Project Applicant shall prepare and implement a Workers Environmental Awareness Program (WEAP) training to address cultural resources issues anticipated at the project site for review and approval by the Public Works Director. The WEAP shall include information of the laws and regulations that protect cultural resources, the penalties for a disregard of those laws and regulations, what to do if cultural resources are unexpectedly uncovered during construction, and contact information for a qualified archaeologist, defined as an archaeologist who meets the Secretary of the Interior's Professional Qualification Standards for archaeology, who shall be contacted in the case of unanticipated discoveries. The WEAP shall also include project specific information regarding the potential for and types of prehistoric and historic resources that may potentially be encountered.



Archaeological and Native American Monitoring. A qualified archaeologist, defined CUL-2 as an archaeologist who meets the Secretary of the Interior's Professional Qualification Standards for archaeology, and qualified Native American monitor shall be retained to perform all mitigation measures related to prehistoric and historic cultural and tribal cultural resources for the project. An archaeologist and Native American monitor shall be present to monitor all initial ground disturbing activities associated with the project, including but not limited to: removal of building asphalt, pot-holing or auguring, grubbing, weed abatement, boring/grading of soils, drilling/trenching for utilities, excavations associated with development, etc. The monitors shall complete monitoring logs on a daily basis. The logs shall provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. In addition, the monitors are required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k).

New Mitigation Measures

No new mitigation measures are required.

4.19 UTILITIES AND SERVICE SYSTEMS

Iss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
Wo	ould the project:					
a.	Require or result in the relocation or construction of new or expanded water, or wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	Approved 2019 IS/MND Pages 4.18-2 to 4.18-3				
b.	Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	Approved 2019 IS/MND Page 4.18-3				
C.	Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	Approved 2019 IS/MND Page 4.18-3				



lss	ues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Significant Impact/No Impact	Reduced Impact
d.	Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	Approved 2019 IS/MND Page 4.18-3				
e.	Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	Approved 2019 IS/MND Page 4.18-4				

(a) The approved 2019 IS/MND determined that, while the approved project proposed new water facilities, the construction of which could cause environmental effects, those potential effects were analyzed throughout the approved 2019 IS/MND. Additionally, the new water facilities would be subject to compliance with all applicable local, State, and Federal laws, ordinances, and regulations, as well as the specific mitigation measures in the approved 2019 IS/MND. As such, the impact to water facilities was determined to be less than significant. Regarding wastewater treatment facilities, Mammoth Community Water District (MCWD) confirmed that the approved project would not generate wastewater that would exceed MCWD's existing capacity. Regarding stormwater drainage facilities, the approved project proposed a new retention basin system, which was found to ensure that post-development peak stormwater runoff rates would not exceed pre-development peak stormwater runoff rates. Overall, as the approved project was consistent with the Town's General Plan and did not include growth-inducing land uses, the approved 2019 IS/MND determined that the approved project would have a less than significant impact on existing facilities.

Similar to the approved project, the modified project would develop an Arts and Cultural Center, inclusive of an outdoor amphitheater, in addition to new structures for storage, childcare, dog park, and future residential uses. The modified project would be located within the same project site as the approved project. Proposed utility improvements for the modified project would connect to the existing utilities that serve the existing project site, including sewer, water, and storm drain systems. Similar to the approved project, and as discussed in <u>Section 4.14</u> and <u>Section 4.11</u>, the modified project would not induce substantial or unanticipated population growth and, upon the Commission's approval, the proposed workforce housing would be allowed under the project site's land use and zoning designations. As such, it is not anticipated that the modified project would result in the approved 2019 IS/MND and what is assumed for buildout of the project site, or which would result in the construction of new expansion of existing facilities. Therefore, no new impacts have been identified and no new mitigation measures are required for the proposed project.

Similar to the approved project, the modified project would connect to existing utilities that serve the existing project site, including dry utilities. As described above, the modified project would not induce substantial or unplanned population growth and, upon the Commission's approval, the proposed workforce housing would be allowed under the project site's land use and zoning designations. As such, the modified project would not result in additional impacts on utilities and service systems, and no new mitigation measures are required.



(b) Based on the approved 2019 IS/MND, the approved project would have adequate water supply to serve the project site by the MCWD under average, single-dry, and multiple-dry year conditions. The impact was determined to be less than significant.

As discussed above in Response 4.19(a), the modified project would be located within the same project site as the approved project and proposed utility improvements for the modified project would connect to the existing utilities that serve the existing project site. While the future townhome community was not proposed under the approved project and therefore would increase water demand compared to the approved project, the modified project would not induce substantial or unanticipated population growth and, upon the Commission's approval, the proposed workforce housing would be allowed under the project site's land use and zoning designations. As such, it is not anticipated that the modified project would significantly increase demand for water beyond what was analyzed in the approved 2019 IS/MND and what is assumed for buildout of the project site. As such, no new impacts have been identified and no new mitigation measures are required.

(c) Refer to Response 4.19(a).

(d) The approved 2019 IS/MND found that, although project implementation would increase solid waste generation, there is adequate capacity at Benton Crossing Landfill to address the project's solid waste and disposal needs. Further, project implementation would be subject to compliance with the Town's Source Reduction and Recycling Element (SRRE) for solid waste reduction. Thus, impacts concerning solid waste disposal would be less than significant following conformance with the Town's SRRE. The impact was determined to be less than significant.

The modified project would be located within the same project site as the approved project and thus would be serviced by the same solid waste facilities. Proposed structures under the modified project would be smaller in scale and massing than those under the approved project. The modified project would not induce substantial population growth and, upon the Commission's approval, the proposed workforce housing would be allowed under the project site's land use and zoning designations. While the proposed future townhome community was not proposed under the approved project, it is not anticipated that the modified project's solid waste and disposal needs would exceed those analyzed by the 2019 IS/MND for the approved project or what is assumed for buildout of the project site. Additionally, the modified project would comply with the Town's SRRE. As such, no new impacts have been identified and no new mitigation measures are required.

(e) The approved 2019 IS/MND stated that compliance with existing regulatory framework, including AB 939, the Town's SRRE and Integrated Solid Waste Management Plan (ISWMP), and Municipal Code Chapter 8.12, would ensure that implementation of the approved project would result in less than significant impacts related to Federal, State, and local solid waste statutes and regulations.

Similar to the approved project, the modified project would develop an Arts and Cultural Center, inclusive of an outdoor amphitheater, in addition to new structures for storage, childcare, dog park, and future residential uses. Components of the modified project would be subject to the same Federal, State, and local solid waste statutes and regulations as the approved project, including the Town's SRRE and Integrated Solid Waste ISWMP, and Municipal Code Chapter



8.12. As such, no new significant impacts have been identified and no new mitigation measures are required.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

4.20 WILDFIRE

Issues:	Where Impact Was Analyzed in Prior Environmental Documents	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
If located in or near State responsibility area project:	s or lands classifie	d as very high	fire hazard s	everity zones	, would the
a. Substantially impair an adopted emergency response plan or emergency evacuation plan?	Not Previously Analyzed				
b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	Not Previously Analyzed				
c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	Not Previously Analyzed				
d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	Not Previously Analyzed				

(a)-(d) The approved 2019 IS/MND did not evaluate wildfire impacts beyond Section 4.8(g), *Hazards and Hazardous Materials* as it was not required in the CEQA Guidelines at the time the document was prepared. Therefore, the modified project's impacts, as currently proposed, is discussed below.

According to the California Department of Forestry and Fire Protection's Mono County: State Responsibility Area Fire Hazard Zones Map, the project site is not located within a State



Responsibility Area (SRA) nor is it located in a Fire Hazard Severity Zone.⁷ Accordingly, no impacts would occur in this regard.

Approved 2019 IS/MND Mitigation Measures

No mitigation measures from the approved 2019 IS/MND are required.

New Mitigation Measures

No new mitigation measures are required.

human beings, either directly or indirectly?

4.21 MANDATORY FINDINGS OF SIGNIFICANCE

ls	sues:	New Potentially Significant Impact	New Mitigation is Required	No New Impact/No Impact	Reduced Impact
a.	Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?				
b.	Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?				
c.	Does the project have environmental effects which will cause substantial adverse effects on			\boxtimes	

(a) The 2019 IS/MND determined that with implementation of recommended mitigation, specifically measures BIO-1, CUL-1, and CUL-2, development of the proposed Arts and Cultural Center on the project site have a less than significant environmental impact.

The modified project would remodel the existing Edison Theatre with the addition of a new, connecting Performing Arts Theatre, construct an outdoor amphitheater as previously proposed under the approved project, and construct a new storage building, a childcare center, and a dog park on-site. The modified project would also include the potential for redevelopment of the dog

⁷ California Department of Forestry and Fire Protection, *Mono County: State Responsibility Area Fire Hazard Zones Map*, November 21, 2022.



park into a 24-unit townhome community. The modified project would be located within the same project site as the approved project. As analyzed above, the modified project would not result in any new impacts to biological, cultural, or paleontological resources, and previous mitigation measures remain feasible to minimize impacts. While implementation of the modified project would include the potential for future residential development, as analyzed throughout this document, such uses are not anticipated to induce substantial population growth and, upon the Commission's approval, would be allowed under the project site's land use and zoning designations. As such, this land use change is not expected to result in any additional impacts to existing biological, cultural, or paleontological resources compared to the findings of the approved 2019 IS/MND.

Similar to the approved project, the modified project would be required to comply with existing local, State, and federal regulations and applicable mitigation measures outlined in the 2019 IS/MND. To reduce impacts on nesting bird species, Mitigation Measure BIO-1 would require a qualified biologist to conduct a pre-construction nesting bird clearance survey should project activities be initiated during the nesting season (February 1 to August 31). Mitigation Measure CUL-1 would require the preparation and implementation of a Workers Environmental Awareness Program training prior to project commencement and Mitigation Measure CUL-2 would require archaeological and Native American monitoring during initial ground disturbances; these measures would reduce impacts concerning undiscovered archaeological and tribal cultural resources. As such, the project would not degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory. No new significant impacts are identified, and no new mitigation measures are required.

(b) As analyzed above, the modified project would not result in new impacts or substantially increased impacts, and previous mitigation measures from the approved 2019 IS/MND remain feasible to minimize impacts. The approved 2019 IS/MND found that the approved project would have less than significant impacts to all environmental topical areas except for aesthetics, air quality, biological resources, cultural resources, noise, and tribal cultural resources. The proposed project is consistent with the previous analyses. The modified project would remodel the existing Edison Theatre with the addition of a new, connecting Performing Arts Theatre, construct an outdoor amphitheater as previously proposed under the approved project, and construct a new storage building, a childcare center, and a dog park on site; the modified project would include the potential for redevelopment of the dog park into an institutional employee workforce housing townhome community. The modified project would be located within the same project site as the approved project. The modified project proposes structures of smaller scale and massing than the approved project, and thus is anticipated to have less intensive environmental effects than what was analyzed in the approved 2019 IS/MND. As such, the modified project would not introduce any new cumulative impacts not previously identified in the 2019 IS/MND. No new significant impacts are identified, and no new mitigation measures are required.

(c) The modified project would have a different footprint and introduce additional uses compared to the approved project. However, as analyzed in Responses 4.21(a) and 4.21(b), the modified project would not result in any new significant impacts or the need for new mitigation measures, compared to the approved project. Previous mitigation measures identified in the approved 2019 IS/MND remain feasible to minimize project impacts. As such, the modified project would not have

environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.



5.0 DETERMINATION/ADDENDUM CONCLUSION

The Town conducted an environmental review in conformance with CEQA and the State CEQA Guidelines and determined the modified project does not cause new significant environmental effects or substantially increase environmental effects previously studied and mitigated within the Certified EIR. Therefore, an addendum may be prepared, pursuant to CEQA Guidelines Section 15164(b), as minor technical changes or additions to be made to the EIR to reflect the project. This Addendum has been prepared per Public Resources Code Section 21166 and State CEQA Guidelines Sections 15162 and 15164, based on the following conclusions.

5.1 NO MAJOR REVISIONS REQUIRED DUE TO ADDITIONAL ENVIRONMENTAL EFFECTS

There are no substantial changes proposed in the modified project which will require major revisions of the approved 2019 IS/MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects, in that:

- 1. The modified project does not create new significant environmental effects or substantially increase in the severity of environmental effects found to be of no impacts or less than significant impacts in the approved 2019 IS/MND. Further, the modified project does not create new significant environmental effects or substantially increase environmental effects found to be less than significant with mitigation in the 2019 IS/MND with mitigation measures incorporated in the following topical areas: Aesthetics, Air Quality, Biological Resources, Cultural Resources, Noise, and Tribal Cultural Resources. As described in <u>Section 4.0</u>, <u>Environmental Assessment</u>, the modified project is consistent with the environmental impact analysis, findings, and mitigations in the approved 2019 IS/MND, with no significant changes occurred to the circumstances or assumptions in which the approved 2019 IS/MND was completed.
- 2. No significant unavoidable impacts were identified in the approved 2019 IS/MND.

5.2 NO MAJOR REVISIONS REQUIRED DUE TO CHANGE IN CIRCUMSTANCES

There are no substantial changes that have or will occur with respect to the circumstances under which the modified project is undertaken which would require major revisions of the approved 2019 IS/MND, for reasons detailed in <u>Section 5.1</u>, <u>No Major Revisions Required Due to Additional Environmental Effects</u>.

5.3 NO NEW INFORMATION OF SUBSTANTIAL IMPORTANCE

There is no new information of substantial importance known and could have been known with the exercise of reasonable diligence at the time the previous environmental document was certified as complete, in that:



- 1. The key circumstances and assumptions to which the approved 2019 IS/MND was completed have not changed. The modified project is consistent with the environmental impact analysis, findings, and mitigations in the approved 2019 IS/MND; and
- 2. Applicable mitigation measures in the approved 2019 IS/MND Mitigation Monitoring and Reporting Program (MMRP) shall be incorporated as feasible mitigation measures for the modified project.

5.4 ADDENDUM TO IS/MND IS APPROPRIATE CEQA DOCUMENTATION

Although there are no substantive changes to the approved project, an addendum is appropriate because the modified project involves minor changes and new information related to the approved 2019 IS/MND (State CEQA Guidelines §§15162, 15164). This information does not constitute substantial changes to the approved project or the circumstances due to the involvement of significant environmental effects or a substantial increase in the severity of previously identified significant effects. Similarly, subsequent consideration does not constitute new information that would show new effects or substantially more severe effects. Likewise, there are no known mitigation measures that would in fact be feasible or that would substantially reduce significant effects that the project proponent has declined to adopt. Furthermore, there have been no other changes, evidence or new information, which would require revisions to the approved 2019 IS/MND. In accordance with State CEQA Guidelines Section 15164, this Addendum to the approved *Mammoth Arts and Cultural Center (MACC) Project Initial Study/Mitigated Negative Declaration* is the appropriate environmental document for the proposed project.



6.0 **REFERENCES**

- California Department of Fish and Wildlife, *California Natural Community Conservation Plans Map*, April 2019.
- California Environmental Protection Agency, *Cortese Listing*, https://calepa.ca.gov/sitecleanup/corteselist/, accessed, accessed May 4, 2023.
- California Department of Transportation, *California State Scenic Highway System Map*, https://caltrans.maps.arcgis.com/apps/webappviewer/index.html?id=465dfd3d807c46cc8e80 57116f1aacaa, accessed February 6, 2023.

County of Mono, Mono County Resource Efficiency Plan, August 1, 2014.

- Hayne, M.J., *Prediction of Crowd Noise*, November 2006.
- LSC Transportation Consultants, Inc., *Mammoth Arts and Cultural Center (MACC) Trip Generation and VMT Analysis Update*, November 27, 2023.
- Michael Baker International, Habitat Assessment for the Addendum to the Mammoth Arts and Cultural Center Project located in the Town of Mammoth Lakes, Mono County, California, March 17, 2023.
- Rincon Consultants, Inc., Cultural Resources Addendum for the Mammoth Arts and Cultural Center Project, Town of Mammoth Lakes, Mono County, California, October 12, 2022.
- U.S. Department of Transportation Federal Highway Administration, *Techniques for Reviewing* Noise Analyses and Associated Noise Reports, June 1, 2018.



ATTACHMENT 1

Habitat Assessment

We Make a Difference



March 17, 2023

JN 190838

Town of Mammoth Lakes Attn: *Ruth Traxler* P.O. Box 1609 Mammoth Lakes, California 93546

SUBJECT: Habitat Assessment for the Addendum to the Mammoth Arts and Cultural Center Project located in the Town of Mammoth Lakes, Mono County, California

Dear Ms. Traxler:

Michael Baker International (Michael Baker) conducted a habitat assessment for the addendum to the proposed Mammoth Arts and Cultural Center (MACC) Project (Project) located in the Town of Mammoth Lakes, Mono County, California. Michael Baker biologist Travis McGill inventoried and evaluated the condition of the habitat within the Project site on November 14, 2017 to characterize existing site conditions and assess the potential occurrence of special-status¹ plant and wildlife species that could pose a constraint to Project implementation in support of the original Project. Michael Baker biologist John Parent visited the site on September 24, 2022 and inventoried and reevaluated the site to document current conditions in support of the addendum. This report provides an assessment of the suitability of the on-site habitat to support special-status plant and wildlife species identified by the California Department of Fish and Wildlife (CDFW) California Natural Diversity Data Base (CNDDB) (CDFW 2023), the California Native Plant Society's (CNPS) online Inventory of Rare and Endangered Plants of California (CNPS 2023), the U.S. Fish and Wildlife Service's Information for Planning and Consultation (IPaC) environmental review tool (USFWS 2023), and other electronic databases as potentially occurring in the vicinity of the Project site.

PROJECT LOCATION

The Project site is generally located west of U.S. Route 395 and south of State Route 203 on the eastern foothills of the Sierra Nevada Mountain range in the Town of Mammoth Lakes, Mono County, California (refer to Exhibit 1, *Regional Vicinity*, Attachment A). The Project site is depicted on the Old Mammoth quadrangle of the United States Geological Survey's (USGS) 7.5-minute topographic map series in Section 35 of Township 3 south, Range 27 east (refer to Exhibit 2, *Site Vicinity*, Attachment A). Specifically, the Project site is located north of Mammoth Creek Road, east of Old Mammoth Road, south of Meridian Boulevard, and west of U.S. Route 395 (refer to Exhibit 3, *Project Site*, Attachment A).

¹ As used in this report, "special-status" refers to plant and wildlife species that are federally or State listed, proposed, or candidates; plant species that have been designated a California Native Plant Society (CNPS) Rare Plant Rank; and wildlife species that are designated by the California Department of Fish and Wildlife (CDFW) as fully protected, species of special concern, or watch list species.

PROJECT DESCRIPTION

The Project as originally proposed was to include a 298-seat Performing Arts Theatre, 500-seat outdoor amphitheater, a new parking lot, and a workshop and storage building (refer to Exhibit 4, *Conceptual Site Plan*, Attachment A). The original Project proposed additional renovations to the existing Edison Theatre (roof replacement) and parking lot improvements (paving and restriping). The modified project would improve the existing Edison Theatre by constructing a new addition to the Performing Arts Theatre, north of the building, a storage building, a childcare center, and a dog park, with an option to redevelop the proposed dog park into a 60-unit affordable townhome community with access from College Parkway to the south.

METHODOLOGY

A literature review and records search was conducted to determine which special-status biological resources have the potential to occur on or within the general vicinity of the Project site. In addition to the literature review, a general habitat assessment or field survey of the Project site was conducted. The field survey was conducted to document existing conditions within the Project site and assess the potential for special-status biological resources to occur.

Literature Review

Prior to conducting the field survey, a literature review and records search was conducted for special-status biological resources potentially occurring on or within the vicinity of the Project site. Previously recorded occurrences of special-status plant and wildlife species and their proximity to the Project site were determined through a query of the CDFW CNDDB Rarefind 5 (CDFW 2023a), the CNPS online Inventory of Rare and Endangered Plants of California (CNPS 2023), the USFWS IPaC environmental review tool (USFWS 2023a), and Calflora Database (Calflora 2023). In addition, lists of special-status species published by CDFW (CDFW 2023b-e), and the U.S. Fish and Wildlife Service (USFWS) Critical Habitat Mapper (USFWS 2023b) and species listings were also reviewed.

All available reports, survey results, and literature detailing the biological resources previously observed on or within the general vicinity of the Project site were reviewed to understand existing site conditions and note the extent of any disturbances that have occurred on the Project site that would otherwise limit the distribution of special-status biological resources. Standard field guides and texts were reviewed for specific habitat requirements of special-status and non-special-status biological resources, as well as the following resources:

- Google Earth Pro historic aerial imagery (1993 2023);
- Town of Mammoth Lakes General Plan Update (2007);
- United States Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Custom Soil Resource Report for Mono County; and
- USFWS Critical Habitat designations and Primary Constituent Elements (PCEs) for Threatened and Endangered Species.

The literature review provided a baseline from which to inventory the biological resources potentially occurring within the Project site. Additional recorded occurrences of those species found on or near the Project site were derived from database queries. The CDFW's CNDDB Rarefind 5 was used, in conjunction with ArcGIS software, to review historical special-status species occurrence data within the vicinity of the Project site.

Habitat Assessment and Field Surveys

Michael Baker biologist Travis McGill inventoried the extent and condition of the habitats within the Project site on November 14, 2017. An additional survey was performed by Michael Baker biologist John Parent on September 24, 2022 in order to inventory and reevaluate the site's current conditions in support of the addendum. Plant communities were preliminarily identified on aerial photographs and visually inspected during the field survey to document their extent within the Project site. The plant communities occurring within the Project site were evaluated for their potential to provide suitable habitat for special-status plant and wildlife species as well as function as corridors and/or linkages that may support the movement of wildlife through the area. Special attention was given to any special-status plant and wildlife species.

All plant and wildlife species, including dominant plant species within each plant community, observed during the field survey were recorded. Plant species were identified by visual characteristics and morphology in the field. Unusual and less familiar plant species were photographed during the field survey and identified in the laboratory using taxonomical guides. Wildlife detections were made through observation of scat, trails, tracks, burrows, nests, and/or visual and aural detection. In addition, general site characteristics including soil condition, topography, hydrology, anthropogenic disturbances, indicator species, condition of on-site plant communities, and presence of potential jurisdictional drainage and/or wetland features were noted.

EXISTING SITE CONDITIONS

The Project site abuts Meridian Boulevard to the north and the Cerro Coso Community College Eastern Sierra Campus to the south and southwest. Mammoth Elementary School and residential housing is located to the north of the Project site, across Meridian Boulevard, while vacant land can be found to the east and southeast. The Mammoth Ski Museum is located within the southwest portion of the Project site while undeveloped land occurs within the northern, eastern, and southeast portions of the Project site. Exposed rocks and surface boulders occur throughout the landscaped and undeveloped areas of the Project site. College Parkway and a paved bike trail bisect the southeast portion of the Project site. On-site surface elevation ranges from approximately 7,814 to 7,862 feet above mean sea level and generally slopes from the northwest to southeast. According to the USDA NRCS Custom Soil Resource Report for Mono County, the Project site is underlain by the following soil units: Chesaw family, 0 to 5 percent slopes (163bo) and Glean family, 0 to 50 percent slopes (215) (refer to Exhibit 5, *Soils*, Attachment A). Refer to Attachment B for representative photographs taken throughout the Project site.



VEGETATION

The only natural plant community occurring within the Project site was big sagebrush scrub (refer to Exhibit 6, *Vegetation*, Attachment A). The remaining portions of the Project site consists of land cover types that would be classified as landscaped, disturbed, and developed. This natural plant community and land cover types are described in further detail below. Refer to Attachment C for a complete list of plant species observed within the Project site.

Big Sagebrush Scrub (5.58 Acres)

The undeveloped, natural areas located within the northern, eastern, and southeast portions of the Project site are composed of a big sagebrush scrub plant community. This plant community is primarily dominated by big sagebrush (*Artemisia tridentata*). Other common plant species occuring within this plant community include green leaf manzanita (*Arctostaphylos patula*), hoary aster (*Dieteria canescens*), rubber rabbitbush (*Ericameria nauseosa* var. *speciosa*), Bailey's buckwheat (*Eriogonum baileyi* var. *baileyi*), and antelope bitterbush (*Purshia tridentata*). Several Jeffery pine (*Pinus jeffreyi*) trees are also scattered throughout this plant community; however, they are not grouped together and do not provide a dense canopy within this plant community.

Landscaped (1.10 Acres)

The landscaped area within the Project site is associated with the Mammoth Ski Museum which is located within the southwest portion of the Project site. Individual Jeffery pines are scattered throughout the landscaped area with various non-native grasses consisting of crested wheatgrass (*Agropyron cristatum*), Indian wild rice (*Stipa hymenoides*), and cheatgrass (*Bromus tectorum*) as understory.

Disturbed (0.37 Acres)

Disturbed areas within the Project site do not comprise a natural plant community and instead consist of unpaved land with heavily compacted soils that are routinely exposed to anthropogenic disturbances (i.e., dirt trails, activities associated with the on-site museum, and weed abatement activities). Surface soils within these areas are generally devoid of vegetation and/or support non-native and ruderal/weedy plant species.

Developed (1.41 Acres)

Developed areas within the Project site generally consist of paved, impervious surfaces and infrastructure including the Mammoth Ski Museum, parking lots, sidewalks, College Parkway, and a bike path associated with the Cerro Coso Community College Eastern Sierra Campus.

WILDLIFE

Plant communities provide foraging habitat, nesting/denning sites, and shelter from adverse weather or predators. This section provides a general discussion of those wildlife species that were observed or that are expected to occur within the Project site. The discussion is to be used a general reference and is limited



by the season, time of day, and weather conditions in which the field survey was conducted. Wildlife detections were based on calls, songs, scat, tracks, burrows, and direct observation.

<u>Fish</u>

No fish or hydrogeomorphic features (e.g., creeks, ponds, lakes, reservoirs) with frequent sources of water that would support populations of fish were observed on or within the vicinity of the Project site. Therefore, no fish are expected to occur and are presumed absent from the Project site.

Amphibians

No amphibians or hydrogeomorphic features (e.g., creeks, ponds, lakes, reservoirs) with frequent sources of water that would support amphibian species were observed on or within the vicinity of the Project site. Therefore, no amphibians are expected to occur and are presumed absent from the Project site.

Reptiles

No reptilian species were observed during the field surveys. However, the Project site and surrounding habitat has the potential to support a variety of reptilian species that are adapted to a high level of human disturbance. Common reptilian species expected to occur on or within the vicinity of the Project site include Nevada side-blotched lizard (*Uta stansburiana nevadensis*), Great Basin fence lizard (*Sceloporus occidentalis longipes*), northern sagebrush lizard (*Sceloporus graciosus graciosus*), and Great Basin gopher snake (*Pituophis catenifer deserticola*).

Birds

The Project site provides suitable foraging and cover habitat for a variety of resident and migrant bird species. Red-tailed hawk (*Buteo jamaicensis*) and Brewer's blackbird (*Euphagus cyanocephalus*) were the only bird species detected during the 2017 and 2022 field surveys. Other common bird species expected to occur on or within the vicinity of the Project site include northern flicker (*Colaptes auratus*), western wood-pewee (*Contopus sordidulus*), common raven (*Corvus corax*), Steller's jay (*Cyanocitta stelleri*), song sparrow (*Melospiza melodia*), house finch (*Haemorhous mexicanus*), dark-eyed junco (*Junco hyemalis*), cliff swallow (*Petrochelidon pyrrhonota*), mountain chickadee (*Poecile gambeli*), red-breasted nuthatch (*Sitta canadensis*), lesser goldfinch (*Spinus psaltria*), American robin (*Turdus migratorius*), mourning dove (*Zenaida macroura*), and various other migrant and resident songbirds.

Mammals

The Project site and surrounding habitat has the potential to support a variety of mammalian species. However, most mammalian species are nocturnal and are difficult to observe during a diurnal field survey. Mule deer (*Odocoileus hemionus*) and chipmunk (*Tamias* sp.) were the only mammal species observed during the field surveys. Other common mammalian species that are expected to occur on or within the vicinity of the Project site include opossum (*Didelphis virginiana*), coyote (*Canis latrans*), striped skunk (*Mephitis mephitis*), raccoon (*Procyon lotor*), lodgepole chipmunk (*Tamias speciesus*), Botta's pocket gopher (*Thomomys bottae*), and black bear (*Ursus americanus*).



NESTING BIRDS

No remnant or active nests were observed during the field survey. However, the plant communities within the Project site provide foraging and nesting habitat for a variety of year-round and seasonal avian residents, as well as migrating songbirds that could occur in the area. Further, unvegetated areas within the Project site provide nesting habitat for bird species that nest on the open ground and the individual Jeffery pine trees found within the Project site provide additional nesting habitat.

MIGRATORY CORRIDORS AND LINKAGES

Habitat linkages provide links between larger undeveloped habitat areas that are separated by development. Wildlife corridors are similar to linkages but provide specific opportunities for animals to disperse or migrate between areas. A corridor can be defined as a linear landscape feature of sufficient width to allow animal movement between two comparatively undisturbed habitat fragments. Adequate cover is essential for a corridor to function as a wildlife movement area. It is possible for a habitat corridor to be adequate for one species, but inadequate for others. Wildlife corridors are significant features for dispersal, seasonal migration, breeding, and foraging. Additionally, open space can provide a buffer against both human disturbance and natural fluctuations in resources.

The Project site is not located within any local or regional designated migratory corridors or linkages. Although the majority of the Project site is dominated by natural habitat, the Project site is bordered by Meridian Boulevard, College Parkway, and existing development which limits wildlife movement opportunities. As such, the proposed Project would not be expected to disrupt wildlife movement opportunities within or adjacent to the Project site. It is important to note that Mammoth Creek is located approximately 0.30 miles to the south of the Project site and provides west to east wildlife movement opportunities along the riparian corridor associated with the creek from the mountains to the valley floor. However, the proposed Project would not result in impacts to Mammoth Creek and would not be expected to disrupt wildlife movement within undeveloped areas to the south or prevent the creek from continuing to function as a wildlife movement within this area or prevent the Mammoth Creek from continuing to function as a wildlife movement corridor.

JURISDICTIONAL AREAS

There are three key agencies that regulate activities within coastal streams, wetlands, and riparian areas in California. The U.S. Army Corps of Engineers (Corps) Regulatory Branch regulates discharge of dredge or fill materials into "waters of the United States" pursuant to Section 404 of the Federal Clean Water Act (CWA), Section 10 of the Rivers and Harbors Act, and Section 103 of the Marine Protection, Research and Sanctuaries Act. Of the State agencies, the Regional Water Quality Control Board (Regional Board) regulates discharges to surface waters pursuant to Section 401 of the CWA and the California Porter-Cologne Water Quality Control Act, and CDFW regulates alterations to streambed and associated plant communities under Code Sections 1600 *et seq.*, of the California Fish and Game Code.



No jurisdictional drainage and/or wetland features were observed within or adjacent to the Project site that would be considered jurisdictional by the Corps, Regional Board, or CDFW. Therefore, development of the proposed Project would not result in impacts to Corps, Regional Board, or CDFW jurisdictional areas and regulatory approvals would not be required.

SPECIAL-STATUS BIOLOGICAL RESOURCES

The CNDDB (CDFW 2022) and CIRP (CNPS 2022) was queried for reported locations of special-status plant and wildlife species as well as special-status natural plant communities in the Old Mammoth, Mammoth Mountain, Crystal Crag, Bloody Mountain, Whitmore Hot Springs, and Convict Lake USGS 7.5-minute quadrangles, and for the project region in IPaC (USFWS 2022). A search of published records of these species was conducted within these quadrangles using CDFW's CNDDB Rarefind 5 online software and Quickview Tool in BIOS. The habitat assessment evaluated the conditions of the habitat(s) within the boundaries of the Project site to determine if the existing plant communities, at the time of the survey, have the potential to provide suitable habitat(s) for special-status plant and wildlife species.

The literature search identified sixty-five (65) special-status plant species, twenty-three (23) special-status wildlife species, and two (2) special-status plant communities as having been recorded in the region. Special-status plant and wildlife species were evaluated for their potential to occur within the Project site based on habitat requirements, availability and quality of suitable habitat, and known distributions. Special-status plant and wildlife species identified during the literature searches and their potential to occur within the vicinity of the Project site are presented in Attachment D, *Potentially Occurring Special-Status Biological Resources*.

Special-Status Plants

Sixty-five (65) special-status plant species were identified during the literature search (refer to Attachment D). No special-status plant species were observed within the Project site during the field survey. Based on habitat requirements for specific special-status plant species and the availability and quality of habitats needed by each species, it was determined that the Project site does not provide suitable habitat for any of the special-status plant species identified during the literature search. Therefore, the proposed Project is not anticipated to impact special-status plant species and mitigation would not be required.

Special-Status Wildlife

Twenty-three (23) special-status wildlife species were identified during the literature seach (refer to Attachment D). No special-status wildlife species were observed within the Project site during the field survey. Based on habitat requirements for specific special-status wildlife species and the availability and quality of habitats needed by each species, it was determined that the Project site has a high potential to support western white-tailed jackrabbit (*Lepus townsendii townsendii*), and a low potential to provide suitable foraging habitat for northern goshawk (*Accipiter gentilis*). All remaining special-status wildlife species identified during the literature search are presumed to be absent from the Project site based on habitat requirements, availability and quality of habitat needed by each species, and known distributions.



Sensitive Plant Communities

According to the CNDDB, two (2) sensitive plant community have been reported in the Old Mammoth, Mammoth Mountain, Crystal Crag, and Bloody Mountain USGS 7.5-minute quadrangles: 1) Mono Pumice Flat and 2) Water Birch Riparian Scrub (refer to Attachment D). Based on the results of the field survey, these special-status plant communities do not occur within the Project site. Further, sensitive vegetation communities listed by CDFW in *California Sensitive Natural Communities* (CDFW 2022) are not present on-site. Therefore, the proposed Project is not anticipated to impact any sensitive plant communities and mitigation would not be required.

Critical Habitat

Critical Habitat refers to specific areas within the geographical range of a species at the time it is listed that include the physical or biological features that are essential to the survival and eventual recovery of that species. Maintenance of these physical and biological features requires special management considerations or protection, regardless of whether individuals or the species are present or not. In the event that a project may result in take or adverse modification to a species' designated Critical Habitat, a project proponent may be required to engage in suitable mitigation. However, consultation for impacts to Critical Habitat is only required when a project has a federal nexus. This may include projects that occur on federal lands, require federal permits (i.e., Corps, CWA Section 404 permit), or receive any federal oversight or funding. If there is a federal nexus, then the federal agency that is responsible for providing funds or permits would be required to consult with the USFWS for the loss or adverse modification to Critical Habitat. If a project does not have a federal nexus, consultation with the USFWS is not required.

The Project site is not located within federally designated Critical Habitat (refer to Exhibit 7, *Critical Habitat*, Attachment A). Therefore, the proposed Project would have no effect on Critical Habitat and consultation with the USFWS for the loss or adverse modification of Critical Habitat would not be required.

LOCAL POLICIES AND ORDINANCES

Town of Mammoth Lakes Tree Removal and Protection

Section 17.36.140 of Mammoth Lakes Municipal Code includes provisions to protect and to regulate the removal of certain trees, based on the important environmental, aesthetic and health benefits that trees provide to Mammoth Lakes residents and visitors, and the contribution of such benefits to public health, safety and welfare. These benefits include, but are not limited to, enhancement of the character and beauty of the community as a "Village in the Trees," protection of property values, provision of wildlife habitat, reduction of soil erosion, noise buffering, wind protection, and visual screening for development.

Due to the presence of pine trees within the Project site, a tree removal permit or tree removal and protection plan shall be obtained from the Town of Mammoth Lakes prior to development of the proposed Project. Since the proposed Project will receive development approval through a land use, building, or grading permit, a tree removal and protection plan shall be prepared that is consistent with the standards of Section 17.36.140 of Mammoth Lakes Municipal Code. As a result, a separate tree removal permit would not be required, and the removal of trees is considered approved through the land use, building, or grading permit.



The tree removal and protection plan shall clearly depict all the trees to be preserved and/or removed from the Project site. Please refer to Attachment E for a copy of Section 17.36.140 of the Mammoth Lakes Municipal Code.

LOCAL, REGIONAL, AND STATE HABITAT CONSERVATION PLANS

The proposed Project is not located within an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan. Therefore, the proposed Project would have no effect to any local, regional, or state Habitat Conservation Plans and mitigation would not be required.

CONCLUSION AND RECOMMENDATIONS

The Project site abuts Meridian Boulevard to the north and the Cerro Coso Community College Eastern Sierra Campus to the south and southwest. The Mammoth Ski Museum is located within the southwest portion of the Project site while vacant, undeveloped land is located within the northern, eastern, and southeast portions of the Project site. One natural plant community occurs within the Project site: 1) big sagebrush scrub. In addition, the Project site contains land cover types that would be classified as landscaped, disturbed, and developed.

No special-status wildlife species were observed within the Project site during the field survey. Based on habitat requirements for specific special-status wildlife species and the availability and quality of habitats needed by each species, it was determined that the Project site has a high potential to support western white-tailed jackrabbit, and a low potential to provide suitable foraging habitat for northern goshawk. All remaining special-status wildlife species identified during the literature searches are presumed to be absent from the Project site based on habitat requirements, availability and quality of habitat needed by each species, and known distributions. Although the Project site has a high potential to support western white-tailed jackrabbit and a low potential to provide suitable foraging habitat for northern goshawk, it does not provide high quality habitat for these species. Further, undeveloped, natural areas to the south of the Project site, including Mammoth Creek, provide ample habitat for these species. Therefore, impacts to foraging habitat as a result of the proposed Project would be less than significant and no mitigation would be required.

The Project site and surrounding area has the potential to provide refuge/cover from predators, perching sites, and favorable conditions for nesting birds. Nesting birds are protected pursuant to the Migratory Bird Treaty Act, the Bald and Golden Eagle Protection Act, and the California Fish and Game Code. If project activities are to be initiated during the nesting season (February 1st to August 31st), a pre-construction nesting bird clearance survey shall be conducted by a qualified biologist no more than three (3) days prior to the start of any vegetation removal or ground disturbing activities. A qualified biologist shall survey all suitable nesting habitat within the project impact area, and within a biologically defensible buffer distance surrounding the project impact area, for nesting birds prior to commencing project activities. Documentation of surveys and findings shall be submitted to the Town of Mammoth Lakes for review and file. If no active nests are detected, project activities may begin. If an active nest if found, the bird shall be identified to species and the approximate distance from the closest work site to the nest shall be estimated



and the qualified biologist shall establish a "no-disturbance" buffer around the active nest. The distance of the "no-disturbance" buffer may be increased or decreased according to the judgement of the qualified biologist depending on the level of activity and sensitivity of the species. The qualified biologist shall periodically monitor any active nests to determine if project-related activities occurring outside the "no-disturbance" buffer disturb the birds and if the buffer should be increased. Once the young have fledged and left the nest, or the nest otherwise becomes inactive under natural conditions, project activities within the "no-disturbance" buffer may occur.

Due to the presence of pine trees within the Project site, a tree removal permit or tree removal and protection plan shall be obtained from the Town of Mammoth Lakes prior to development of the proposed Project. Since the proposed Project will receive development approval through a land use, building, or grading permit, a tree removal and protection plan shall be prepared that is consistent with the standards of Section 17.36.140 of Mammoth Lakes Municipal Code. As a result, a separate tree removal permit would not be required, and the removal of trees is considered approved through the land use, building, or grading permit. The tree removal and protection plan shall clearly depict all the trees to be preserved and/or removed from the Project site.

Please do not hesitate to contact John Parent at (949) 472-3432 or <u>john.parent@mbakerintl.com</u> or Tom Millington at (949) 855-5777 or <u>tommillington@mbakerintl.com</u> should you have any questions regarding this report.

Sincerely,

John Parent Biologist Natural Resources

Attachments:

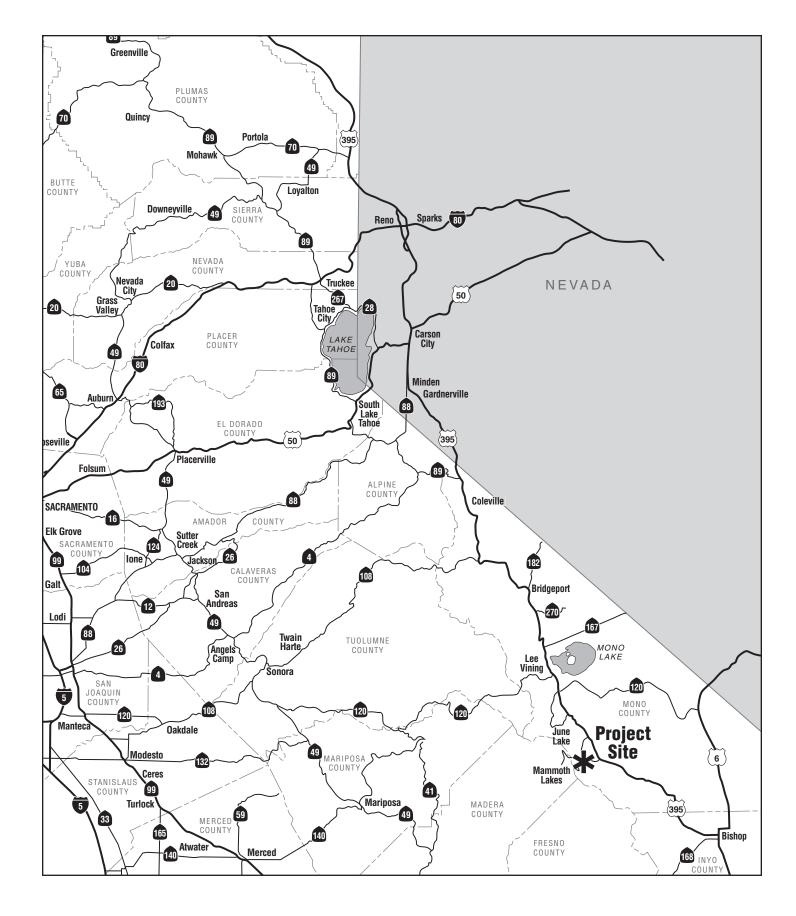
Ton Millington

Thomas Millington Senior Biologist Natural Resources

- A. Project Exhibits
- B. Site Photographs
- C. Flora and Fauna Compendium
- D. Potentially Occurring Special-Status Biological Resources
- E. References
- F. Section 17.36.140 of the Mammoth Lakes Municipal Code



ATTACHMENT A Project Exhibits



MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE MAMMOTH ARTS AND CULTURAL CENTER (MACC) PROJECT





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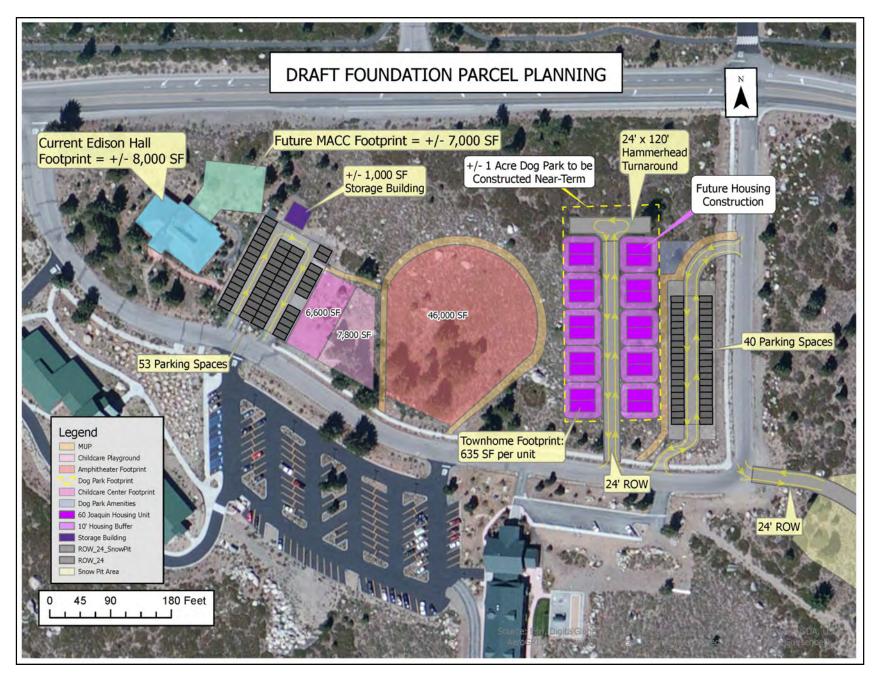
Exhibit 1



Source: Google Earth Pro, 2018. - Proposed Limits of Disturbance - Parcel Boundary * - Existing Edison Theatre

NOT TO SCALE Michael Baker INTERNATIONAL 9/7/22 | JN 190838 MAMMOTH ARTS AND CULTURAL CENTER (MACC) INITIAL STUDY/MITIGATED NEGATIVE DECLARATION **Site Vicinity**





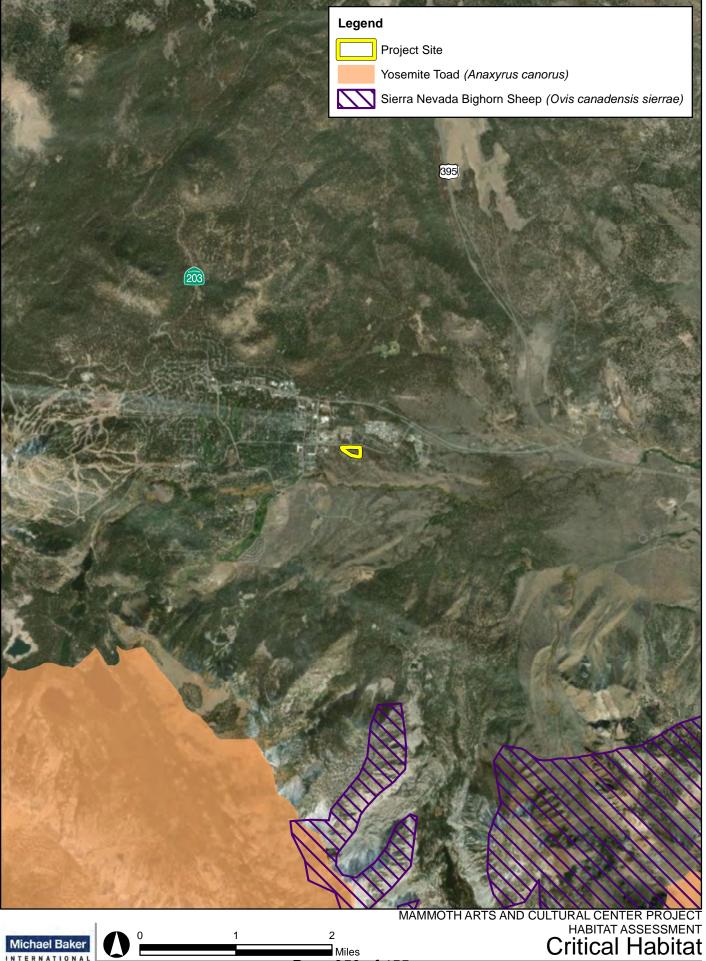
MAMMOTH ARTS AND CULTURAL CENTER (MACC) ADDENDUM TO THE MAMMOTH ARTS AND CULTURAL CENTER (MACC) PROJECT

Overall Modified Conceptual Site Plan

9/7/22 | JN 190838







INTERNATIONAL



ATTACHMENT B Site Photographs



Photo 1. South-facing view from northcentral of the project site.



Photo 2. Southwest-facing view from northcentral of the project site.



Photo 3. Northwest-facing view from northcentral of the project site.



Photo 4. South-facing view from northeast corner of project site.



Photo 6. Northwest-facing view from southeast corner of project site.



Photo 7. West-facing view from southeast corner of project site.



Photo 8. East-facing view from southcentral of the project site.



Photo 9. Northeast-facing view from southcentral of the project site.



Photo 10. West-facing view from southcentral of the project site.



Photo 11. Northwest-facing view from southcentral of the project site.



Photo 12. East-facing view along College Parkway from in front of Edison Hall.



Photo 13. North-facing view of Edison Hall from College Parkway.



Photo 14. South-facing view from southwest corner of project site.



Photo 15. Northeast-facing view from southwest corner of project site.



Photo 16. East-facing view from southwest corner of project site.



Photo 17. Southeast-facing view from northwest corner of project site.



Photo 18. South-facing view from northwest corner of project site.

ATTACHMENT C Flora and Fauna Compendium

Scientific Name*	Common Name
Plants	
Achillea millefolium	common yarrow
Agropyron cristatum	crested wheatgrass
Arctostaphylos patula	green leaf manzanita
Artemesia tridentata	big sagebrush
Bromus tectorum*	cheatgrass
Descuriania californica	Sierra tansy mustard
Dieteria canescans	hoary aster
Elymus cinereus	Great Basin wild rye
Ericameria nauseosa var. speciosa	rubber rabbitbrush
Eriogonum baileyi var. baileyi	Bailey's buckwheat
Erysimum perenne	sanddune wallflower
Lepidium densiflorum	common pepper grass
Pinus jeffreyi	Jeffrey pine
Purshia tridentata	antelope brittlebrush
Salsola tragus*	Russian thistle
Stipa hymenoides	Indian rice grass
Stephanomeria tenuifolia	wire lettuce

Table C-1:	Plant Species Observed List
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* Non-native species

Table C-2: Wildlife Species Observed List

Scientific Name*	Common Name
Birds	
Buteo jamaicensis	Red-tailed hawk
Euphagus cyanocephalus	Brewer's blackbird
Mammals	
Odocoileus hemionus	mule deer
Tamias sp.	chipmunk

ATTACHMENT D Potentially Occurring Special-Status Biological Resources

Scientific Name Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
	SPECIA	L-STATUS WILDLIFE SPECIES		-
Accipiter gentilis northern goshawk	SSC G5 S3	Within, and in vicinity of, coniferous forest. Uses old nests, and maintains alternate sites. Usually nests on north slopes, near water. Red fir, lodgepole pine, Jeffrey pine, and aspens are typical nest trees. Breeding within the California range extends from approximately 1,000 to 10,800 feet above mean sea level (amsl).	Yes	Low: The Project site provides suitable foraging habitat, but no suitable nesting habitat for this species. Additionally, per CNDDB records this species is known to occur within the vicinity of the Project site. Additionally, there are multiple observations of this species within a 5-mile radius of the project site (focused near Horseshoe Lake) through eBird (eBird 2022).
<i>Anaxyrus canorus</i> Yosemite toad	FT SSC G2G3 S2	Vicinity of wet meadows in central High Sierra, approximately 6,400 to 11,300 feet amsl. Primarily montane wet meadows; also in seasonal ponds associated with lodgepole pine and subalpine conifer forest.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Aplodontia rufa californica</i> Sierra Nevada mountain beaver	SSC G5T3T4 S2S3	Dense growth of small deciduous trees & shrubs, wet soil, & abundance of forbs in the Sierra Nevada & east slope. Needs dense understory for food & cover. Burrows into soft soil. Needs abundant supply of water.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Buteo swainsoni Swainson's hawk	ST G5 S3	Summer migrant in southern California. Typical habitat is open desert, grassland, or cropland containing scattered, large trees or small groves. Breeds in stands with few trees in juniper-sage flats, riparian areas, and in oak savannah in the Central Valley. Forages in adjacent grassland or suitable grain or alfalfa fields or livestock pastures.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Catostomus fumeiventris</i> Owens sucker	SSC G3 S3	Endemic to the Owens River drainage. In its native river habitat, it is most common in areas with long runs & few riffles. Adults can thrive in reservoirs, but need gravelly riffles in tributary streams for spawning. Inhabits streams and lakes below 7,500 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Centrocercus urophasianus greater sage-grouse	SSC G3G4 S2S3	In California this species is found in the northeastern, Great Basin portion of the state. They are restricted to flat/rolling terrain vegetated by sage-brush, upon which it depends for both food and shelter. Openings within sage habitat are used by grouse for mating displays.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.

Table D-1: Potentially Occur	ring Special-Status	Biological Resources
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<i>Scientific Name</i> Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
<i>Coccyzus americanus</i> yellow-billed cuckoo	FT	This species is known for being riparian forest nesters, usually along the broad lower-flood bottoms of large river systems. They nest in dense riparian willow habitats often mixed with cottonwoods that have lower stories of blackberry, nettle, or wild grape brush.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Coturnicops noveboracensis</i> yellow rail	SSC G4 S1S2	For breeding, this species requires sedge marshes/meadows with moist soil or shallow standing water. In the winter, this species inhabits wet meadows and coastal tidal marshes.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Cyprinodon radiosus</i> Owens pupfish	FE	Preferring warm, clear, shallow water in the Owens Valley that is free of exotic fishes. This species needs areas of firm substrate for spawning.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Danaus plexippus</i> monarch butterfly	FC G4T2T3 S2S3	Winter roost sites extend along the coast from northern Mendocino to Baja California, Mexico. Roosts are located in wind-protected tree groves (eucalyptus, Monterey pine, cypress), with nectar and water sources nearby.	No	Not Expected: The project site does not provide suitable habitat for this species. Based on maps of known wintering roosts for this species, there are no known roosts in this area (Xerces Society 2022).
<i>Empidonax traillii</i> willow flycatcher	SE G5 S1S2	Requires dense willow thickets for nesting/roosting and low exposed branches that are used for singing posts/hunting perches. Inhabits extensive thickets of low, dense willows on the edge of wet meadows, ponds, or backwaters at elevations ranging from 2,000 to 8,000 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Gila bicolor</i> ssp. <i>snyderi</i> Owens tui chub	FE SE G4T1 S1	Endemic to the Owens River basin in a variety of habitats. Needs clear, clean water, adequate cover, and aquatic vegetation.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Gulo gulo luscus wolverine	FT (Proposed) ST FP G4 S1	Needs water source. Uses caves, logs, burrows for cover & den area. Hunts in more open areas. Can travel long distances.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Lepus townsendii townsendii</i> western white-tailed jackrabbit	SSC G5T5 S3	Sagebrush, subalpine conifer, juniper, alpine dwarf shrub & perennial grassland. Open areas with scattered shrubs & exposed flat-topped hills with open stands of trees, brush & herbaceous understory. Found at elevations ranging from 131 to 14,108 feet amsl.	Yes	High: Suitable habitat for this species can be found within the big sagebrush scrub habitat present on site.
Oncorhynchus clarkii henshawi Lahontan cutthroat trout	FT G5T3 S1	Historically found in all accessible cold waters of the Lahontan Basin. It is known to withstand a wide variety of water temperatures and conditions. Cannot tolerate the presence of other salmonoids. Requires gravel riffles in streams for spawning.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.

Table D-1: Potentially Occurring Special-Status Biological Resources

Scientific Name Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
<i>Oncorhynchus clarkii seleniris</i> Paiute cutthroat trout	FT SSC G5T1 S1	Cool, well-oxygenated waters. Cannot tolerate presence of other salmonids, requires clean gravel for spawning.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Pekania pennanti pop. 2 fisher - southern Sierra Nevada ESU	FE ST SSC G5T1 S1	Intermediate to large-tree stages of coniferous forests & deciduous- riparian areas with high percent canopy closure. Uses cavities, snags, logs & rocky areas for cover & denning. Needs large areas of mature, dense forest.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Rana sierrae Sierra Nevada yellow-legged frog	FE ST G1 S1	Inhabits lakes, ponds, meadow streams, isolated pools, and sunny riverbanks in the Sierra Nevada Mountains. Open stream and lake edges with a gentle slope up to a depth of 5-8cm is preferred. Tadpoles may require 2 - 4 years to complete their aquatic development. Found at elevations ranging from 984 to 12,000 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Rhinichthys osculus ssp. 12 Long Valley speckled dace	SSC G5T1 S1	Found only in Long Valley in the Owens River drainage. Rarely found in water exceeding 29 C.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Rhinichthys osculus ssp. 2</i> Owens speckled dace	SSC G5T2Q S2	Found in small streams and springs in Owens Valley. Rarely found in water exceeding 29 C.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Sorex lyelli</i> Mount Lyell shrew	SSC G3G4 S3S4	High elevation riparian areas in the southern Sierra Nevada. Requires moist soil, lives in grass or under willows. Uses logs, stumps, etc. for cover. Found at elevations ranging from 6,890 to 11,909 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Strix nebulosa great gray owl	SE G5 S1	Resident of mixed conifer or red fir forest habitat, in or on edge of meadows. Requires large diameter snags in a forest with high canopy closure, which provide a cool sub- canopy microclimate. Found at elevations ranging from 6,000 to 9,000 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Vulpes vulpes necator pop. 2</i> Sierra Nevada red fox - Sierra Nevada DPS	FE ST G5TNR S1	Historically found from the Cascades down to the Sierra Nevada. Found in a variety of habitats from wet meadows to forested areas. Use dense vegetation & rocky areas for cover & den sites. Prefer forests interspersed w/ meadows or alpine fell-fields. Found at elevations ranging from 3,937 to 11,811 feet amsl.	Yes	Not Expected: Though suitable habitats preferred by this species are present within the project site, the closest known record is greater than 9 miles away and more than 35 years old.
	SPECI	AL-STATUS PLANT SPECIES		
Antennaria pulchella beautiful pussy-toes	4.3 G4 S4	Perennial stoloniferous herb. Occurs in alpine boulder and rock field (stream margins), meadows and seep habitats Blooming period is from June to September. Found at elevations ranging from 9,185 to 12,140 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.

Table D-1: Potentially Occurring Special-Status Biological Resources

Scientific Name Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
Arabis repanda var. greenei Greene's rockcress	3.3 G5T3Q S3	Perennial herb. Occurs in subalpine coniferous forest, upper montane coniferous forest habitats on granitic, talus, rocky or sandy soils. Blooming period is June to August. Found at elevations ranging from 7,695 to 11,810 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Astragalus johannis-howellii</i> Long Valley milk-vetch	CR 1B.2 G2 S1	Perennial herb. Occurs in sandy loam soils within great basin scrub habitat. Blooming period is from June to August. Found at elevations ranging from 6,695 to 8,300 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Astragalus kentrophyta var. danaus Sweetwater Mountains milk- vetch	4.3 G5T4 S4	Perennial herb. Occurs in rocky talus within alpine boulder and rock field, subalpine coniferous forest. Blooming period is July to September. Found at elevations ranging from 9,845 to 12,010 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Astragalus lemmonii</i> Lemmon's milk-vetch	1B.2 G2 S2	Perennial herb. Occurs in Great Basin scrub, meadows and seeps, marshes and swamp (lake margin) habitats. Blooming period is from May to August (September). Found at elevations ranging from 3,305 to 7,220 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Astragalus monoensis Mono milk-vetch	CR 1B.2 G2 S2	Perennial herb. Occurs in Great Basin scrub, upper montane coniferous forest, pumice flats with sparse vegetative cover. Found at elevations ranging from 6,925 to 11,010 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Atriplex pusilla smooth saltbush	2B.1 G4 SH	Annual herb. Occurs in Great Basin scrub, meadow and seep, wetland. Known from hot springs, and alkali springs. Blooming period is June to September. Found at elevations ranging from 4,265 to 6,560 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Boechera cobrensis</i> Masonic rockcress	2B.3 G5 S3	Perennial herb. Occurs in Great Basin scrub, Pinon and juniper woodlands, usually in sandy soils. Blooming period is June to July. Found at elevations ranging from 4,510 to 10,190 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Boechera pinzliae Pinzl's rockcress	1B.3 G2 S1	Perennial herb. Occurs in alpine, alpine boulder and rock field, subalpine coniferous forest habitats in steep, unstable scree and sand. Blooming period is July. Found at elevations ranging from 9,845 to 10,990 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Additionally, the project site is outside of the known elevational limits of this species.
<i>Boechera tularensis</i> Tulare rockcress	1B.3 G3 S3	Perennial herb. Subalpine coniferous forest, upper montane coniferous forest habitats on rocky slopes. Blooming period is May to August. Found at elevations ranging from 5,990 to 10,990 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.

Table D-1: Potentially Occurring Special-Status Biological Resources

Scientific Name Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
Botrychium ascendens upswept moonwort	2B.3 G3 S2	Perennial rhizomatous herb. Occurs in mesic soils within lower montane coniferous forest, meadows and seep habitats. Blooming period is (June) July to August. Found at elevations ranging from 3,660 to 9,990 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Botrychium crenulatum</i> scalloped moonwort	2B.2 G4 S3	Perennial rhizomatous herb. Occurs in bogs and fens, lower montane coniferous forest, meadows and seeps, marshes and swamps (freshwater), and upper montane coniferous forest habitats. Blooming season is from June to September. Found at elevations ranging from 4,160 to 10,761 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Botrychium minganese Mingan moonwort	2B.2 G5 S3	Perennial rhizomatous herb. Occurs in mesic soils within bogs and fens, lower montane coniferous forest, meadows and seep (edges), and upper montane coniferous forest habitats. Found at elevations ranging from 4,775 to 7,155 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Bruchia bolanderi</i> Bolander's bruchia	4.2 G3 S3	Moss. Occurs in lower montane coniferous forest, meadows and seep, and upper montane coniferous forest habitats. Moss which grows on damp clay soils. Seems to colonize bare soil along streambanks, meadows, fens and springs. Found at elevations ranging from 5,580 to 9,185 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Calochortus excavatus</i> Inyo County star-tulip	1B.1 G2 S2	Perennial bulbiferous herb. Occurs in alkaline or mesic soils within chenopod scrub, meadows and seep habitats. Blooming period is from April to July. Found at elevations ranging from 3,775 to 6,560 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Carex geyeri</i> Geyer's sedge	4.2 G5 S4	Perennial rhizomatous herb. Occurs in Great Basin scrub and lower montane coniferous forest habitats. Blooming period is May to August. Found at elevations ranging from 3,790 to 7,200 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Carex incurviformis</i> Mt. Dana sedge	4.3 G4G5 S4	Perennial rhizomatous herb. Occurs in alpine boulder and rock field habitats. Blooming period is July to August. Found at elevations ranging from 12,140 to 13,320 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Carex petasata</i> Liddon's sedge	2B.3 G5 S3	Perennial herb. Occurs in broadleaved upland forest, lower montane coniferous forest, meadow and seep, pinyon and juniper woodlands, and wetland habitats. Blooming period is May to July. Found at elevations ranging from 1,970 to 10,895 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.

Table D-1: Potentially Occurring Special-Status Biological Resources

Scientific Name Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
Carex scirpoidea ssp. pseudoscirpoidea westem single-spiked sedge	2B.2 G5T5 S2	Perennial rhizomatous herb. Occurs in mesic and often carbonate substrate within alpine boulder, rock field, meadows, seeps, and subalpine coniferous forest (rocky) habitats. Blooming period is from July to September. Found at elevations ranging from 8,430 to 11,385 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Cinna bolanderi</i> Bolander's woodreed	1B.2 G2G3 S2S3	Perennial herb. Occurs in habitats including meadows and seeps and upper montane coniferous forest, often mesic. Blooming period is from July to September. Found at elevations ranging from 5,480 to 8,005 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Claytonia megarhiza</i> fell-fields claytonia	2B.3 G5 S2	Perennial herb. Alpine, alpine boulder and rock field, and subalpine coniferous forest habitats in the crevices between rock in rocky and gravelly soils. Blooming period is July to September. Found at elevations ranging from 8,530 to 11,590 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Cleomella brevipes short-pedicelled cleomella	4.2 G4 S3	Annual herb. Occurs in alkaline soils within meadows, seeps, marshes, swamps, and playa habitats. Blooming period is from May to October. Found at elevations ranging from 1,295 to 7,200 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Crepis runcinata</i> fiddlelead hawksbeard	2B.2 G5 S3	Perennial herb. Occurs in Mojavean desert scrub, and pinyon and juniper woodlands habitats in moist, alkaline valley bottoms. Blooming period is May to August. Found at elevations ranging from 4,100 to 6,480 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Cryptantha glomeriflora clustered-flower cryptantha	4.3 G4Q S4	Annual herb. Occurs in granitic or volcanic, sandy soils in Great Basin scrub, meadows and seeps, subalpine coniferous forest, and upper montane coniferous forest. Blooming period is June to September. Found at elevations ranging from 5,905 to 12,305 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Draba cana canescent draba	2B.3 G5 S2S3	Perennial herb. Occurs in alpine, alpine boulder and rock field, limestone, meadow and seep, and subalpine coniferous forest in carbonate substrates. Blooming period is July. Found at elevations ranging from 9,845 to 11,500 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Draba lonchocarpa</i> spear-fruited draba	2B.3 G5 S2S3	Perennial herb. Occurs in alpine boulder and rock field habitats on limestone scree. Blooming period is June to July. Has an elevational range of 9,845 to 10,810 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.

Table D-1: Potentially Occurring Special-Status Biological Resources

Scientific Name Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
<i>Draba praealta</i> tall draba	2B.3 G5 S3	Perennial herb. Meadows and seeps on mesic sites. Blooming period is July to August. Found at elevations ranging from 8,205 to 11,205 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Elodium blandowii</i> Blandow's bog moss	2B.3 G5 S3	Moss. Occurs in damp soils within meadow, seeps, and subalpine coniferous forest habitats. Found at elevations ranging from 6,110 to 8,860 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Elymus scribneri</i> Scribner's wheat grass	4.3 G4 S4	Perennial herb. Occurs in alpine boulder and rock field habitats. Blooming period is from July to August. Found at elevations ranging from 9,515 to 13,780 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Epilobium howellii</i> subalpine fireweed	4.3 G4 S4	Perennial stoloniferous herb. Occurs in meadow and seeps, subalpine coniferous forest, and wetland habitats. Found in wet meadows, mossy seeps. Blooming period is July to August. Has an elevational range of 6,560 to 10,235 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Eremothera boothii ssp. boothii Booth's evening-primrose	2B.3 G5T4 S3	Annual herb. Occurs in Joshua tree "woodland", pinyon and juniper woodland habitats. Blooming period is from April to September. Found at elevations ranging from 2,675 to 7,875 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Eriastrum sparsiflorum</i> few-flowered eriastrum	4.3 G5 S4	Annual herb. Occurs in granitic, sandy openings within chaparral, cismontane woodland, Great Basin scrub, Joshua tree "woodland", Mojavean desert scrub, pinyon and juniper woodland habitats. Blooming period is from May to September. Found at elevations ranging from 3,525 to 5,610 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Ericameria nana</i> dwarf goldenbush	4.3 G5 S4	Perennial shrub. Occurs in pinyon and juniper woodland (rocky, carbonate or granitic soils) habitat. Blooming period is July to November. Found at elevations ranging from 4,805 to 9,185 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Eriogonum microthecum var.</i> <i>alpinum</i> alpine slender buckwheat	4.3 G5T3 S3	Perennial herb. Occurs in alpine dwarf scrub and Great Basin scrub habitats, sometimes in rocky or gravelly soils. Blooming period is July to September. Found at elevations ranging from 8,205 to 10,825 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.

Table D-1: Potentially Occurring Special-Status Biological Resources

<i>Scientific Name</i> Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
<i>Erythranthe laciniata</i> cut-leaved monkeyflower	4.3 G4 S4	Annual herb. Occurs in lower montane coniferous forest and upper montane coniferous forest habitats, often in granitic or mesic soils. Blooming period is from April to July. Found at elevations ranging from 1,610 to 8,695 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Fritillaria pinetorum</i> pine fritillary	4.3 G4 S4	Perennial bulbiferous herb. Grows in granitic or metamorphic soils within chaparral, lower montane coniferous forest, pinyon and juniper woodland, upper montane coniferous forest, and subalpine coniferous forest habitats. Blooming period is from May to July (September). Found at elevations ranging from 5,692 to 10,827 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Goodmania luteola</i> golden goodmania	4.2 G3 S3	Annual herb. Occurs in Mojavean desert scrub, meadows and seeps, playas, valley and foothill grassland habitats in alkaline and clay substrates. Blooming period is from April to August. Found at elevations ranging from 65 to 7,220 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Hulsea brevifolia short-leaved hulsea	1B.2 G3 S3	Perennial herb. Occurs in lower montane coniferous forest and upper montane coniferous forest habitats in granitic, gravelly, sandy, or volcanic soil of forest openings and road cuts. Blooming period is May to August. Found at elevations ranging from 4,920 to 10,500 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Ivesia kingii var. kingii</i> alkali ivesia	2B.2 G4T3Q S2	Perennial herb. Occurs in alkaline, clay, or mesic soils in Great Basin scrub, meadows and seeps, and playa habitats. Blooming period is from May to August. Found at elevations ranging from 3,935 to 6,990 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Jamesia americana var. rosea rosy-petalled cliffbush	4.3 G5T4 S4	Perennial deciduous shrub. Occurs in carbonate, granitic, or rocky soils within alpine boulder and rock field, Great Basin scrub, pinyon and juniper woodland, and subalpine coniferous forest habitats. Blooming period is from May to September. Found at elevations ranging from 6,495 to 12,140 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Kobresia myosuroides</i> seep kobresia	2B.2 G5 S2	Perennial rhizomatous herb. Occurs in alpine boulder and rock field (mesic), meadows and seeps (carbonate), and subalpine coniferous forest habitats. Blooming period is in (Jun) August. Found at elevations ranging from 4,890 to 10,645 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.

Table D-1: Potentially Occurring Special-Status Biological Resources

<i>Scientific Name</i> Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
<i>Lupinus duranii</i> Mono Lake lupine	1B.2 G2 S2	Perennial herb. Occurs in Great Basin scrub, subalpine coniferous forest, and upper montane coniferous forest habitats in pumice flats, coarse barren soils of volcanic origin. Blooming period is May to August. Found at elevations ranging from 6,560 to 9,845 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Lupinus nevadensis</i> Nevada lupine	4.3 G4 S4	Perennial herb. Occurs in Great Basin scrub, pinyon and juniper woodland habitats. Blooming period is from April to June. Found at elevations ranging from 3,280 to 9,845 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Meesia longiseta</i> long seta hump moss	2B.3 G5 S3?	Moss. Occurs in bogs and fens, meadows and seeps, upper montane coniferous forest on moist soils along streams and meadows, often in carbonate soils. Found at elevations ranging from 5,740 to 9,990 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Micromonolepis pusilla</i> dwarf monolepis	2B.3 G5T5 S2	Annual herb. Occurs in alkaline soils in openings within Great Basin scrub habitat. Blooming period is from May to August. Found at elevations ranging from 4,920 to 7875 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Orobanche ludoviciana var. arenosa</i> Suksdorf's broom rape	2B.2 G4 S1	Perennial herb (achlorophyllous). Occurs in Great Basin scrub habitat. Blooming period is from June to September (October). Found at elevations around of 5,250 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Parnassia parviflora small-flowered grass-of- Parnassus	4.3 G4 S3	Perennial herb. Occurs in mesic soils within meadows and seep habitats. Blooming period is from August to September. Found at elevations 6,560 to 9,365 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Pedicularis crenulate</i> scalloped-leaved lousewort	2B.2 G4 S1	Perennial herb. Occurs in mesic soils within meadows and seep habitats. Blooming period is from June to July. Found at elevations ranging from 6,890 to 7,545 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Penstemon papillatus Inyo beardtongue	4.3 G3 S3	Perennial herb. Occurs in granitic or rocky soils within pinyon and juniper woodland, and subalpine coniferous forest habitats. Blooming period is from June to July. Found at elevations ranging from 6,560 to 9,845 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Phacelia gymnoclada</i> naked-stemmed phacelia	2B.3 G4 S2	Annual herb. Occurs in chenopod scrub, Great Basin scrub, pinyon and juniper woodland habitats sometimes in clay or gravelly substrates. Blooming period is from April to June (August). Found at elevations ranging from 4,0005 to 8,205 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.

Table D-1: Potentially Occurring Special-Status Biological Resources

<i>Scientific Name</i> Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
<i>Phacelia inyoensis</i> Inyo phacelia	1B.2 G2 S2	Annual herb. Occurs in meadow and seep, in alkaline meadows. Blooming period is April to August. Found at elevations ranging from 3,000 to 10,500 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Pinus albicaulis</i> whitebark pine	FT	Coniferous tree. Occurs in montane forests. Found at elevations ranging from 3,800 to 12,140 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Potamogeton praelongus white-stemmed pondweed	2B.3 G5 S2	Perennial rhizomatous herb (aquatic). Occurs in marshes and swamps (lakes, deep water). Blooming period is from July to August. Found at elevations from 5,905 to 9,845 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Potamogeton robbinsii</i> Robbins' pondweed	2B.3 G5 S3	Perennial rhizomatous herb (aquatic). Occurs in marshes and swamps, wetlands. Deep water, lakes. Blooming period is July to August. Found at elevations ranging from 5,020 to 10,825 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
Sabulina stricta bog sandwort	2B.3 G5 S3	Perennial herb. Occurs in alpine boulder and rock field, alpine dwarf scrub, meadows and seep habitats. Blooming period is from July to September. Found at elevations ranging from 8,005 to 12,995 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Salix brachycarpa var. brachycarpa short-fruited willow	2B.3 G5T5 S2	Perennial deciduous shrub. Occurs in alpine dwarf scrub, limestone, meadow and seeps, subalpine coniferous forest, and wetland. Found on edges of lakes, and in wet meadows, on limestone, marble, and metamorphic substrates. Blooming period is June to July. Found at elevations ranging from 9,845 to 11,485 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Salix nivalis</i> snow willow	2B.3 S2 G5	Perennial deciduous shrub. Occurs in alpine dwarf scrub habitats. Blooming period is from July to August. Found at elevations ranging from 10,170 to 11,485 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
Sedum pinetorum Pine City sedum	3 GUGHQ SH	Perennial herb. Occurs in alpine boulder and rock field, subalpine coniferous forest, likely on rocky volcanic slopes. Blooming period is in July. Found at elevations around 8,695 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Spartina gracilis</i> alkali cord grass	4.2 G5 S3	Perennial rhizomatous herb. Occurs in alkaline substrates within Great Basin scrub, meadows and seeps, marshes and swamp habitats. Blooming period is from June to August. Found at elevations ranging from 3,280 to 6,890 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.

Table D-1: Potentially Occurring Special-Status Biological Resources

<i>Scientific Name</i> Common Name	Special-Status Rank*	Habitat Preferences and Distribution Affinities	Suitable Habitat Present	Potential to Occur
Sphaeromeria potentilloides var. nitrophila alkali tansy-sage	2B.2 G5T4? S2	Perennial herb. Occurs in alkaline substrates within meadows and seeps, and playa habitats. Blooming period is from June to July. Found at elevations ranging from 6,890 to 7,875 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Stuckenia filiformis ssp. alpina</i> northern slender pondweed	2B.2 G5T5 S2S3	Perennial rhizomatous herb (aquatic). Occurs in shallow freshwater within marsh and swamp habitats. Blooming period is from May to July. Found at elevations ranging from 985 to 7,055 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Trichophorum pumilum</i> little bulrush	2B.2 S3 G5	Perennial rhizomatous herb. Occurs in carbonate streambanks within bogs and ferns, marshes and swamps, and riparian scrub habitats. Blooming period is in August. Found at elevations ranging from 9,385 to 10,665 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site. Further, the project site is outside of known elevation ranges for this species.
<i>Triglochin palustris</i> marsh arrow-grass	2B.3 G5 S2	Perennial rhizomatous herb. Occurs in meadows and seeps, marshes and swamps (freshwater), subalpine coniferous forest (mesic) habitats. Blooming period is July to August. Has an elevational range of 7,495 to 12,140 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Utricularia minor</i> lesser bladderwort	4.2 G5 S3	Perennial stoloniferous herb (carnivorous) (aquatic). Occurs in calcium-rich waters within bogs and ferns, marshes and swamps (shallow freshwater) habitats. Blooming period is from (May to June) July to August. Found at elevations from 2,625 to 9,515 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
<i>Viola purpurea ssp. aurea</i> golden violet	2B.2 G5T2 S2	Perennial herb. Occurs in sandy soils within Great Basin scrub, pinyon and juniper woodland habitats. Blooming period is from April to June. Found at elevations 3,280 to 8,205 feet amsl.	No	Not Expected: Suitable habitats preferred by this species are not present within the project site.
	SPECIAL-STA	ATUS VEGETATION COMMUNIT	TIES	
CNDDB/Holland (1986) Mono Pumice Flat MCV (1995) N/A NVCS (2009) N/A	G1 S1.2	Pumice flats occur on level to slightly sloping terrain, and are characterized by open expanses of pumice gravel, which are typically moist a short distance beneath the surface.	No	Absent: This vegetation community was not observed within the project site.
CNDDB/Holland (1986) Water Birch Riparian Scrub MCV (1995) N/A Water Birch Series NVCS (2009) N/A	GNR SNR	Birch riparian scrubs occur on level to slightly sloping terrain, and are characterized by temporarily saturated stream banks, alluvial terraces, and seeps with substrates that are fairly shallow, finely textured to gravelly and boulder sands and loams.	No	Absent: This vegetation community was not observed within the project site.

Table D-1: Potentially Occurring	Special-Status Biological Resources
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* U.S. Fish and Wildlife Service (USFWS)

- FE Endangered any species which is in danger of extinction throughout all or a significant portion of its range.
- FT Threatened any species which is likely to become an endangered species within the foreseeable future throughout all or a significant portion of its range.
- FC Candidate any species which has been designated as a candidate eligible for considering to be listed under the Federal Endangered Species Act.

California Department of Fish and Wildlife (CDFW)

- SE Endangered any native species or subspecies of bird, mammal, fish, amphibian, reptile, or plant which is in serious danger of becoming extinct throughout all, or a significant portion, of its range due to one or more causes, including loss of habitat, change in habitat, overexploitation, predation, competition, or disease.
- ST Threatened any native species or subspecies of bird, mammal, fish, amphibian, reptile, or plant that, although not presently threatened with extinction, is likely to become an endangered species in the foreseeable future in the absence of the special protection and management efforts required under the California Endangered Species Act.
- FP Fully Protected any native species or subspecies of bird, mammal, fish, amphibian, or reptile that were determined by the State of California to be rare or face possible extinction.
- SSC Species of Special Concern any species, subspecies, or distinct population of fish, amphibian, reptile, bird, or mammal native to California that currently satisfies one or more of the following criteria:
 - is extirpated from California or, in the case of birds, in its primary seasonal or breeding role;
 - is listed as Federally-, but not State-, threatened or endangered; meets the State definition of threatened or endangered but has not formally been listed.
 - is experiencing, or formerly experienced, serious (noncyclical) population declines or range retractions (not reversed) that, if continued or resumed, could qualify it for State threatened or endangered status; or
 - has naturally small populations exhibiting high susceptibility to risk from any factor(s), that if realized, could lead to declines that would qualify it for State threatened or endangered status.
- WL Watch List taxa that were previously designated as "Species of Special Concern" but no longer merit that status, or which do not yet meet SSC criteria, but for which there is concern and a need for additional information to clarify status.
- CR Rare a native plant that is designated as "rare" under the California Fish and Game Code.

California Native Plant Society (CNPS) California Rare Plant Rank

- 1A Presumed extirpated in California and either rare or extinct elsewhere.
- 1B Plants rare, threatened, or endangered in California and elsewhere.
- 2B Plants rare, threatened, or endangered in California but more common elsewhere.
- 3 Plants about which more information is needed Review List.
- 4 Plants of limited distribution Watch List.

Threat Ranks

- .1 Seriously threatened in California (over 80% of occurrences threatened/high degree any immediacy of threat).
- .2 Moderately threatened in California (20 to 80 percent of occurrences threatened/moderate degree and immediacy of threat).
- .3 Not very threatened in California (less than 20 percent of occurrences threatened/low degree and immediacy of threat or no current threats known).

NatureServe Conservation Status Rank

The Global Rank (G#) reflects the overall condition and imperilment of a species throughout its global range. The Infraspecific Taxon Rank (T#) reflects the global situation of just the subspecies or variety. The State Rank (S#) reflects the condition and imperilment of an element throughout its range within California. (G#Q) reflects that the element is very rare but there are taxonomic questions associated with it; the calculated G rank is qualified by adding a Q after the G#). Adding a ? to a rank expresses uncertainty about the rank.

- G1/T1 Critically Imperiled At very high risk of extinction due to extreme rarity (often 5 or fewer populations), very steep declines, or other factors.
- G2/T2 Imperiled— At high risk of extinction due to very restricted range, very few populations (often 20 or fewer), steep declines, or other factors.
- G3/T3 Vulnerable— At moderate risk of extinction due to a restricted range, relatively few populations (often 80 or fewer), recent and widespread declines, or other factors.

- G4/T4 Apparently Secure— Uncommon but not rare; some cause for long-term concern due to declines or other factors.
- G5/T5 Secure Common; widespread and abundant.
- GH Possibly Extinct Known from only historical occurrences but still some hope of rediscovery. There is evidence that the species may be extinct or the ecosystem may be eliminated throughout its range, but not enough to state this with certainty. Examples of such evidence include 1) that a species has not been documented in approximately 20–40 years despite some searching or some evidence of significant habitat loss or degradation; 2) that a species or ecosystem has been searched for unsuccessfully, but not thoroughly enough to presume that it is extinct or eliminated throughout its range.
- GNR Unranked Global rank not yet assessed.
- GU Unrankable Currently unrankable due to a lack of information or due to substantially conflicting information about status or trends.
- S1 Critically Imperiled Critically imperiled in the state because of extreme rarity (often 5 or fewer occurrences) or because of some factor(s) such as very steep declines making it especially vulnerable to extirpation from the State.
- S2 Imperiled Imperiled in the State because of rarity due to very restricted range, very few populations (often 20 or fewer), steep declines, or other factors making it very vulnerable to extirpation from the nation or State.
- S3 Vulnerable Vulnerable in the State due to a restricted range, relatively few populations (often 80 or fewer), recent and widespread declines, or other factors making it vulnerable to extirpation.
- S4 Apparently Secure Uncommon but not rare; some cause for long-term concern due to declines or other factors.
- SH Possibly Extirpated (Historical) Species occurred historically in the state, and there is some possibility that it may be rediscovered. All sites are historical; the element has not been seen for at least 20 years, but suitable habitat still exists.
- SNR Unranked State conservation status not yet assessed.

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ATTACHMENT F Section 17.36.140 of the Mammoth Lakes Municipal Code

- 17.36.140 Tree Removal and Protection.
 - A. Purpose. This section includes provisions to protect and to regulate the removal of certain trees, based on the important environmental, aesthetic and health benefits that trees provide to Mammoth Lakes residents and visitors, and the contribution of such benefits to public health, safety and welfare. These benefits include, but are not limited to, enhancement of the character and beauty of the community as a "Village in the Trees," protection of property values, provision of wildlife habitat, reduction of soil erosion, noise buffering, wind protection, and visual screening for development.
 - B. Applicability. The terms and provisions of this section shall apply to all private and public property within the Town of Mammoth Lakes.
 - C. Exemptions. The following shall be exempt from the provisions of this section:
 - Removal of a tree that presents an immediate safety hazard to life or property, as determined by the Town Manager, Director, Building Official, Public Works Director, Police Chief, Fire Marshall, Public Utility Company, or their designees.
 - 2. Routine tree maintenance, such as the trimming or thinning of branches.
 - 3. Tree removal performed by the Town, public utilities, or other public agencies in public utility easements or public rights-of-way;
 - 4. Tree removal for fuels reduction purposes on publicly owned land, performed in conjunction with an approved fuel reduction program or activity;
 - 5. Removal of trees felled by natural weather conditions or an act of God;
 - 6. Removal of visibly dead trees; and
 - 7. Coniferous and deciduous trees with a "Diameter at Breast Height" (DBH) of less than 12 inches.
 - D. Tree removal permit required. No person shall remove or cause to be removed any tree from any property, which is subject to this section and not otherwise exempted pursuant to Section 17.36.140.C, 17.36.140.F. or 17.36.140.G, without first obtaining a valid tree removal permit pursuant to the requirements of Chapter 17.60 (Applications, Processing, and Fees).
 - E. Tree removal permit application and review.
 - 1. Tree removal permit application. The following information shall be provided in the tree removal permit application:
 - a. A site plan or drawing showing the location, type and size of all tree(s) proposed to be removed;
 - b. A statement of the reasons for removal; and
 - c. Written consent of the owner of record of the land on which the tree(s) are proposed to be removed, or their authorized agent or contractor.
 - 2. Tree removal permit review. The following shall be considered when reviewing tree removal permits:
 - a. The Director shall inspect the property and evaluate each application. The applicant shall clearly mark or flag all trees proposed for removal.
 - b. The Director shall issue a permit if any of the conditions 1. through 10. below are determined to apply. The Director may request the applicant to provide a professional assessment by a Registered Professional Forester (RPF) or arborist to support the reasons for the proposed tree removal.

- i. The tree(s) is infected with an epidemic insect or disease where the recommended control is not applicable and an arborist has recommended removal to prevent transmission;
- ii. The tree is visibly dying;
- iii. The tree(s) presents a hazard to health, safety or property that cannot be corrected by pruning, transplanting or other treatments;
- iv. The tree(s) severely interfere with the growth and development of a more desirable tree;
- v. The removal of the tree would be necessary to provide for the required amount of snow storage on a residential or commercial property;
- vi. The removal of the tree would substantially increase mid-day solar access to a solar collector;
- vii. The tree(s) interferes or is causing extensive damage to utility services or facilities, roadways, sidewalks, curbs, gutters, pavement, water or sewer line, foundations or existing structures;
- viii. The removal of the trees(s) would be necessary to maintain defensible space around a structure, or for fuels reduction purposes approved by Mammoth Lakes Fires Protection District;
- ix. The removal of the tree(s) would allow for improved enjoyment or quality of a publicly accessible recreation or event site (e.g., improved event circulation or seating, enhanced golf course playability, etc.) consistent with the Town's destination resort objectives.
- x. Other reason, which, in the determination of the Director, would be necessary to maintain public health, safety or welfare, or to avoid damage to buildings or property.
- c. Creation of views, lawns, or similar amenities shall not be sufficient cause to remove trees.
- 3. Expiration of tree removal permits. Tree removal permits shall remain valid for a period of five years from date of issue.
- F. Multi-family residential project tree management plan. An Administrative Permit for a tree management plan may be approved by the Director for an existing multi-family residential or lodging property of twenty-five units or more consistent with the standards of this section. Separate tree removal permits would not be required with an approved tree management plan.
 - 1. Tree Management Plan. A tree management plan shall include the following information:
 - a. Name of multi-family residential or lodging property.
 - b. Narrative describing purpose and objectives of the tree management plan.
 - c. Location, species, diameter at DBH, reason, and anticipated year of removal for each tree expected to be removed under the management plan.
 - d. Signature of certified RFP or arborist certifying the validity of the tree management plan.
 - 2. Expiration of tree maintenance plan. Tree management plans shall remain valid for a period of five years from date of issue. Substantial revisions or amendments to an approved tree management plan shall be approved by the Director.

- G. Construction-related tree removal and protection. If a site has received development approval through a land use, building, or grading permit that includes a tree removal and protection plan consistent with the standards of this section, then a separate tree removal permit is not required, and removal of trees is considered approved through the land use, building, or grading permit.
 - Tree removal and protection plan. A tree removal and protection plan is required prior to conducting development activities which require a land use permit, building permit or grading permit, including, but not limited to, clearing, grading, excavation or demolition work on any property or development site containing one or more trees.
 - a. The tree removal and protection plan shall clearly depict all trees to be preserved and/or removed on the site. The plan must be drawn to scale and include the following:
 - i. Location, species and diameter of each tree at DBH.
 - ii. Clear identification of all trees proposed to be removed.
 - iii. Location of drip line of each tree.
 - iv. Location of existing and proposed roads, water, sanitary and storm drain, irrigation and other utility lines/facilities and easements.
 - v. Location of existing and proposed structures.
 - vi. Grade change or cut and fill during or after construction.
 - vii. Existing and proposed impervious surfaces.
 - viii. Location and type of tree protection measures to be installed per Section G.1.b., below.
 - b. Tree protection measures. Except as otherwise allowed by the review authority or Director, all required tree preservation measures set forth in this section shall be instituted prior to any construction or development activities, including but not limited to, clearing, grading, excavation or demolition work, and shall be removed only after completion of all construction activity, including landscaping and irrigation installation.
 - i. Fencing, a minimum of three feet tall with posts placed no more than ten feet apart shall be installed at the edge of the tree drip line. Fencing shall be flush with the initial (undisturbed) grade.
 - ii. No construction activity shall occur within the tree drip lines, including, but not limited to dumping or storage of materials such as building supplies, soil, waste items, equipment or parked vehicles.
 - iii. Tree drip lines shall be maintained free of chemically injurious materials and substances such as paints, thinners, cleaning solutions, oil and gasoline, concrete or drywall excess, construction debris or run-off.
 - iv. No excavation, trenching, grading, root pruning or other activity shall occur within the drip line unless approved by the review authority or the Director.
 - v. The applicant shall not proceed with any development or construction activities, except installation of erosion control measures, until the Town has inspected and approved the installation of the required tree protection measures and a grading and/or building permit has been issued by the Town.

- c. Waiver of requirement to provide tree removal and protection plan. The Director may waive the requirement to provide a tree removal and protection plan where it can be demonstrated, to the Director's satisfaction, than no trees would be removed or otherwise directly or indirectly affected by the proposed activity.
- H. Penalty for removal of a tree without a permit. The following penalties may be imposed for removal of a tree(s) without an approved tree removal permit where one is required, consistent with Municipal Code Section 8.32 (Administrative Citations).
 - 1. Coniferous trees over 12 inches: a fine of no less than \$2,500 per tree and/or as valued by an RPF or arborist; in no circumstances shall the fine be less than \$2,500 and no more than \$50,000, per tree;
 - 2. Deciduous trees over 12 inches: a fine of \$1,000 per tree and/or as valued by an RPF or arborist; in no circumstances shall the fine be less than \$1,000 and no more than 5,000;
 - 3. Replacement plantings may be required as determined by the Director consistent with Section 17.36.140. I, which may include valuation by an RPF or arborist.
- I. Mitigation for tree removal. As mitigation for tree removal, either in conjunction with a tree removal permit, construction-related tree removal, or as penalty for tree removal performed without a permit, the Director may require replacement plantings. If required, replacement shall be limited to plantings in areas suitable for tree replacement with species identified in the Town of Mammoth Lakes' Recommended Plant List. The replacement ratio shall be determined by the Director. If required, the minimum replacement tree size shall be seven gallons. Replacement requirements may also be determined based on the valuation of the tree as determined by an RPF or arborist. The property owner shall maintain plantings to a level approved by the Director.

(Ord. No. 14-02, § 4, 3-19-2014; Ord. No. 15-01, § 4(Exh. A, § 26), 1-21-2015)



ATTACHMENT 2

Cultural Resources Memorandum



Rincon Consultants, Inc.

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909 253 0705 office and fax

info@rinconconsultants.com www.rinconconsultants.com

October 12, 2022 Project No: 17-04393

Kristen Bogue Senior Environmental Specialist Michael Baker International 5 Hutton Centre Drive, Suite 500 Santa Ana, CA 92707 Via email: <u>kbogue@mbakerintl.com</u>

Subject: Cultural Resources Addendum for the Mammoth Arts and Cultural Center Project, Town of Mammoth Lakes, Mono County, California

Dear Ms. Bogue:

Rincon Consultants, Inc. (Rincon) was retained in 2018 by Michael Baker International to prepare a cultural resources technical memorandum for the Mammoth Arts and Cultural Center Project (project). Since the submittal of Rincon's technical memorandum project components have been modified to include a dog park and a reduction to the square footage of a proposed performance theater. Included in this memorandum is Rincon's review of the project changes and analysis to determine if additional cultural resources mitigation may be recommended. This analysis was completed using the modified project description, a site visit by a qualified archaeologist, and a review of the existing record search data retained for the project.

Cultural Resources Records Search

Rincon utilized data from the 2018 cultural resources study to identify previous cultural resources studies and previously recorded cultural resources that may exist in the project footprint. The search included a review of the National Register of Historic Places (NRHP), the CRHR, the California Points of Historical Interest list, the California Historical Landmarks list, the Archaeological Determinations of Eligibility list, and the California State Historic Resources Inventory list.

No previously recorded resources are documented within the project site.

2022 Site Visit

Rincon archaeologist, Elaine Foster, completed a reconnaissance level survey of the project site on September 29, 2022. The purpose of this site visit was to confirm the project site conditions were similar to those reviewed by Rincon in 2018. Ms. Foster inspected the area for cultural resources of both prehistoric and historical origin. Surface visibility was good at the time of survey. No cultural resources were encountered.

Discussion and Recommendations

Based on the project changes and the site visit completed by Rincon, Rincon does not recommend any additional mitigation beyond those originally recommended for the project by Rincon in 2018. For convenience those recommended measures are outlined below.

Worker's Environmental Awareness Program

A qualified archaeologist shall be retained to conduct a WEAP training on archaeological sensitivity for all construction personnel prior to the commencement of any ground-disturbing activities. Archaeological sensitivity training should include a description of the types of cultural material that may be encountered, cultural sensitivity issues, regulatory issues, and the proper protocol for treatment of the materials in the event of a find.

Construction Monitoring

Rincon recommends that all ground-disturbing construction work should be observed by archaeologist and Native American monitors. Rincon recommends archeological monitoring of all project-related activities that will remove the topsoil, alter the underlying root structure of on-site vegetation, or alter any soils that appear to be within a primary context. Archaeological monitoring should be performed under the direction of an archaeologist meeting the Secretary of Interior's Professional Qualification Standards for archaeology (NPS 1983). If archaeological resources are encountered during monitoring of ground-disturbing activities, work in the immediate area must halt and the find must be evaluated for significance under CEQA.

Unanticipated Discoveries

In the event that unanticipated cultural resources are identified during project related ground disturbance, they should be treated in accordance with CEQA Guidelines section 15064.5(f), requiring halting ground disturbance in the immediate area of the find until it can be evaluated by a qualified archaeologist.

The discovery of human remains is always a possibility during ground disturbing activities. If human remains are found, the State of California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. In the event of an unanticipated discovery of human remains, the county coroner must be notified immediately. If the human remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a most likely descendant (MLD). The MLD shall complete the inspection of the site within 48 hours of being granted access and may recommend scientific removal of human remains and items associated with Native American burials.

Thank you for selecting Rincon Consultants, Inc. to provide you with this technical memorandum. Please feel free to contact Rincon if you have questions, or if we can be of further assistance.

Sincerely,

Rincon Consultants, Inc.

Breana Campbell-King, MA, RPA Program Manager

Christopher A. Duran, MA, RPA Principal Investigator



ATTACHMENT 3

Transportation Analysis

LSC Transportation Consultants, Inc.



2690 Lake Forest Road, Suite C P.O. Box 5875 Tahoe City, CA 96145 530-583-4053 FAX: 530-583-5966 info@lsctahoe.com www.lsctrans.com

November 27, 2023

Kristen Bogue, Project Manager 5 Hutton Centre Drive, Suite 500 Santa Ana, CA 92707

RE: Mammoth Arts and Cultural Center (MACC) – Trip Generation and VMT Analysis Update

Dear Ms. Bogue:

Per your request, LSC Transportation Consultants, Inc. has prepared a trip generation and vehicle miles traveled (VMT) analysis for the updated Mammoth Arts and Cultural Center (MACC) project located at the Cerro Coso Community College site (100 College Parkway) in Mammoth Lakes, California. First, the land uses are discussed. Then the trip generation is calculated and compared to the original study *Mammoth Arts and Cultural Center Transportation Impact Analysis* (LSC, November 2018). Finally, the VMT analysis is presented.

Land Uses

The original project proposed a 298 seat performing arts theatre and a 500 seat outdoor amphitheater. The updated project proposes a smaller 250 seat performing arts theatre, a 500 seat outdoor amphitheater, a 6,600 square foot childcare center, a 1,000 square foot storage building and a 1 acre dog park. In the long-term, the dog park will be turned into 24 dwelling units. The storage building is to be used by the proposed theatre, no outside trips will be associated with it and is therefore excluded from analysis. Note as the design day in Mammoth Lakes is a non-holiday winter Saturday and the outdoor amphitheater will only operate in summer the outdoor amphitheater is excluded from the analysis.

Trip Generation

Trip generation is the evaluation of the number of vehicle-trips that will either have an origin or destination at the project site. Peak-hour one-way vehicle-trips must be determined in order to analyze the potential impacts from the proposed project development.

Trip Generation of MACC

The Institute of Transportation Engineers (ITE) Trip Generation Manual does not contain trip rates for a performing arts theatre. Therefore, trip generation for this project is based on a 'person-trip analysis'. Consistent with Town standards, the design day is a busy winter Saturday but not a peak time (such as Christmas week). All assumptions from the original study *Mammoth Arts and Cultural Center Transportation Impact Analysis* (LSC, November 2018) are assumed to still be applicable and were used to calculate trip generation. Table 1 shows the number of hourly vehicle trips to/from the performing arts theatre. As shown in Table 1, the theatre would generate 74 peak hour inbound trips.

Trip Generation of Childcare Center and Dwelling Units

Standard daily and peak-hour trip generation rates are drawn from the Institute of Transportation Engineers (ITE) *Trip Generation, 11th Edition* manual (ITE, 2021). The standard rates for the childcare center and the dwelling units are shown in Table 2. The childcare center is assumed to have 85 students and 15 staff members associated with it. The ITE land use of "Day Care Center" was used for analysis. For the dwelling units, the land use "multi-family low rise" land use was used for analysis.

Reductions for Internal Trips

As is typical of a mixed-land use development, some persons generating a trip at the site would visit more than one of the land uses at the site during the same "trip." Common traffic engineering practice dictates that a reduction in total trip generation can be applied to the project, as some of the persons generating trips at one of the land uses can generate a trip at another of the included land uses without generating an additional vehicle trip at the common site access point(s). For instance, some trips generated by the proposed dwelling units would be made internal to the property, as some residents would also patron the daycare center. The portion of the persons generating a trip at a mixed-use development that would visit two or more uses within the development is based on the types of uses within the development, the size of the individual uses, and the distances between them. About 10 percent of trips from the Day Care Center and dwelling units are assumed to be made internally. For the performing arts theatre, approximately 5 percent of trips are assumed to be made internally.

Reductions for Non-Auto Modes

Consistent with the Town of Mammoth Lakes Travel Demand Model, approximately 14 percent of trips are made via transit and 5% of trips are made via walking. It is assumed this would apply to the dwelling units and the childcare center but the child care center would not have any walking trips. As non-auto reductions were applied to the MACC trip estimate in Table 1, the trips shown in Table 2 for the MACC include a non-auto reduction already.

Trip Generation at Site Driveways

Applying the trip generation rates to the childcare center and dwelling units land use quantities and applying reductions for non-auto travel and internal trips yields a total vehicular trip generation crossing the site driveway as shown in the right column of Table 2. For the performing arts theatre, the internal reduction shown in Table 2 was applied to the trip generation presented in Table 1 for the total vehicular trip generation crossing the site driveway. Adding the vehicular trip generation after reductions of the childcare center, dwelling units and the performing arts theatre results in a total of approximately 84 PM peak hour trips including 77 entering and 7 exiting trips.

Trip Generation Comparison to Original Study

Comparing the trip generation of the updated project and that of the original project indicates that the proposed project would result in a net <u>decrease</u> vehicle-trips at the driveways by 11 trips, or 12 percent. The direction (entering vs existing) of the PM peak hour would shift slightly but not significantly. Therefore, the proposed project would not have an increased impact on the PM peak hour level of service (LOS) or peak hour roadway capacity compared to the original study. And it can still be concluded that the proposed project continues to meet the Towns standards.

VMT Analysis

Vehicle miles traveled was evaluated in accordance with *SB* 743 *Implementation Guidelines Town of Mammoth Lakes* (November 24, 2020).

Step 1: Evaluate Land Use Type

The first step to identifying transportation impacts under CEQA is to evaluate the land use type. For mixed use projects the guidelines state the following:

"If there are multiple distinct land uses within the project (residential, office, retail, etc.), they will be
required to be analyzed separately unless they are determined to be insignificant to the total VMT.
Mixed use projects are permitted to account for internal capture, which depending on the methodology
may require a distinct approach not covered in this documentation."

Step 2: Screen for Non-Significant Transportation Impact

The next step is to screen for non-significant transportation impacts. If a project is mixed use in nature, only those elements of the project that are not screened will require further evaluation. The Screening Criteria for identifying projects that cause a less-than significant impact is as follows:

- Small Projects Project generation is less than 110 trips per day per the ITE Manual or other acceptable source determined by Town of Mammoth Lakes
- Local-Serving Retail No single store on-site exceeds 50,000 square feet; and Project is local-serving as determined by the Town of Mammoth Lakes
- Affordable Housing A high percentage of affordable housing is provided as determined by the Town of Mammoth Lakes
- Local Essential Service Building is less than 50,000 square feet: and Land Use is:
 - o Day care center; or
 - o Public K-12 School; or
 - o Police or Fire facility; or
 - o Medical/Dental office building; or
 - o Government offices (in-person services such as post office, library, and utilities)
- Map-Based Screening Area of development is under threshold as shown on screening map as allowed by the Town of Mammoth Lakes.
- Redevelopment Projects Project replaces an existing VMT-generating land use and does not result in a net overall increase in VMT.

As shown in Table 3, all land uses associated with the project are screened from further analysis.

Conclusions

The following conclusions are made based on this analysis:

• The proposed project would not have an increased impact on the PM peak hour trips, level of service (LOS), or roadway capacity compared to the original study, therefore, it can still be concluded that the proposed project continues to meet the Towns standards.

• All components of the project are considered to have a non-significant impact on VMT because they meet the Town's screening criteria.

A A A

Please contact our office at (530) 583-4053 with any questions or comments pertaining to this analysis.

Respectfully Submitted,

by

LSC Transportation Consultants, Inc.

IIN

Leslie Suen, PE, Associate Engineer LSC Transportation Consultants, Inc.

Attached: Tables 1-3

		Employee icles		ance Staff icles	Attended	e Vehicles	Service	Vehicles	т	otal Vehicle	
Hour Starting	In	Out	In	Out	In	Out	In	Out	In	Out	Total
Saturday											
8:00 AM	0	0	0	0	0	0	0	0	0	0	0
9:00 AM	4	0	0	0	0	0	0	0	4	0	4
10:00 AM	0	0	0	0	0	0	0	0	0	0	0
11:00 AM	0	0	0	0	0	0	1	1	1	1	2
12:00 PM	0	2	0	0	0	0	0	0	0	2	2
1:00 PM	2	0	0	0	0	0	0	0	2	0	2
2:00 PM	0	0	26	0	0	0	0	0	26	0	26
3:00 PM	0	0	0	0	0	0	1	1	1	1	2
4:00 PM	4	0	0	13	0	0	0	0	4	13	17
5:00 PM	0	4	19	0	0	0	0	0	19	4	23
6:00 PM	0	0	0	0	74	0	0	0	74	0	74
7:00 PM	0	0	0	0	5	0	0	0	5	0	5
8:00 PM	0	0	0	0	0	5	0	0	0	5	5
9:00 PM	0	1	0	8	0	74	0	0	0	83	83
10:00 PM	0	3	0	26	0	0	0	0	0	29	29
Total	10	10	45	47	79	79	2	2	136	138	274

Table 1: Hourly Vehicle Trip Generation for the MACC - Performing Arts Theater (250 seats)

			ITE Land Use	Use			on Rates ¹ ak Hour	Reduction for	Reduction for Non-Auto	I	cle Trips Drivewa day Pe	ays
Description	Quantity	Units	Category	Code	In	Out	Total	Internal Trips	Trips	In	Out	Tota
roposed Land Uses												
Childcare Center	85	Students	Day Care Center	565	0.07	0.04	0.11	10%	14%	4	3	7
Dwelling Units	24	DU	Multi-Family Low Rise	220	0.21	0.21	0.41	10%	19%	3	4	7
Performing Arts Theatre 250 seats See Table 1 5% Note 2					Note 2	70	0	70				
riginal Study Land Use Assu												
Performing Arts Theatre	298	seats	vehicle trip gener	ration			See Or	ginal Study ^³		95	0	95
										95	0	95
								Change in T	rip Generation	-18	7	-11
U= Dwelling Unit. ote 1: ITE standard trip generat			ble 1 volumes.									

Table 3: MACC Update 2023 - VMT Summary

Description	Quantity	Units	Category	Code	Daily Trips	Screened Out? ¹	Screening Criteria
roposed Land Uses							
Childcare Center	85	Students	Day Care Center	565	26	Yes	Local Essential Services
Dwelling Units	24	DU	Multi-Family Low Rise	220	79	Yes	Low VMT Area per Residential Screening Map
Performing Arts Theatre	250	seats	person trip analysis		260	Yes	Low VMT Area per Non-Residentia Screening Map
roposed Project Total					365		
riginal Study Land Use Assu	mptions						
Performing Arts Theatre	298	seats	person trip an	alysis	234	Yes	Low VMT Area per Non-Residentia Screening Map

Planning and Economic Development Commission Agenda Action Sheet

<u>**Title:**</u> Consideration of an amendment to the approved Major Design Review 24-001 for the "Rockspring" resort condominium development project located in the "Resort General" zone of the North Village Specific Plan at the northeast corner of Main Street and Minaret

Commission Meeting Date: 5/14/2025

Prepared by: Kim Cooke, Senior Planner

<u>Recommended Motion</u>: Adopt the Planning and Economic Development Commission Resolution making the required Design Review and CEQA findings, and approving Design Review Amendment Application #DR 24-001A with conditions as recommended by staff.

Summary: The proposed Amendment to approved Design Review #DR 24-001 is to allow for revised building and site design elements for the "Rockspring" project. The number of resort condominium units is also reduced from 118 units to 110 resort condominium units.



Town of Mammoth Lakes

Planning & Economic Development Commission Staff Report

Meeting Date: May 14, 2025

AGENDA TITLE: Consideration of an amendment to the approved Major Design Review (DR) 24-001 for the "Rockspring" resort condominium development project located in the "Resort General" zone of the North Village Specific Plan (NVSP) at the northeast corner of Main Street and Minaret Road. The proposed amendment is to allow for revised building design and site design elements that were not previously considered by the PEDC on April 10, 2024. A CEQA conformance analysis was prepared for the "Rockspring" project which found the project to be in conformance with the certified 1999 North Village Specific Plan Subsequent Program Environmental Impact Report (SPEIR).

Applicant/ Property Owner: Mark Rafeh / 6060 Minaret, LLC

REQUESTING DEPARTMENT:

Community & Economic Development Nolan Bobroff, Director Kim Cooke, Senior Planner

OBJECTIVE:

- 1. Hear Staff and Applicant presentations
- 2. Receive Public Comments
- 3. Planning & Economic Development Commission (PEDC) discussion
- 4. PEDC action to either:
 - a. Adopt the attached Planning and Economic Development Commission Resolution (the Resolution), making the required Design Review and CEQA findings, and approving Design Review Amendment Application #DR 24-001A with conditions as recommended by staff;
 - b. Adopt the Resolution with modifications; or
 - c. Deny the Resolution

SUMMARY:

Proposal:	The proposed Amendment to approved Design Review #DR 24-001 is to allow for revised building and site design elements for the "Rockspring" project. The
	number of resort condominium units is also reduced from 118 units to 110 resort
	condominium units.
Project Name:	"Rockspring" - Resort Condominium Development
Location:	6040, 6042, and 6060 Minaret Road (<u>APNs: 033-043-002-000, 033-043-001-000,</u>
	and 033-043-003-000)

Size of Property:	Combined 2.6 acres (Approx. 113,080 square feet)								
Zoning:	Resort General (RG) zone - North Village Specific Plan								
General Plan:	North Village Specific Plan (NVSP)								
Environmental Review:	The project conforms to the North Village Specific Plan Supplemental								
	Environmental Impact Report (1999 SPEIR)								

KEY ISSUES:

- 1. Does the proposed amendment meet the Design Review criteria and required findings pursuant to MC Sections 17.88.050 and 17.88.060, respectively?
- 2. Is the proposed project consistent with the California Environmental Quality Act (CEQA)?

I. INTRODUCTION AND BACKGROUND

On April 10, 2024, the Planning and Economic Development Commission (PEDC) voted 4-0 to approve Tentative Tract Map 24-002, Use Permit 24-001, and Major Design Review 24-001 for the "Rockspring" resort condominium development project. The approved project consists of a five-story, resort condominium development comprised of 118 resort condominium units with a total of 198 bedrooms. The project features one level of understructure parking for 127 vehicles and an exterior parking area for fourteen vehicles. The site amenities are oriented to condominium owners and guests including approximately 2,200 sq. ft. of restaurant/reception area, accessory retail, fitness center, sauna, flex space, ski valet and lockers, and outdoor pools, spas and courtyard. A Rough Grading permit was issued for the project in August 2024.

During the Building Permit plan check process, staff found that design changes were made to the project which would require review and approval by the Advisory Design Panel (ADP) and the PEDC.

The Rockspring development team submitted an application for a Major Change to an Approved Project on February 21, 2025. Pursuant to M.C. Section 17.64.070 – *Changes to an Approved Project*, the original review authority may authorize major changes to an approved site plan, architecture, or the nature of the approved land use.

Since the original Design Review application was reviewed by the Advisory Design Panel and the PEDC, the application was reviewed by ADP on March 5, 2025. ADP provided consensus comments regarding the modified project design and indicated that a second ADP meeting would not be necessary if their recommendations are addressed.

Project Proposal:

The revised project design includes site design changes to the retaining walls located at the south/east corner of the project in order to accommodate a new subterranean mechanical equipment vault. Architectural design changes include the following elements:

- Projecting tower architectural features have been removed from the roofline.
- Windows have been enlarged on the vertical architectural features.
- The two sides of the project located on the Minaret Road frontage still feature a gable roof design on the west facing façade; however, the roof overhang is reduced, and the vertical design features no longer extend to the cable roof ceiling. Metal beams are added for architectural detail.
- Extended balconies located on the front (West) façade have been removed.
- Columns along the property frontage are changed from 10 columns to 15 less robust columns.

- The lower height colonnade cover is removed from the façade.
- The clear story windows above the pedestrian arcade are replaced with siding.
- New elevator tower projections are proposed on the roof.

FIGURES 1 & 2 – APPROVED PROJECT RENDERINGS 4-10-24





FIGURES 3 & 4 – REVISED DESIGN REVIEWED BY ADP ON 3-5-25



Advisory Design Panel Review

The Advisory Design Panel reviewed the revised project plans on March 5, 2025. The ADP provided consensus comments regarding the building and site design, which are summarized below:

ADP Consensus Comments – 3/5/25

- Replace the gabion wall planters with large natural boulders.
- Add a projecting colonnade roofline across the front of the buildings to define the first story of the structure.
- Modify the metal frame structure at the gable roof so that it aligns with the central window/tower feature.
- Add a tree to the landscape area on the south end of the exterior parking aisle to help screen the surface parking area from Minaret Road.
- Add a roof overhang to the gable features to provide depth to the building façade and distinguish the top floor of the building.

Design changes in response to ADP comments:

- The gabion wall planters were replaced with large boulders set into the sloped landscape area at the northeast corner of the property.
- The addition of the colonnade roof across the façade of the two end buildings helps to connect the facade and helps reduce the scale of the building mass. This feature helps define the base and middle of the building.
- The metal support structure at the two gable roof elements were aligned to meet up with the central window tower features.
- A gable roof overhang was added to match the depth of the colonnade roof overhang.

FIGURE 5 – REVISED FAÇADE PER ADP RECOMMENDATIONS



II. ANALYSIS OF KEY ISSUES

KEY ISSUE #1: Does the proposed project meet the Design Review criteria and required findings pursuant to MC Chapter 17.88?

Design Review is required per MC §17.88.020. The purpose of Design Review is to implement the General Plan policies related to community design and character, to promote excellence in site planning and design to complement the natural environment and enhance the image of the town as a mountain resort community, and to ensure that the architectural design of structures and their materials and colors are appropriate to the function of the project and visually harmonious with surrounding development.

Below is staff's analysis of the project's consistency with the Design Review criteria. Staff finds that the proposed Amendment to the Major Design Review has met the overall intent of the Design Review criteria.

Design Review Criteria:

To obtain design review approval, projects must satisfy these criteria to the extent they apply:

A. The site design and building design elements including the architectural style, size, design quality, use of building materials, and similar elements, combine together in an attractive and visually cohesive manner that is compatible with and complements the desired architectural and/or aesthetic character of the area and a mountain resort community, encourages increased pedestrian activity, and promotes compatibility among neighboring land uses.

The site plan and building design have been reviewed for consistency with the North Village Design Guidelines and was reviewed by the Town's Advisory Design Panel (ADP) on March 5, 2025. The ADP provided several consensus recommendations for revisions to the project design which would improve consistency with the applicable Design Guidelines.

The project design was revised in response to the ADP comments and successfully improved the site design of the proposed structure. With the changes made in response to ADP recommendations the original findings for Design Review approval still apply. Overall, the proposed building and site improvements combine together in an attractive and visually cohesive manner that is compatible with and complements the desired aesthetic character of a mountain resort community, encourages increased pedestrian activity, and accomplishes specific goals and policies specified in the North Village Specific Plan and the General Plan that seek to locate lodging uses in appropriate areas to reach critical mass and mix of uses that will support The Village's success.

B. The design of streetscapes, including street trees, lighting, and pedestrian furniture, is consistent with the character of commercial districts and nearby residential neighborhoods.

The proposed streetscape design features a variety of site improvements including a new woodland garden feature with bench seating and bike racks which connects directly to the public sidewalk and a meandering pedestrian walkway that leads further into the site and features additional seating opportunities.

A covered pedestrian arcade frames the front of the property for the length of the building façade along the Minaret Road Street Frontage. These improvements allow pedestrians to detour from the sidewalk along Minaret Road and walk through the property, north to south, without being next to the busy street. The site design also includes a small pedestrian square near the south entrance to the property and features tables and chairs for an outdoor gathering space. These spaces will foster pedestrian activity and interest at the southwest corner of Main Street and Minaret Road. C. Parking areas are located, designed and developed to foster and implement the planned mobility system for the area; buffer surrounding land uses; minimize visibility; prevent conflicts between vehicles and pedestrians and cyclists; minimize stormwater run-off and the heat-island effect; and achieve a safe, efficient, and harmonious development.

The required number of parking spaces for the resort condominium use are provided on-site within an understructure parking garage and a small exterior parking area for up to fourteen vehicles. The visible portions of the parking podium are screened with concrete walls that are textured with a board formed concrete on east half of the project stone veneer on applied to the western half of the structure. Two garage entrances have roll-up doors with a dark bronze finish that blends with the concrete base material which minimizes the appearance of these entrances. The parking garage design does not feature openings along the east, or south sides which helps buffer the adjacent residential uses to the east of the site.

A small, 14-space surface parking lot is proposed along west side of the property, where a grade change from the higher elevation of Minaret Road to the lower elevation of the project site access creates a natural berm that will effectively screen the exterior parking area from Minaret Road.

D. Down-directed and shielded lighting and lighting fixtures are designed to complement buildings, be of appropriate scale, provide adequate light over walkways and parking areas to create a sense of pedestrian safety, minimize light pollution and trespass, and avoid creating glare.

The proposed exterior lighting plan includes light fixture specifications that are appropriate in scale based upon the specific purpose and placement of the lighting. The fixture styles are contemporary with dark finishes, and all proposed festoon lighting is located within the project courtyard which is shielded by the proposed resort condominium buildings. The proposed exterior lighting is shielded to minimize light pollution and trespass. Condition of Approval #17 is included to ensure that exterior lighting is inspected and verified for compliance with Chapter 17.36.030 of the Town of Mammoth Lakes Municipal Code prior to the issuance of a certificate of occupancy.

E. Landscaping is designed to conserve water resources, promotes a natural aesthetic, and be compatible with and enhance the architectural character and features of the buildings on site, and help relate the building to the surrounding landscape.

The proposed landscape plan is consistent with the recommendations of the Town of Mammoth Lakes Design Guidelines in that the design promotes a natural aesthetic through the use of native plant species that are prevalent in the Mammoth Lakes region. Approximately 142 existing trees that are 12 inches or greater DBH will be removed from the development footprint, and a total of 36 existing trees will be preserved on the site. 107 new trees are proposed to be planted throughout the landscape areas and include Jeffrey Pine, Red Fir, White Fir, Quaking Aspen, Western Water Birch and Hawthorn. Numerous shrubs are also incorporated into the landscape including Desert Ceanothus, Fern bush, Creek Dogwood, Siberian Dogwood, Forsythia, Mountain Snowberry, and purple sage among others.

The landscape plan softens the perimeter of the development and enhances the architectural features of the building, especially the appearance of the project from Minaret Road. A Landscape documentation package is required as Condition of Approval #32 to ensure the new landscape will comply with the Water Efficiency Landscape Ordinance (WELO).

KEY ISSUE #2: Is the proposed project consistent with the California Environmental Quality Act (CEQA)?

As part of the approval of the 1999 NVSP Amendment, the Town Council reviewed and certified the Subsequent Program Environmental Impact Report for the 1999 North Village Specific Plan Amendment (1999 SPEIR) (State Clearing House SCH#99-092082).

The 1999 SPEIR analyzed the potential impacts of developing the entire NVSP area with the maximum density/intensity permitted under the NVSP development standards, as amended by the 1999 NVSP Amendment. That amendment involved modifications to circulation and parking, height limitations, development opportunities, and setbacks, and included a majority of the development standards and uses that are currently applicable. The 1999 SPEIR found that all impacts, with the exception of Air Quality, would be less than significant through compliance with existing standards and regulations and through the incorporation of the mitigation measures (modified as necessary) imposed under the 1991 EIR and 1994 EIR Addendum. The 1999 SPEIR concluded that impacts to Air Quality would be significant and unavoidable and that the project would contribute on some level to the ongoing violation of the state and federal PM₁₀ standards.¹

The Rockspring resort condominium development project was found to be in conformance with the existing 1999 SPEIR because the proposed project is consistent with all applicable development standards of the NVSP and is within the scope and intensity of the development that was intended for the site and analyzed in the 1999 SPEIR. The proposed amendment to Major Design Review (DR) 24-001 does not result in any change to the potential environmental impacts of the proposed project, and all potential environmental effects were found to have been adequately covered in the 1999 SPEIR and no new or increased environmental impacts are expected to occur as a result of project implementation. Therefore, no new environmental compliance document is required, pursuant to CEQA Guidelines §15168[c][2].

III. STAFF FINDINGS AND RECOMMENDATION

Staff finds that the proposed amendment to Major Design Review (DR) 24-001 meets the applicable requirements and recommends the Planning and Economic Development Commission adopt the Planning and Economic Development Commission Resolution, making the required CEQA and Municipal Code findings, and approving Major Design Review amendment (DR) 24-001A with conditions as recommended by staff or with modifications.

Attachments

Attachment A: Planning and Economic Development Commission Resolution 2025-08 Attachment B: Updated Project Renderings dated April 30, 2025 Attachment C: April 10, 2024, PEDC Staff Report Packet

¹ The Town was re-designated by the United State Environmental Protection Agency (EPA) as "in attainment" for the federal air quality standard for particulate matter less than 10 microns (PM₁₀) in November 2016.

Attachment A

Recording Requested by and When Recorded Mail To:

Town of Mammoth Lakes Community & Economic Development Department P.O. Box 1609 Mammoth Lakes, CA 93546

> Recordation fee exempt per Government Code §27383 Space Above for Recorder's Use

RESOLUTION NO. PEDC 2025-08

A RESOLUTION OF THE MAMMOTH LAKES PLANNING AND ECONOMIC DEVELOPMENT COMMISSION APPROVING A MAJOR DESIGN REVIEW AMENDMENT (DR) 24-001-A FOR THE ROCKSPRING RESORT CONDOMINIUM DEVELOPMENT PROJECT LOCATED IN THE NORTH VILLAGE SPECIFIC PLAN (NVSP) RESORT GENERAL ZONING DISTRICT AT 6060, 6042, AND 6040 MINARET ROAD (APNs: 033-043-003-000, 033-043-001-000, 033-043-002-000)

WHEREAS, a request for consideration of a Major Design Review amendment application was filed by 6060 Minaret, LLC, for the "Rockspring" resort condominium development project, comprised of 110 for-sale resort condominium units, with a total of 198 bedrooms. Parking for the development is located within an understructure parking garage that accommodates 127 vehicles, and an exterior parking area with 14 vehicle parking spaces. All site amenities are oriented to condominium owners and guests, including a reception lobby, restaurant and dining area, accessory retail, fitness center, sauna, outdoor pool and spa, cold plunge, and outdoor lounge areas. The application was submitted in accordance with the North Village Specific Plan and Chapter 17.88 (Design Review) of the Town of Mammoth Lakes Municipal Code, for property located within the Resort General (RG) zone of the North Village Specific Plan (NVSP) at 6060, 6042, and 6040 Minaret Road; and

WHEREAS, the Planning and Economic Development Commission conducted an administrative hearing on the application request on May 14, 2025, at which time all those desiring to be heard were heard; and

WHEREAS, the Planning and Economic Development Commission considered, without limitation:

- 1. The staff report to the Planning and Economic Development Commission with exhibits;
- 2. The April 10, 2024, PEDC Staff Report
- 3. General Plan, North Village Specific Plan, Municipal Code, North Village Design Guidelines, and associated Land Use Maps;
- 4. CEQA conformance review document;
- 5. The 1999 North Village Specific Plan Subsequent Program Environmental Impact Report (SCH #99-092082), incorporated herein by reference;

- 6. Oral evidence submitted at the hearing;
- 7. Written evidence submitted at the hearing; and
- 8. Project plans consisting of:
 - a. Updated Project Renderings dated April 30, 2025;
 - b. Revised Architectural Plan Set dated February 21, 2025; and
 - c. Color and Material Board, date stamped February 21, 2025.

NOW THEREFORE, THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE TOWN OF MAMMOTH LAKES DOES RESOLVE, DETERMINE, FIND AND ORDER AS FOLLOWS:

SECTION 1. FINDINGS.

I. CEQA.

On November 15, 2000, the Town Council certified the Subsequent Program Environmental Impact Report for the 1999 North Village Specific Plan Amendment project (1999 SPEIR) (SCH #99-092082). The 1999 SPEIR reviewed the existing conditions and conclusions of the original 1991 EIR and 1994 EIR Addendum, analyzed potential environmental impacts associated with the 1999 North Village Specific Plan (NVSP) Amendment in comparison to the previous environmental documentation, and identified mitigation measures to reduce potentially significant impacts. The 1999 SPEIR analyzed the potential impacts of developing the entire NVSP area with the maximum intensity permitted under the NVSP development standards. That amendment involved modifications to circulation and parking, height limitations, development opportunities, and setbacks and included the majority of the development standards and uses that are currently applicable. The 1999 SPEIR found that all impacts, with the exception of Air Quality, would be less than significant through compliance with existing standards and regulations and through the incorporation of the mitigation measures (modified as necessary) imposed under the 1991 EIR and 1994 EIR Addendum. The 1999 SPEIR concluded that impacts to Air Ouality would be significant and unavoidable and that the project would contribute on some level to the ongoing violation of the state and federal PM_{10} standards.¹

The proposed Rockspring resort condominium development project is consistent with all applicable development standards of the NVSP, is consistent with the scope and intensity of development analyzed for the site in the 1999 SPEIR and will not result in any new environmental effects that were not previously analyzed in the certified 1999 SPEIR (SCH #99-092082). Pursuant to CEQA Guidelines §15168[c][2], when a project will not result in any new environmental effects that were not previously analyzed in a certified Program EIR, no new environmental compliance document is required since the scope and intensity of the project was fully covered by the 1999 SPEIR and none of the criteria outlined in CEQA Guidelines §15162, has occurred, as discussed below:

¹ The Town was re-designated by the United States Environmental Protection Agency (EPA) as "in attainment" for the federal air quality standard for particulate matter less than 10 microns (PM₁₀).

- a. There are no substantial changes to the project from what was analyzed in the 1999 SPEIR that will require revisions to the previous EIR, and therefore, no new significant environmental effects or a substantial increase in the severity of previously identified significant effects will occur. The project is consistent with all applicable NVSP development standards specific to the Dempsey/Nevados site (Parcel 38) and the resort General (RG) zone, including, but not limited to, density, site coverage, building area, building height, setbacks, and parking, and the 1999 SPEIR found that the potential impacts from a project at this site that conforms to all of the development standards would result in less than significant impacts with the incorporation of the mitigation measures imposed under the 1999 EIR and 1994 EIR Addendum.
- b. There are no substantial changes with respect to the circumstances under which the project is being undertaken that will require major revisions to the previous EIR since the project site remains in a similar condition as it was when it was originally analyzed in the 1999 SPEIR and the project, as proposed, is consistent with what was analyzed in the 1999 SPEIR for the site. Additionally, no changes or amendments to the 1999 SPEIR with respect to the project site have occurred. Therefore, since the circumstances under which the project is being undertaken remain unchanged, no new significant environmental effects or a substantial increase in the severity of previously identified significant effects are anticipated to occur.
- c. There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, to show that:
 - (1) The project will have one or more significant effects not previously discussed in the EIR since, as described in the Rockspring resort condominium development project CEQA Conformance Documentation, no changes have occurred with respect to the intensity of the development that was previously analyzed in the 1999 SPEIR and all potential environmental effects were found to be adequately analyzed in the 1999 SPEIR;
 - (2) Significant effects previously examined will be substantially more severe than shown in the previous EIR. As discussed in the Rockspring resort condominium development project CEQA Conformance Documentation, only impacts with regard to Air Quality were found to be significant in the previously certified 1999 SPEIR, and the potential impacts with regard to Air Quality from the proposed project were found to have been covered in the 1999 SPEIR since the project is within the scope of development that was intended for the project site;
 - (3) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative. The mitigation measures in the 1999 SPEIR reduce all potential impacts to a less than significant level, with the exception of impacts related to Air Quality, which were found to be significant due to ongoing region-wide violations of the State and Federal

 PM_{10} standards and no mitigation measure or alternative would adequately reduce that impact to a less than significant level, and therefore, there are no additional mitigation measures or alternatives that would be feasible that would reduce one or more significant effects of the project; and

(4) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR and would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative. The mitigation measures in the 1999 SPEIR reduce all potentially significant impacts to a less than significant level, with the exception of impacts related to Air Quality, which were found to be significant due to ongoing region-wide violations of the State and Federal PM₁₀ standards and no mitigation measure or alternative would adequately reduce that impact to a less than significant level. Therefore, there are no other mitigation measures or alternatives from those analyzed in the 1999 SPEIR which would reduce one or more significant effects on the environment.

Therefore, since none of the criteria in CEQA Guidelines §15162 apply in this instance, and the scope and intensity of the project was fully covered by the 1999 SPEIR, no new environmental compliance document is required pursuant to CEQA Guidelines §15168[c][2]. The applicable mitigation measures from the 1999 SPEIR remain applicable and are included as conditions of approval for the project.

II. MUNICIPAL CODE FINDINGS.

A. FINDINGS FOR DESIGN REVIEW PERMIT (Municipal Code Section 17.88.060)

1. The project is consistent with the applicable standards and requirements of the Municipal Code.

The project is consistent with the applicable standards and requirements of the Mammoth Lakes Zoning Code because the subject property is zoned North Village Specific Plan (NVSP), and the specific allocation of density, location of uses, and development standards are contained in the Specific Plan.

The proposed project is consistent with the NVSP because the project conforms to the applicable development standards for the Plaza Resort and Specialty Lodging districts of the NVSP including, but not limited to, allowable land uses, density, building area, site coverage, building height, setbacks, parking, snow storage, and design. Additionally, affirmative findings for approval of the project have been made as required by the Municipal Code, for a Use Permit and Tentative Tract Map.

2. The project is consistent with the General Plan and any applicable specific plan or master plan.

The Rockspring project is consistent with the 2007 General Plan land use designation for the site, which is designated North Village Specific Plan (NVSP), because the proposed resort condominium use is a permitted land use within the Resort General (RG) zone of the NVSP, and the proposed density is consistent with the maximum allowable density permitted for the Dempsey/Nevados (Parcel 38) site.

The project would implement the goals and objectives identified for the North Village Specific Plan (NVSP) and the North Village District (*General Plan Neighborhood and*

District Character Element) by providing a resort condominium lodging use that results in increased lodging capacity within the North Village and thereby, supports visitation as anticipated for a resort destination. The proposed development provides amenities oriented to guests of the project as well as improvements to pedestrian connectivity through the addition of sidewalk and internal pedestrian pathways through the hotel grounds. The site design as a whole encourages social gathering and pedestrian activity.

3. The project is consistent with the Town of Mammoth Lakes Design Guidelines.

The project is located within the North Village Specific Plan Area (NVSP), so it is subject to the North Village Design Guidelines rather than the Town of Mammoth Lakes Design Guidelines. The project is consistent with the North Village Design Guidelines because: (1) the site design takes advantage of the topography of the site in that the understructure parking garage is the footprint for the entire development which provides the required number of vehicle spaces while allowing for the creation of the central courtyard of the project to provide ample outdoor gathering spaces and guest amenities; (2) the roofline of the hotel provides variation through the segmented building design and varied wall heights and wall offsets; (3) the mass of the structure is minimized with the reduced structure height at the restaurant/reception building and through incorporation of building offsets and changes in siding material and color, as well through the placement of recessed and extended balconies; (4) the base of the building is scaled to the pedestrian form through the use of highly textured and integrally colored concrete base material, as well as incorporation of a pedestrian arcade located at the front of the project which frames the storefront windows of the restaurant/reception building. Additionally, festoon lighting is proposed within the central courtyard to create an inviting gathering area; (5) the materials and colors are appropriate to The Village setting since they are made up of neutral and warm earthtone colors; and (6) the landscape design proposes the use of native plants and trees that are appropriate to the Mammoth Lakes region and the use of layering plants with natural boulders and retaining walls provide effective screening and softening at the edges of the development.

4. The project is consistent with the following additional Design Criteria (Zoning Code §17.88.050):

a. The site design and building design elements including the architectural style, size, design quality, use of building materials, and similar elements, combine together in an attractive and visually cohesive manner that is compatible with and complements the desired architectural and/or aesthetic character of the area and a mountain resort community, encourages increased pedestrian activity, and promotes compatibility among neighboring land uses.

The site plan and building design have been reviewed for consistency with the North Village Design Guidelines and was reviewed by the Town's Advisory Design Panel (ADP) on March 5, 2025. The ADP provided several consensus recommendations for revisions to the project design which would improve consistency with the applicable Design Guidelines.

The project design was revised in response to the ADP comments and successfully improved the site design of the proposed structure. With the changes made in response to ADP recommendations the original findings for Design Review approval still apply. Overall, the proposed building and site improvements combine together in an attractive and visually cohesive manner that is compatible with and complements the desired aesthetic character of a mountain resort community, encourages increased pedestrian activity, and accomplishes specific goals and policies specified in the North Village Specific Plan and the General Plan that seek to locate lodging uses in appropriate areas to reach critical mass and mix of uses that will support The Village's success.

b. The design of streetscapes of streetscapes, including street trees, lighting, and pedestrian furniture, is consistent with the character of commercial districts and nearby residential neighborhoods

The proposed streetscape design features a variety of site improvements including a new forest garden seating area with bike racks and a meandering pedestrian walkway that connects to the public sidewalk to allow pedestrians to detour from the busy sidewalk along Minaret Road. Ample landscape is proposed at the project edges which is enhanced by significant trees preserved on the site as well as the forested buffer provided by the Caltrans right-of-way area located on the south side of the property.

c. Parking areas are located, designed and developed to foster and implement the planned mobility system for the area; buffer surrounding land uses; minimize visibility; prevent conflicts between vehicles and pedestrians and cyclists; minimize stormwater run-off and the heat-island effect; and achieve a safe, efficient, and harmonious development.

The required number of parking spaces for the resort condominium use are provided on-site within an understructure parking garage and a small exterior parking area for up to fourteen vehicles. The visible portions of the parking podium are screened with concrete walls that are textured with a form liner finish to mimic fractured stone siding, and two garage entrances have roll-up grates with a dark bronze finish that blends with the concrete base material to minimize the appearance of these entrances. The parking garage design does not feature openings along the east, or south sides which helps buffer the adjacent residential uses to the east of the site. The parking spaces are designed with standard dimensions for interior and exterior parking spaces, which allows owners and guests to self-park and achieves a safe and efficient parking layout.

The visible portions of the parking garage are enclosed within a pour-in-place concrete wall foundation system which is finished with a fractured stone texture and integral color mix. The two vehicle entrances to the parking garage feature a roll-up grate with bronze finish to blend with the base of the structure. The design of the parking garage minimizes the visibility of parking and reduces heat-island effect because it is tucked underneath the footprint of the structures with a central courtyard located on top of the parking podium which features formal landscaping and guest amenities.

d. Down-directed and shielded lighting and lighting fixtures are designed to complement buildings, be of appropriate scale, provide adequate light over walkways and parking areas to create a sense of pedestrian safety, minimize light pollution and trespass, and avoid creating glare.

The proposed exterior lighting plan provides light fixture specifications that provide appropriate scale based upon location and purpose. The variety of fixtures and lighting type adds interest throughout the site. All proposed exterior lighting is shielded to minimize light pollution and trespass. Condition of Approval #17 is

included to ensure that exterior lighting is inspected and verified for compliance with Chapter 17.36.030 of the Town of Mammoth Lakes Municipal Code prior to the issuance of a certificate of occupancy.

e. Landscaping is designed to conserve water resources, promotes a natural aesthetic, and be compatible with and enhance the architectural character and features of the buildings on site, and help relate the building to the surrounding landscape.

The proposed landscape plan is consistent with the recommendations of the Town of Mammoth Lakes Design Guidelines in that the design promotes a natural aesthetic through the use of native plant species that are prevalent in the Mammoth Lakes region. Approximately 142 existing trees that are 12 inches or greater DBH will be removed from the development footprint, and a total of 36 existing trees will be preserved on the site. 107 new trees are proposed to be planted throughout the landscape areas and include Jeffrey Pine, Red Fir, White Fir, Quaking Aspen, Western Water Birch and Hawthorn. Numerous shrubs are also incorporated into the landscape including Desert Ceanothus, Fern bush, Creek Dogwood, Siberian Dogwood, Forsythia, Mountain Snowberry, and purple sage among others.

The landscape plan softens the perimeter of the development and enhances the architectural features of the building, especially the appearance of the project from Minaret Road. A Landscape documentation package is required as Condition of Approval #32 to ensure the new landscape will comply with the Water Efficiency Landscape Ordinance (WELO).

5. The project is consistent with any approved tentative map, use permit, variance, or other planning or zoning approval that the project required.

The proposed project is consistent with the associated Tentative Tract Map and Use Permit as described in the PEDC Resolution No. 2024-05 and the associated staff report.

SECTION 2. PLANNING AND ECONOMIC DEVELOPMENT COMMISSION ACTIONS.

The Planning and Economic Development Commission hereby takes the following actions:

- 1. Finds that the previously certified Subsequent Program Environmental Impact Report for the 1999 North Village Specific Plan Amendment project (1999 SPEIR) (SCH #99-092082) adequately covered all potential environmental impacts of the Rockspring resort condominium development project and no new or increased environmental impacts are anticipated as a result of the project, and therefore, no new environmental compliance document is required pursuant to CEQA Guidelines §15168[c][2]; and
- 2. Approves the Rockspring resort condominium development Major Design Review amendment (DR) 24-001A subject to the following conditions:

(SEE EXHIBIT "A"); and

3. Directs staff to file a CEQA Notice of Determination.

PASSED AND ADOPTED this 14th day of May 2025, by the following vote, to wit:

AYES:

NAYS:

ABSENT:

ABSTAIN:

RECUSED:

ATTEST:

Nolan Bobroff, Community and Economic Development Director

Michael Vanderhurst Chair of the Mammoth Lakes Planning and Economic Development Commission

NOTE: This action is subject to Chapter 17.104 of the Municipal Code, which specifies time limits for legal challenges.

OWNER/APPLICANT:

I, Mark Rafeh, applicant and authorized signatory for 6060 Minaret, LLC, the property owner, do hereby attest that I have read, and agree to, the conditions of approval stipulated within this Resolution.

Date:				

Mark Rafeh, Authorized Signatory 6060 Minaret, LLC (Notary Required)

}

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California County of Mono

On	, before me,	, Notary	
Public, personally appea	red	, whc	0
proved to me on the basi	s of satisfactory evidence t	to be the person(s) whose name(s) is/are	е
subscribed to the within i	nstrument and acknowledg	ged to me that he/she/they executed the	;
same in his/her/their auth	orized capacity(ies), and t	hat by his/her/their signature(s) on the	
instrument the person(s)	, or the entity upon behalf c	of which the person(s) acted, executed	
the instrument.			

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature of Notary

EXHIBIT "A" Resolution No. PEDC 2025-08 Case No. DR 24-001A CONDITIONS OF APPROVAL

STANDARD PLANNING CONDITIONS

- 1. This approval authorizes the Major Design Review amendment (DR) 24-001A for the "Rockspring" resort condominium development project, consisting of 110 resort condominium units with a total of 198 bedrooms.
- 2. The approved site and building plans include: Project renderings date stamped April 30, 2025, Architectural Project Plan Set date stamped February 21, 2025, consisting of 53 sheets, and a color and material board dated February 21, 2025, as amended pursuant to these conditions of approval.
- 3. The following materials shall be reviewed and approved by the Community and Economic Development Director prior to issuance of a building permit for the project:
 - The architectural plan set shall be updated to represent the design revisions made in response to the Advisory Design Panel Review comments as represented in the project renderings dated April 30, 2025.
 - Applicant shall provide a 3 x 3-foot mock-up of the concrete base material for review and approval and to provide a realistic representation of the integral color and form liner design and texture.
 - Applicant shall provide the proposed gate or roll-up grate design for the parking garage entrances for review and approval.
- 4. This action may be appealed to the Town Council within fifteen (15) calendar days from the date of Planning and Economic Development Commission approval in accordance with Municipal Code Chapter 17.104.
- 5. This permit and all rights hereunder shall automatically terminate unless the site preparation or construction has been commenced within two years after the issuance of this permit and such work is diligently carried on until completion, or an extension of time has been granted in accordance with Municipal Code §17.60.060.B.
- 6. All new improvements constructed on the site shall be in compliance with all Town of Mammoth Lakes, County of Mono, Mammoth Community Water District, the Mammoth Lakes Fire Protection District, the CRWQCB Lahontan District, Great Basin Air Pollution Control District, OSHA, State of California and United States of America laws, statutes, ordinances, regulations, directives, orders, and the like applicable thereto and in force at the time thereof. Any violation of the above may constitute grounds for revocation under Chapter 17.128 of the Mammoth Lakes Municipal Code.
- 7. This resolution of approval, as conditioned herein, shall be recorded for the subject property by the Mono County Recorder's Office to commence the approved use on the property or the issuance of any building permits for new structures.
- 8. The site shall be maintained in a neat, clean and orderly manner. All improvements shall be maintained in a condition of good repair and appearance. Outdoor storage

of equipment and other materials is prohibited, except as allowed through a temporary construction management plan approved by the Public Works Director.

- 9. Storage of construction materials and equipment off-site shall not be permitted without a permit issued by the Community and Economic Development Department of the Town. Any public or private property altered, damaged or destroyed by site preparation, grading, construction or use shall be restored to its pre-existing condition by the permittee.
- 10. All conditions of this permit shall be met or secured prior to final occupancy approval of any tenant improvements or new structures.
- 11. All uses are subject to review by the Building Official of the Town of Mammoth Lakes and must conform to occupancy ratings of the structures to obtain occupancy.
- 12. Town staff shall have the right to enter the subject property to verify compliance with these conditions. The holder of any permit associated with this project shall make the premises available to Town staff during regular business hours and shall, upon request make records and documents available to Town staff as necessary to evidence compliance with the terms and conditions of the permit.
- 13. Prior to the issuance of a building permit, the applicant shall pay all applicable fees as prescribed by ordinance and/or resolution and pay any fees due on the project processing account.
- 14. Where compliance with the conditions of approval or applicant-initiated changes to the plans require additional staff review, that review time shall be billed at the Town's established billing rates. Prior to the issuance of a building or grading permit, the applicant shall pay all outstanding costs for the processing of this application.
- 15. The applicant shall defend, indemnify, and hold harmless the Town and its agents, officers, and employees from any claim, action, or proceeding against the Town and its agents, officers, or employees to attack, set aside, void, or annul, an approval of the Town, advisory agency, appeal board, or legislative body concerning this approval. The Town shall promptly notify the applicant of any claim, action, or proceeding and shall cooperate fully in the defense.
- 16. Pursuant to Government Code Section 66474.9 the subdivider shall defend, indemnify, and hold harmless the Town and its agents, officers, and employees from any claim, action, or proceeding against the Town and its agents, officers, or employees to attack, set aside, void, or annul, an approval of the Town, advisory agency, appeal board, or legislative body concerning this approval, which action is brought within the time period provided for in Government Code Section 66499.37. The Town shall promptly notify the subdivider of any claim, action, or proceeding and shall cooperate fully in the defense.
- 17. All exterior lighting shall comply with Chapter 17.36.030 of the Town of Mammoth Lakes Municipal Code, Exterior Lighting. Exterior light fixtures having a total of over 400 lumens of output shall be equipped with shields that extend below the horizontal plane of the light source to direct the light downward onto the structure or surrounding grounds. Accent lighting is permitted as described in Municipal Code Section 17.36.030.F.6. This shall be verified prior to issuance of a certificate of occupancy.

- 18. The project shall comply with the Guidelines for Erosion Control in the Mammoth area. This shall include submittal of a Report of Waste Discharge, if applicable.
- 19. A valid building permit and a permit from the Mammoth Lakes Fire Protection District are required before any building construction can begin on-site.
- 20. Water and sewer improvements require a construction permit from Mammoth Community Water District. Prior to the Town authorizing any construction, the applicant shall obtain water and sewer permits from Mammoth Community Water district and pay applicable fees to the District.
- 21. New or changed improvements, exterior illumination, elevations, designs, materials, or colors shall conform to the adopted Design Guidelines of the Town of Mammoth Lakes and will require review and approval from the Town of Mammoth Lakes Community and Economic Development Department or Planning and Economic Development Commission pursuant to Municipal Code Chapter 17.88.
- 22. A certificate of occupancy is required for all future tenant improvements within the subject structures. Tenant improvements shall identify occupancy separation requirements, disabled access requirements and compliance with all applicable building, electrical, plumbing, and fire code requirements.
- 23. These zoning entitlement conditions of approval shall be printed verbatim on all of the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the index.
- 24. Developers of residential properties shall include a disclosure statement indicating that Mammoth Lakes is an area of habitat for Mountain Lions, which indicates potential risk, particularly to small children and pets. (General Plan Mitigation Measure 4.3-1)

SPECIAL PLANNING CONDITIONS

- 25. The project shall comply with all applicable mitigation measures from the Subsequent Program Environmental Impact Report for the 1999 North Village Specific Plan Amendments. The applicable mitigation measures are included as conditions of project approval # 5.3-1a through 5.11-2.
- 26. The housing mitigation requirements for this project shall be mitigated through compliance with the Affordable and Workforce Housing Ordinance in effect at the time of building permit submittal. The subject property was assigned 40.41 Full-Time Equivalent Employee (FTEE) credits via a previous Implementation Agreement and Assignment of Credits. Pursuant to the Town's Affordable and Workforce Housing Ordinance, these credits can be used to satisfy the affordable housing requirements for this project. The current value of the credits is established by Town Council policy Resolution No. 2019-57. The number of credits used for the proposed project will be dependent on the Town Council fee value policy that is in effect at the time of building permit submittal.
- 27. As required by the North Village Specific Plan (NVSP), the applicant shall comply with NVSP Housing Policy #3 that prohibits construction workers who reside outside of Mono or Inyo County to be housed in the RMF-1 zoning district. Documentation of the provision of housing for contractor employees shall be provided to the Town, upon request.

- 28. Resort Condominiums shall only be rented on a short-term basis (not more than 30days at a time). Only the owner of a resort condominium unit shall occupy their unit for longer than 30 consecutive days at a time. This shall be specified in the Owner's Association CC&Rs.
- 29. All resort condominium units are subject to the regulations of the Town's Quality of Life Ordinance (Municipal Code Chapter 5.40).
- 30. The applicant shall submit Owner's Association CC&Rs for the maintenance and control of common areas for review and approval by the Community and Economic Development Director prior to Final Map approval.
- 31. The project shall meet the requirements of Municipal Code Chapter 17.40 (Water Efficient Landscape Regulations), including the Landscape Documentation Package. A final landscape and irrigation plan shall be submitted to, and approved by, the Community and Economic Development Department prior to building permit issuance. Said landscape and irrigation plan shall substantially conform to the preliminary landscape plan approved by the Planning and Economic Development Commission. All landscape plantings shall be maintained in a healthy and growing condition at all times (as applicable for the season) and individual plants shall be replaced if they become diseased or die. Landscaping and irrigation systems within the public right-of-way within or adjacent to the project area shall be maintained by the property owner, with the exception of benefit assessment district areas.

Pursuant to the North Village Specific Plan, all trees greater than 12 inches dbh (diameter at breast height) that are required to be removed due to improvements, shall be replaced on a one-to-one basis either on-site or on an off-site location approved by the Community and Economic Development Director. Trees recommended for removal based on health, overstock, etc. by a qualified professional are not required to be replaced. Trees used for revegetation and landscaping purposes shall be a minimum size of 2-inch caliper. Selective use of smaller native trees may be permitted. Shrubs used for revegetation and landscaping purposes shall be a minimum 2-gallon container size. If trees larger than 2-inch caliper are used, the total number of replacement trees may be reduced, subject to approval by the Community and Economic Development Director.

- 32. Pursuant to Mitigation Measure 5.3-3c from the 1999 SPEIR (see Mitigation Measures below), the project shall utilize minimally reflective glass and all of the window glazing shall meet the performance standards of HP Sun II, or equivalent, low-e factory installed gray tinted glass in order to reduce reflectivity. All interior lights shall be "ambient" lighting with the fixtures directed upwards onto the walls and ceilings so as not to be directly visible through windows. Canned, recessed lights should not be visible through the windows from outside of the building or off-site.
- 33. Prior to issuance of a certificate of occupancy for the project, all required vehicle parking spaces shall be inspected and approved by the Community and Economic Development Department and the Public Works Department for compliance with the North Village Specific Plan requirements and the Town's Public Works Standards. At a minimum, there shall be 127 vehicle parking spaces with a minimum size of 9-feet x 18-feet and at least 14 exterior vehicle parking spaces with minimum size of 10-feet by 20-feet.

- 34. Sign permits are required prior to installation of any signage, and all signage shall comply with Municipal Code Chapter 17.48 (Signs) and the Town's Design Guidelines. A monument sign will require approval from the Planning and Economic Development Commission Design Committee. Depending on the number and size of signs, a Master Sign Program may be required. The Master Sign Program will require subsequent review from the Community and Economic Development Department and approval form the Planning and Economic Development Commission.
- 35. All roof vents and/or equipment shall be painted a dark, matte color to blend with the roof.
- 36. No snow shall shed or be deposited onto adjacent properties or Town right-ofway. This shall include snow that is removed from any portion of the property, including, but not limited to, the structure, driveway, and/or common areas. All interim snow storage areas shall be on the subject property. The property owner shall be subject to fines pursuant to Municipal Code §12.16.030 (*Snow Removal* – *Violation/Penalty*) if found to be in violation of this condition.
- 37. Placement of vents / and ventilation equipment for the parking garage and the mechanical equipment rooms shall be directed away from the adjacent residential condominium development located east of the site.
- 38. Noise levels generated by the project shall adhere to the requirements of the Specific Plan and/or the Town's noise regulations, as applicable.
- 39. The applicant shall screen the two transformers located in the northwest portion of the site with a decorative wall, fence, or dense landscape. The method of screening shall be approved by the Community and Economic Development Director prior to issuance of a building permit for the project.

SPECIAL DISTRICT CONDITIONS

- 40. Prior to combustible materials being placed on-site, an all-weather access road shall be maintained or be constructed that serves all exterior portions of the structure to the satisfaction of MLFPD. During demolition and construction of the project, clear access shall be provided for fire apparatus and a reliable water supply shall be available at all times.
- 41. Access to and circulation through the project site for emergency vehicles shall comply with all Mammoth Lakes Fire Protection District and Town requirements. Access for emergency vehicles shall be provided to all areas of the site, including, but not limited to, the interior central common area. All circulation/access roadways, bridges, etc. shall be constructed to support the weight of emergency vehicles pursuant to the Mammoth Lakes Fire Protection District requirements.
- 42. The parking structure shall comply with all applicable building and fire codes, including, but not limited to, egress requirements and fire sprinkler requirements dependent on the use and occupancy classification of the parking garage.
- 43. Fire department connection's (FDC's) shall be provided in accordance with Mammoth Lakes Fire Protection District requirements. At a minimum, the FDC sites shall have a parking location outside of the roadway large enough for a large capacity fire engine and be located within 50-feet of a fire hydrant.
- 44. A fire control room with exterior access in the vicinity of the primary Fire

Department Connection (FDC) shall be provided. The final location and size shall be determined in conjunction with the Mammoth Lakes Fire Protection District.

- 45. The Mammoth Lakes Fire Protection District reserves the right, at the owner's expense, to require the installation of a radio transceiver whenever a structure is constructed which inhibits standard portable two-way emergency radio communications.
- 46. The project shall comply with all Wildland Urban Interface requirements including, but not limited to, construction techniques, materials, and vegetation requirements.
- 47. Roof access shall be in accordance with all Mammoth Lakes Fire Protection District requirements
- 48. All propane lines serving the project shall meet all fire and building code requirements and shall be equipped with a readily available 90-degree shut-off isolation valve on the exterior of the project and an excess flow valve designed into the system.
- 49. Pursuant to CA Senate Bill 7, water sub-meters shall be required for each individual condominium unit. This shall be shown on the plumbing plans and installation shall be verified by the Mammoth Community Water District prior to issuance of a certificate of occupancy.

ENGINEERING DIVISION CONDITIONS

STANDARD CONDITIONS / GENERAL REQUIREMENTS:

- 50. A final map, consistent with the tentative map and the conditions herein, shall be recorded with the County Recorder of Mono County prior to the expiration of the approved tentative map. The final map shall conform to the Subdivision Map Act and the Subdivision Ordinance for the Town of Mammoth Lakes. The tentative map shall expire 24 months after the approval date. Failure to record the final map prior to the expiration will nullify all approvals, except as such time limitation may be extended by law or by the Planning and Economic Development Commission in accordance with the Subdivision Map Act.
- 51. Nothing in the approval of this tentative tract map shall be construed to allow for the deviation, adjustment, variance or non-conformance of any Municipal Code or ordinance, or of any local, State or federal standard, policy, regulation or law, unless specifically provided for herein.
- 52. The maintenance of graded slopes and landscaped areas shall be the responsibility of the developer until the transfer to individual ownership or until the maintenance is officially assumed by an appropriate district or property owners' association.
- 53. All new utility lines within, adjacent to, or serving the site shall be placed underground.
- 54. The site grading design and all building construction shall conform to State and federal disabled access regulations.
- 55. Paved access is required to a maintained street. Street and traffic signs shall meet the California Manual of Uniform Traffic Control Devices (MUTCD).
- 56. Landscaping and irrigation systems within the public right of way, adjacent to the project area and within the project shall be maintained by property owner, with the exception of benefit assessment district and/or community facilities district areas.

- 57. Rights of way and improvements (including off-site) to transition traffic and drainage flows from proposed to existing shall be required as necessary.
- 58. Construction cost estimates for all required sureties shall be prepared and signed by a registered civil engineer. The estimates shall be a prevailing wage rates and the security shall include an additional 20% for construction contingencies and 20% for administrative costs and shall be reviewed and approved by the Public Works Director or designee prior to execution.

THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO APPROVAL BY STAFF OF THE FINAL MAP:

- 59. The final map shall conform to the requirements of Town of Mammoth Lakes Ordinance 84-10 and all amendments thereto.
- 60. Slope rights adjacent to public rights of way shall be dedicated on the final map where necessary.
- 61. All easements and dedications shall be in a form and content acceptable to the Public Works Director.
- 62. The applicant shall submit to the Town an electronic file of the final map in AutoCAD, or other format as may be approved by the Public Works Director, within 30 days of approval of the final map.
- 63. Copies of all exceptions, easements, restrictions and encumbrances listed in the preliminary title report together with a copy of the current grant deed and a current title report, a copy of each record map for the subject property shown within the tentative map boundary, and a copy of each and every adjacent map, deed or other document as necessary that establish, or were used for the survey of, and for the retracement of the subdivision boundary shall be submitted with the initial submittal of the final map.
- 64. A subdivision guarantee shall be issued and dated within 30 days prior to final map approval by the Planning and Economic Development Commission.
- 65. A preliminary soils report shall be filed with and reviewed by the Public Works Director. The report shall address and make recommendations as to the compacted and un-compacted fills on-site. A note shall be placed on the final map indicating which lots require grading remediation. An "as-graded" soils report shall be provided to the Town upon completion of the grading.
- 66. A form of security listed in Government Code Section 66499(a) and acceptable to the Town shall be posted to secure completion of all required grading, street and drainage improvements in accordance with the Municipal Code and the applicant shall enter into a subdivision improvement agreement for all required public improvements in accordance with the Subdivision Map Act. The agreement shall include provisions for the posting of warranty sureties for the accepted public improvements two weeks prior to Planning and Economic Development Commission approval of the final map. Construction cost estimates for all required sureties shall be prepared and signed by a registered civil engineer. The estimates shall be at prevailing wage rates and shall include 20% for construction contingencies and 20% for administrative costs. All sureties shall be posted prior to the issuance of a grading permit and prior to approval by staff of the final map.

- 67. Monumentation of the subdivision shall be installed in accordance with the Subdivision Ordinance of the Town, Ordinance 84-10. A street centerline monument well and monument shall be installed at the intersection of Canyon Boulevard and Lake Mary Road.
- 68. A form of security listed in Government Code Section 66499(a) shall be posted with the Town in a form acceptable to the Town Surveyor for any deferred final monumentation for the final map. The estimated amount of the surety shall be prepared by the licensed land surveyor preparing the final map and shall be approved by the Town Surveyor. The estimates shall be at prevailing wage rates and shall include 20% for construction contingencies and 20% for administrative costs.
- 69. All easements as shown on the tentative map shall be granted on the final map or recorded by separate document prior to or concurrent with recordation of the final map in a form and in content acceptable to the Town. Easements to be recorded by separate document shall be submitted to the Town for review and approval. The fully executed documents shall be submitted to the Public Works Director prior to approval of the final map. Easements shown on the tentative map to be granted or dedicated shall indicate the beneficiary of the easement(s).
- 70. Easements shown on the tentative map to the benefit of an agency other than the Town or to other parties shall be shown on the final map as "Easements Reserved". The owner's statement on the final map shall reserve said easements unto themselves, their heirs and assigns.
- 71. All documents that are required to record prior to or concurrent with the recordation of the final map shall be reviewed and approved by the Town and shall be fully executed, notarized and ready for recordation prior to approval of the final map by Town staff. The originals of the executed documents shall be delivered to the Public Works Director together with the final map prior to approval of the final map.
- 72. The CC&Rs shall contain provisions granting rights of access and parking, as necessary, to the owners, tenants, and their guests, of the condominium units.
- 73. Existing CC&Rs, if any, encumbering the property shall be amended as necessary for the proposed development of this project.
- 74. The applicant shall submit a request for unit, building and street addressing to the Town. Approval of the addressing shall be completed prior to approval of the final map by staff.
- 75. Prior to approval of the final map by staff, the applicant shall provide evidence to the Town that the property taxes have been pre-paid to Mono County Tax Collector or their payment has been secured by the filing of a surety bond or other cash-equivalent security acceptable to the County.
- 76. As required by the Town's Subdivision Ordinance Section 17.20.160 and the most recent Town Council Resolution adopting a Schedule of Fees, the applicant shall pay a fee for each unit, parcel or lot, including lettered lots and parcels and common area lots or parcels created, to the Community and Economic Development Department for long range planning reimbursement prior to approval by staff of the final map.
- 77. If the subdivider elects to file multiple final maps, then prior to submittal of the first final map for the project, the applicant shall submit a development schedule of phasing and improvements for review and approval by the engineering and planning

divisions of the Town. The Town may impose additional conditions relative to phasing and the filing of multiple maps in accordance with Section 66456.1 of the Subdivision Map Act. Phasing may only be permitted if discontinuous rights-of-way and substandard lots are not created by the phasing.

THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO ISSUANCE OF AN ENCROACHMENT, GRADING, OR IMPROVEMENT PERMIT:

- 78. Applicant shall be responsible for adhering to the Federal Migratory Bird Treaty Act and California Fish and Game Code Sections 3503 and 3503.5. It is unlawful to take, possess, or needlessly destroy the nest or eggs of any bird or bird-of-prey, except as otherwise provided by FGC or any regulation made pursuant thereto. Completion of, and submission to the California Department of Fish and Wildlife of, a nesting bird survey by a biologist with relevant qualifications within three days of initiation of site disturbance is recommended for projects that have the potential to disturb suitable nesting habitat, which may include riparian vegetation, mature trees, snags, and structures.
- 79. Applicant is responsible for compliance with the project SWPPP and the Guidelines for Erosion Control in the Mammoth area. This shall include submittal of a Report of Waste Discharge, if applicable.
- 80. If the project would disturb more than one acre, Applicant is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) permit. The NPDES permit shall be approved by the State Water Resources Control Board and Waste Discharger Identification (WDID) number issued prior to the issuance of a grading permit or building permit.
- 81. Applicant shall be responsible for obtaining a secondary source permit or letter of exemption from the Great Basin Unified Air Pollution Control District.
- 82. Construction of public water and sewer improvements shall require water and sewer construction permits from the Mammoth Community Water District. Grading plans shall be submitted to the Town for review and approval and a grading permit in accordance with the municipal code shall be obtained from the Town and all mitigating measures and best management practices to prevent erosion and to protect existing trees shall be constructed prior to work commencing for any and all water and sewer improvements.
- 83. All grading and public improvements, including driveways and parking areas, shall be consistent with the Town of Mammoth Lakes Standard Plans for Public Works.
- 84. The applicant shall obtain an easement or letter of permission to grade all areas requiring off-site grading prior to issuance of a grading permit or a building permit. These areas shall be contour graded.
- 85. Applicant shall submit an application for an engineered grading permit to the Engineering Services Division of the Public Works Department in accordance with Chapter 12.08 of the Municipal Code. No change to the existing conditions of the site, including site grading, drainage interruption, land clearing, etc. shall be commenced until grading and drainage plans have been approved by the Public Works Director.

- 86. An engineered grading permit for the project shall not be issued unless one of the following has occurred:
 - a. Submission of a complete application for a building permit to the building division of the Community and Economic Development Department. The building official shall make the determination as to whether or not the application is complete; or
 - b. A form of security listed in Government Code Section 66499(a) and acceptable to the Town shall be posted to secure restoration and/or stabilization of the site. Construction cost estimates for all required sureties shall be prepared and signed by a registered civil engineer. The estimates shall be at prevailing wage rates and shall include 20% for construction contingencies and 20% for administrative costs and shall be reviewed and approved by the Public Works Director or designee prior to execution.
- 87. An encroachment permit or a letter of exemption shall be obtained from the Engineering Services Division of the Town prior to construction within the public right-of-way in accordance with Chapter 12.04 of the Municipal Code. Encroachment permit applicant shall include a traffic control plan as applicable.
- 88. Street and public improvement plans for streets, sidewalks, drainage, and other public/private infrastructure shall be prepared by a registered civil engineer and submitted to the Town for review and approval. Existing topography and proposed grading with sufficient contours intervals (not to exceed two feet) shall be prepared by a registered civil engineer or a licensed land surveyor.
- 89. Street profile grades shall not be less than 0.5% unless the engineer of work at the time of submittal of the improvement plans provides justification to the satisfaction of the Public Works Director confirming the adequacy of the grade and provided that drainage can be adequately maintained.
- 90. A thorough evaluation of the structural street section, to include parkway improvements, from a qualified civil and/or geotechnical engineer, shall be submitted to the engineering services division.
- 91. Final grading and improvement plans and profiles shall indicate the location of any existing utility facility that would affect construction. All existing utilities shall be shown on the improvement plans and relocated as necessary without cost to the Town. Existing overhead utilities requiring relocation shall be converted to underground.
- 92. Prior to approval of work in the Town right-of-way, the applicant shall contract with a soils testing engineer. Any proposed grading within the street right-of-way shall be done under the direction of the soils testing engineer. Compaction tests of embankment construction, trench backfill, and all sub-grades shall be performed at no cost to the Town. Prior to placement of any base materials, and/or paving, a written report shall be submitted by the soils testing engineer to the Public Works Director for review and approval.
- 93. Prior to issuance of a grading permit or building permit, Applicant shall submit to the Town a geotechnical report that confirms that the proposed stormwater retention infiltrator locations will not be subject to groundwater entering the drywell or cause leaching. A sediment and oil water separator shall be installed in conjunction with the infiltrator, substantially in conformance with NPDES water quality Phase 2 requirements.

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- 94. Slope stability tests are required for all cuts greater than 2:1 or fills greater than 3:1 (H:V).
- 95. Drainage across the property shall be maintained. The design of the grading and drainage facilities shall not create concentrated discharges to adjacent properties and/or public rights of way in excess of historical flows. A registered civil engineer shall investigate existing facilities and design adequate drainage facilities to intercept and conduct the drainage flows around or through the site in a manner that will not adversely affect adjacent or downstream properties. The Engineer shall verify that downstream facilities, and drainage channels accepting site flows are not adversely affected by an increase in runoff from this development. If the project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate the increased flows; otherwise, the applicant shall provide on-site detention for excess flows.
- 96. A final hydrology and hydraulics study is required and shall be submitted with the grading and improvement plans for the project. The study shall be prepared in accordance with the grading chapter of the municipal code and the adopted Storm Drain Master Plan of the Town and shall be prepared by a registered civil engineer. The study shall include runoff from the entire site and shall also include runoff that enters the property from all upstream sources, and shall include all storm drains, drywells, infiltrators and surface flows. The study shall indicate the method of conveying surface and underground runoff and shall address drainage conveyances downstream to the extent they exit to an existing facility or natural drainage course. All existing drainage facilities on-site and tributary to the site shall be identified and shown on the grading plans. The hydraulic calculations shall include all pipe flows, velocities and head loss calculations sufficient to show the adequacy of all conveyance systems. O100 and V100 and the hydraulic grade line for all public storm drains and all facilities with an equivalent diameter of 18 inches or greater shall be shown on the approved grading and improvement plans. The drainage study for the project and the final design of the storm drain system shall be approved prior to approval by staff of the grading and improvement plans and the final map. Infiltrators and storm water pollution prevention facilities are to be designed to accept the "first flush" levels of runoff. The capacity of these facilities shall not be assumed to reduce storm water flows of other drainage facilities that may be required for the project.
- 97. Temporary and permanent erosion control plans shall be included with the grading, improvement, and building plans. Continuous water spraying or other approved methods shall be used during grading operations to control fugitive dust. Drop inlet filters and other temporary Best Management Practices shall be employed to filter nuisance water from storm drain inlets affected by construction, on-site and off-site. Groundwater pollution from urban run-off water generated by the project shall be mitigated using best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Lahontan District, and as indicated in the "New Development and Redevelopment Guidelines". The applicant shall apply for and obtain all required permits, written clearances or exemptions from the Lahontan District prior to any grading. All BMPs shall be shown on the erosion control plans. If the Town inspector determines that the BMPs in place are not adequate, then additional BMPs shall be installed at the discretion of the Town

inspector or a revised erosion control plan shall be prepared for approval by the engineering services division. Gravel bags shall be used in lieu of sand bags. All permanent erosion control measures shall be irrigated for at least one season. Permanent BMPs shall include sediment traps upstream of infiltrators and oil water separators for parking areas consistent with the General Plan.

- 98. Grading plans shall include a Construction Staging and Management Plan which includes provisions related to the parking of construction worker vehicles, equipment and staging of materials both on-site and off-site, haul routes for export or import of material to/from a permitted site, hours of work, and special approval required by the Town Public Works Director for work outside hours allowed. Identified haul routes shall avoid residential areas to the maximum extent practical. The plan shall also contain provisions for interrupting utility services to neighboring properties and sufficient noticing to affected residents and property owners. The staging plan and the final access roadway improvements shall all be approved by the Mammoth Lakes Fire Protection District prior to grading permit issuance. An approved copy of the plan shall be maintained on-site at all times and available to all contractors, subcontractors, their employees and the Town.
- 99. On the cover sheet of the grading plans and in a very conspicuous location place the following note: "The conditions of approval for the approved tentative tract map, TTM 24-002, UPA 24-001, DR 24-001, contained in the resolution recorded at the County Recorder's Office of Mono County as Document No. 2022xxxx, shall be made a part of these plans and the grading permit and all conditions and requirements therein shall be adhered to by the contractor, his sub-contractors and any person performing any work on the project." This note shall also be included within the construction staging and management plan.
- 100. Prior to combustible materials being placed on-site, an all-weather access road shall be identified or constructed serving all exterior portions of the structure to the satisfaction of MLFPD.
- 101. Existing Town streets and sidewalks/recreational trails/multi-use paths that require construction or reconstruction, shall remain open for traffic at all times, with adequate detours and traffic control, during actual construction.
- 102. The grading plan and building permit plans shall indicate all snow storage areas and drainage facilities.
- 103. All easements shall be shown on the grading and building permit plans.
- 104. A tree removal plan shall be approved prior to any land disturbance and the issuance of a grading or building permit. A pre-construction meeting shall be held on-site prior to any land disturbance to inspect clearing limit fencing. The applicant shall obtain the necessary Timber Harvest Permit prior to any tree removal.
- 105. The grading plan shall include tree protection measures to address how construction can occur without disturbing the drip-line of retained trees. The drip-line areas shall be "fenced" off with barriers to prevent disturbance during site grading. Additionally, finish grading shall not disturb existing understory vegetation or retained trees. Grading operations shall not commence until all erosion control measures and tree protection measures are in place as shown on the approved plans, and as required by the Town.

THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMITS:

- 106. Prior to issuance of a building permit, one of the following shall be completed:
 - a. Recordation of the final map. The applicant shall provide evidence to the Town that the map has been recorded prior to issuance of the building permit for the project. Evidence shall consist of the recording information on the final map; or
 - b. If a building permit is issued prior to the recordation of the final map, the project shall be considered an apartment development under one ownership to comply with the State Subdivision Map Act, unless and until the final map is recorded. Under this scenario, no certificate of occupancy may be issued and no sale of the units may be made by the owner until a final map is recorded.
- 107. Proposed water and sewer connections require a Connection Permit from Mammoth Community Water District. Prior to the Town authorizing any construction, the applicant shall obtain water and sewer permits from Mammoth Community Water district and pay applicable fees to the District.
- 108. For all fences, retaining and screening walls greater than 48" in height above grade, the applicant shall submit plans to and obtain a building permit from the building division.

PRIOR TO ISSUANCE OF A TEMPORARY, CONDITIONAL, OR FINAL CERTIFICATE OCCUPANCY, THE FOLLOWING CONDITIONS SHALL BE COMPLETED:

- 109. All required landscaping and irrigation improvements shall be constructed prior to issuance of a temporary, conditional or final certificate of occupancy for the project. A form of security listed in Government Code Section 66499(a) and acceptable to the Town shall be posted with the Town to the satisfaction of the Community and Economic Development Department for any required landscaping and irrigation improvements to be deferred and a schedule shall be submitted to the town for the construction of the deferred improvements. Deferral of the construction of any landscaping and irrigation improvements shall be at the sole discretion of the director of the Community and Economic Development Department.
- 110. Address numbers shall be placed on all new and existing structures in such a manner as to be plainly visible and legible from the access roadway or street, consistent with Municipal Code Chapter 16.32.
- 111. The final condominium plans for the project shall be submitted to the Town for review for conformance with the approved development plan, tentative map, and CC&Rs. The condominium plans shall conform to the conditions of approval with respect to ownership of required appurtenant use areas. Issuance of a certificate of occupancy and recordation of the condominium plans shall not occur prior to Town approval of the condominium plans. The condominium plans shall be recorded prior to issuance of a temporary, conditional, or final certificate of occupancy for the project.

- 112. Construction of private streets and private facilities and related drainage improvements shall be inspected and certified by the Public Works Director and/or designee.
- 113. All required grading, public and private street and drainage improvements shall be completed, all "punchlist" items completed to the satisfaction of the Public Works Director, the as-built plans submitted, reviewed and approved and the required warranty security posted prior the issuance of a certificate of occupancy for the project.
- 114. Projects subject to a building permit shall have all required on and off-site improvements completed and approved prior to final inspection of any buildings or structures. The installation of any on or off-site improvements shall be sufficiently completed so as to assure protection from storm or drainage run off, a safe and drivable access for fire and safety, and the ordinary and intended use of buildings or structures. The Building Official, with the concurrence of the Public Works Director, may approve any plan or approve a change to an approved plan, which complies with the intent of this policy.

SPECIAL ENGINEERING CONDITIONS

- 115. Prior to approval of final map by Town staff, applicant shall submit a snow removal/storage management plan for the hauling of snow in accordance with Municipal Code Section 17.36.110.B(3)(a) to the Community and Economic Development Department and Public Works Department for approval. The plan shall be in the form of a recorded document mutually agreed to between the property owner and the Town and shall describe features such as, but not limited to, location of snow storage areas, the method of snow hauling, frequency of pickups, pick-up areas, haul routes, hours of hauling operations, and snow deposit areas. Pursuant to the North Village Specific Plan, the plan shall include provisions stating that snow and ice shall be removed daily and pedestrian areas shall be maintained in a safe condition. The plan shall also include methods to address potential cornice and ice falling onto pedestrian and vehicular areas and methods to address hazardous snow and ice build-up on pedestrian pathways and sidewalks. Approved methods to address hazardous snow and ice build-up include plowing, application of cindering, and potential of heat-traced pavement. This plan and provisions for maintenance of private driveways and drainage facilities shall be included in the CC&Rs.
- 116. Applicant shall construct public improvements consisting of sidewalk, curb, gutter, pedestrian ramps, retaining walls, storm drain and lighting in conformance with Town Standards and acceptable to the Public Works Director. The public improvement plans shall be prepared by a registered civil engineer and submitted to the Town for review and approval. Prior to issuance of a building or grading permit for the approved project, or approval of the final map, whichever occurs first, a form of security listed in Government Code Section 66499(a) and acceptable to the Town shall be posted to secure construction of the public improvements. The improvements shall be completed prior to issuance of acceptance of the work. Prior to acceptance of the work, Applicant shall

post a warranty surety for the required public improvements good for a period of one (1) year after the acceptance of the work by the Town.

- 117. Prior to issuance of grading permit, Applicant shall coordinate with the Public Works Department on the final design and the appropriate signage relating to the two vehicular entrances from Minaret Road to more clearly delineate the flow of traffic.
- 118. Prior to or concurrent with final map approval by Town staff, applicant shall execute a non-exclusive easement agreement with the Town, in a form and content acceptable to the Public Works Department, for the purposes of snow storage, for a minimum width of 10-feet beyond the edge of sidewalk along Minaret Road. Where determined necessary by the Town Engineer, additional easement width shall be provided. The easement agreement shall include provisions holding the Town harmless from any liability related to private improvements located within the easement area.
- 119. Prior to final map approval by Town staff, applicant shall submit a petition to be annexed into the Town's Transit and Transportation Fee Community Facility District (CFD 2013-03), in consideration of: the Town's Vision Statement requiring a de-emphasis of the use of the automobile; occupancy and mode of travel expectations; and to mitigate the impacts of the project on air quality as required by CEQA. Annexation process shall be completed, and all fees associated with the annexation process paid by applicant, prior to final map approval by staff. CFD 2013-03 shall be referenced in the project CC&Rs, as well as in any disclosure documents required by the California Department of Real Estate for the project.
- 120. Prior to final map approval by Town staff, applicant shall submit a petition to be annexed into the Town's Maintenance Community Facilities District (CFD 2023-1) for the operation, maintenance and repair, and snow removal, of the public improvements along the property frontages, including but not limited to sidewalk, heat trace, landscaping and irrigation, storm drain, and street lighting, or propose an alternative method of funding such operation, maintenance and repair, and snow removal, of the public improvements that is mutually agreeable to both the applicant and the Town. The annexation process shall be completed, and all fees associated with annexation process paid by applicant, prior to final map approval by staff. CFD 2023-1 shall be referenced in the project CC&Rs, as well as in any disclosure documents required by the California Department of Real Estate, the Mello-Roos Community Facilities Act, or any other provision of law for the project.

MITIGATION MEASURES FROM THE 1999 SPEIR

The project shall comply with all applicable mitigation measures from the Subsequent Program Environmental Impact Report for the 1999 North Village Specific Plan Amendment (1999 SPEIR) including:

AESTHETICS/LIGHT AND GLARE

5.3-1a: To the maximum extent practical, the proposed project shall retain forested areas, and the development shall remain subordinate to the natural character of the site and surrounding landscape.

- 5.3-1b: Prior to final approval of project development plans, the applicant shall submit a tree preservation and replacement plan pursuant to the Municipal Code, Zoning, requirements related to grading and clearing. The Preservation and Replacement Plan, including the type, size, number, and location of replacement trees shall be subject to the approval of the Town of Mammoth Lakes Community Development Director.
- 5.3-1c: Contour grading shall be used to blend manufactured slopes into the natural terrain. Grading shall be minimized to preserve existing landform and vegetation to the greatest extent possible.
- 5.3-1d: The landscape design for the site shall maximize the use of existing vegetation, and where new plants are introduced, they shall include, and/or blend with, plants native to the Mammoth Lakes environment. Landscape plans for the site shall be completed by a certified landscape architect.
- 5.3-1e: To the maximum extent practical, native trees and landscaping shall be concentrated around all structures located on the project site.
- 5.3-1f: Grading techniques shall be used which minimize the area of disturbance and shall incorporate such methods as decorative retaining walls rather than slopes to minimize the area of disturbance.
- 5.3-1j: Staging locations shall be indicated on project Building Permit and Grading Plans and shall be subject to review by the Town of Mammoth Lakes Community Development Director in accordance with Municipal Code requirements.
- 5.3-1k: Upon submittal of Final Development Plans to the Town for the individual development sites, the applicant shall demonstrate that long-range views of the Sherwin Range are incorporated into the project design.
- 5.3-1m: The buffer for properties adjacent to the specific plan boundaries shall be defined as a building setback area of not less than 20 feet. Trees shall be maintained within the buffer area, except for required vehicular and pedestrian access.
- 5.3-2b The architectural style for the development shall blend with the site's natural setting. Rooflines shall reflect (step down) the slope of the site, and natural "earth tone" colors and materials such as stone and wood shall be emphasized. Conformance shall be assured through the Town's design review procedures.
- 5.3-3a: The Design Guidelines shall require that all exterior lighting be designed and located so as to avoid intrusive effects on adjacent residential properties and undeveloped areas adjacent to the project site. Low-intensity street lighting and low-intensity exterior lighting shall be used throughout the development to the degree feasible. Lighting fixtures shall use shielding, if necessary, to prevent spill lighting on adjacent off-site uses.
- 5.3-3b: Lighting used for various components of the development plan be reviewed under North Village Specific Plan design guidelines which shall include review of light intensity levels, fixture height, fixture location, and design.
- 5.3-3c: The project shall use minimally reflective glass and all other materials used on exterior buildings and structures shall be selected with attention to minimizing reflective glare.

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5.3-3d: Vegetative buffers shall be used to reduce light intrusion on residential development and on forested areas located adjacent to the project site.

TRAFFIC

- 5.4-2i: The Millers Siding/Lake Mary Road intersection shall be improved by the installation of a traffic signal, provision of dual southbound left turn lanes, and the provision on the westbound approach for one through lane and one dedicated right turn, or other measure designed to achieve an acceptable LOS (LOS D or better) at the Millers Siding/Lake Mary Road intersection.
- 5.4-5 The developer shall prepare and provide to the Town Engineer for review and approval, a Traffic Control Officer Monitoring Plan. The Plan shall outline at a minimum, scheduled days of monitoring together with a program to determine additional days of monitoring as may be determined by projected occupancy rates, performance criteria, duration of monitoring, and responsible parties.
- 5.4-6 New development shall participate on a fair share basis in the development and operation of a community-wide winter transit system to achieve the ridership levels assumed in the MTM.

AIR QUALITY

- 5.5-1a: In order to reduce fugitive dust emissions, each development project shall obtain permits, as needed, from the Town and the State Air Pollution Control District (APCD) and shall implement measures during grading and/or construction of the individual development sites to ensure compliance with permit conditions and applicable Town and APCD requirements.
 - a. The individual development projects shall comply with State, APCD and Town dust control regulations, so as to prevent the soil from being eroded by wind, creating dust, or blowing onto a public road or roads or other public or private property.
 - b. Adequate watering techniques shall be employed on a daily basis to partially mitigate the impact of construction-generated dust particulates.
 - c. Clean-up on construction-related dirt on approach routes to individual development sites/improvements shall be ensured by the application of water and/or chemical dust retardants that solidify loose soils. These measures shall be implemented for construction vehicle access, as directed by the Town Engineer. Measures shall also include covering, watering or otherwise stabilizing all inactive soil piles (left more than 10 days) and inactive graded areas (left more than 10 days).
 - d. Any vegetative ground cover to be utilized on the individual development sites/improvements shall be planted as soon as possible to reduce the amount of open space subject to wind erosion. Irrigation shall be installed as soon as possible to maintain the ground cover.
 - e. All trucks hauling dirt, soil or other loose dirt material shall be covered.
- 5.5-1b: To reduce the potential of spot violations of the CO standards and odors from construction equipment exhaust, unnecessary idling of construction equipment shall be avoided.
- 5.5-2a: In order to reduce emissions associated with both mobile and stationary sources (i.e., wood burning stoves and fireplaces), all individual development

projects shall adhere to the regulations contained in the *Air Quality Management Plan for the Town of Mammoth Lakes* and Chapter 8.30, *Particulate Emission Regulations*, of the Town's Municipal Code. The commercial use tenants throughout the Specific Plan area shall, at a minimum, include the following, as appropriate:

- Bicycle racks, lockers or secure storage areas for bicycles;
- Transit access, including bus turnouts;
- Site access design shall avoid queuing in driveways; and
- Mulch, groundcover and native vegetation to reduce dust
- 5.5-2b: Each project shall contribute on a fair share basis to the Town's street sweeping operations in order to reduce emissions and achieve the required Federal standard.
- 5.5-2c: New development within the Specific Plan area shall not be permitted to utilize wood burning appliances unless the Federal standard is documented to not be exceeded.

NOISE

- 5.6-1a: Pursuant to Chapter 8.16.090 of the Town's Noise Ordinance, construction activities shall be limited to the hours of 7:00 a.m. to 8:00 p.m. Monday through Saturday and prohibited on Sunday or holidays, or as otherwise permitted by Chapter 8.16.090.
- 5.6-1b: Construction equipment shall be muffled or controlled if required, to meet Chapter 8.16 requirements for maximum noise generated by construction equipment. Contracts shall specify that engine-driven equipment be fitted with appropriate noise mufflers.
- 5.6-1c: The construction contractor shall provide temporary sound barriers around pile driving and well drilling sites to the satisfaction of the Town Engineer, if required to meet Chapter 8.16 requirements.
- 5.6-2a: The proposed project shall be located or architecturally designed to reduce the project noise impacts upon properties adjacent to each master planned area or project property line, such that the exterior noise levels will not exceed Town Noise Ordinance requirements for an urban and multiple family setting. Design features could include setbacks, berms, landscaping, and architectural features, adjacent to both arterial and interior streets.
- 5.6-2b: Multi-family buildings shall be located or architecturally designed so the interior noise level will not exceed 45 Ldn. As a minimum, multi-family housing shall comply with Title 24 of the California Code of Regulations.
- 5.6-3a: Prior to Final Development Plan approval for individual development projects within the Specific Plan area, a subsequent noise analysis shall be prepared, to the satisfaction of the Town Engineer, which demonstrates the site placement of stationary noise sources would not exceed criteria established in Section 8.16 of the Town's Noise Ordinance Code at perimeter property lines of master planned areas or projects.
- 5.6-3b: Prior to Final Development Plan approval for individual development projects within the Specific Plan area, a subsequent noise analysis shall be prepared, to the satisfaction of the Town Engineer, which demonstrates the

site placement of PA systems entertainment venues or other stationary noise sources would not exceed criteria established within the State Noise Insulation Standards (California Code of Regulations, Title 24) for adjacent residences.

- 5.6-3c: Outdoor PA systems shall not be permitted to operate between the hours of 10:00 p.m. and 7:00 a.m. and shall not exceed the Town's Noise Ordinance standards at perimeter property lines of master planned areas or project property lines. Adherence with this measure is subject to periodic site inspections by the Town of Mammoth Lakes.
- 5.6-3d Directional speakers shall be shielded and/or oriented away from off-site residences to the satisfaction of the Town Building Inspector.

GEOLOGY AND SEISMICITY

- 5.7-1: Prior to issuance of grading or building permits, geotechnical studies shall be completed, and their recommendations shall be incorporated in the project design, as required by the Town's Safety Policy #26.
- 5.7-2a: Soils and foundation analyses shall be approved by Town staff prior to final project design approval, as required by the Town's Safety Element. All measures required by the Town shall be incorporated into final grading and building plans.
- 5.7-2b: The project operator shall provide grading plans and receive approval from the Town Engineer. Said plans shall also show that new slopes within the project area are designed pursuant to slope requirements set forth within the Specific Plan and the standards of the Town's Municipal Code.
- 5.7-2c: All work shall be overseen by a licensed Civil Engineer (CE), Certified Engineering Geologist (CEG), or similar appropriately qualified professional, who shall report to the Town Engineer in order to ensure the standards of the applicable codes are met.
- 5.7-4: A comprehensive Erosion and Sediment Transport Control Plan shall be prepared by the project operator and approved by the Town Engineer prior to the issuance of any grading or building permits. The Plan shall be included in the project design, as required by the Town's Safety Element. The Plan shall also meet the requirements of the Regional Water Quality Control Board and the Town Municipal Code.
- 5.7-6: The project applicant operator shall complete the geotechnical studies and incorporate their recommendations in the project design, as stipulated in the Town's Safety Policy #26. All structures shall be designed and built to at least the standards of UBC Seismic Zone 4.
- 5.7-7: The project operator shall cooperate with the Town in designing and disseminating information to assist citizens and visitors in responding to emergency situations that are likely to arise. All structures shall be designed and built to at least the standards of the current Building Code Seismic Zone 4.

HYDROLOGY AND DRAINAGE

5.8-1: All drainage collection, retention, and infiltration facilities on the site shall be constructed and maintained in accordance with the *Mammoth Lakes Storm Drain Master Plan (SDMP)* and shall be designed in accordance with

the *Master Plan Design Manual*, to the satisfaction of the Town of Mammoth Lakes Town Engineer, prior to the issuance of grading permits.

- 5.8-1b: A more complete hydrology analysis for design purposes shall be required to be completed to estimate the amounts of runoff which will be required to be retained on-site for each development. The analysis shall be approved prior to issuance of a grading permit.
- 5.8-1c: The following water conservation procedures shall be incorporated into project elements where feasible:
 - Landscape with low water-using plants;
 - Install efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach the plant roots, such as drip irrigation, soil moisture sensors, and automatic irrigation systems; and
 - Use pervious paving material whenever feasible.
- 5.8-2a: An Erosion and Sediment Control Plan shall be prepared by the project proponents prior to issuance of grading permits. The Plan shall be reviewed and approved by the Town of Mammoth Lakes and the Lahontan Regional Water Quality Control Board and be in accordance with the erosion control guidelines as contained in the *Mammoth Lakes SDMP* and be in compliance with the Water Quality Control Plan (for the Lahontan Region [Basin Plan]). General grading activities, including those related to demolition and construction, would be regulated by the current Building Code and Town of Mammoth Lakes Grading Ordinance. The required Erosion and Sediment Control Plan shall outline methods that will be implemented to control erosion and sediment transport from graded or cleared portions of the individual redevelopment/ improvement sites.
- 5.8-2b: Prior to issuance of grading permits for individual development projects of five acres or greater in size, the project applicant/ owner shall file for a National Pollutant Discharge Elimination System (NPDES) permit with the Lahontan Regional Water Quality Control Board and abide by the conditions of the permit as issued. A copy of the Notice of Intent, Storm Water Pollution Prevention Plan, and Monitoring Plan shall be submitted to the Town of Mammoth Lakes Engineering Department prior to commencing grading operations.
- 5.8-2c: For individual development projects involving construction of six or more dwelling units or commercial developments that involve soil disturbance on 3 acre or more, a Waste Discharge Report (related to soil disturbance) shall be prepared by the individual project applicant(s) and submitted to the Lahontan Regional Water Quality Control Board not less than 90 days before the intended start of construction activities of a new development to obtain a Waste Discharge Permit to be issued or waiver to ensure that proper control measures for the protection of water quality are taken and adhered to during all phases of the development project. A copy of the Waste Discharge Report shall be submitted to the Town of Mammoth Lakes engineering division prior to issuance of a grading permit for the project.
- 5.8-2d: The Report of Waste Discharge shall contain a description of, and time schedule for implementation, for both the interim erosion control measures to be applied during project construction, and short- and long-term erosion

control measures to be employed after the construction phase of the project. The descriptions shall include appropriate engineering drawings, criteria, and design calculations. The report guidelines are as follows:

- Drainage collection, retention, and infiltration facilities shall be constructed and maintained to prevent transport of the runoff from a 20-year, 1-hour design storm from the project site. A 20-year, 1-hour design storm for the Mammoth Lakes area is equal to 1.0 inch (2.5 cm) of rainfall in 1 hour.
- Surplus or waste materials shall not be placed in drainage ways or within the 100-year flood plain of surface waters.
- All loose piles of soil, silt, clay, sand, debris, or earthen materials shall be protected in a reasonable manner to prevent any discharge to waters of the State.
- Dewatering shall be done in a manner so as to prevent the discharge of earthen materials from the site.
- All disturbed areas shall be stabilized by appropriate soil stabilization measures by October 15 of each year.
- All work performed between October 15th and May 1st of each year shall be conducted in such a manner that the project can be winterized within 48 hours.
- Where possible, existing drainage patterns shall not be significantly modified.
- After completion of a construction project, all surplus or waste earthen material shall be removed from the site and deposited at a legal point of disposal.
- Drainage swales disturbed by construction activities shall be stabilized by the addition of crushed rock or riprap, as necessary, or other appropriate stabilization methods.
- All non-construction areas shall be protected by fencing or other means to prevent unnecessary disturbances.
- During construction, temporary erosion control facilities (e.g., impermeable dikes, filter fences, hay bales, etc.) shall be used as necessary to prevent discharge of earthen materials from the site during periods of precipitation or runoff.
- Revegetated areas shall be regularly and continually maintained in order to assure adequate growth and root development. Physical erosion control facilities shall be placed on a routine maintenance and inspection program to provide continued erosion control integrity.
- Where construction activities involve the crossing and/or alteration of a stream channel, such activities shall be timed to occur during the period in which streamflow is expected to be lowest for the year.
- 5.8-3: Best Management Practices (BMPs) shall be implemented as part of future individual development sites to the satisfaction of the Lahontan Regional

Water Quality Control Board and NPDES Program requirements in order to protect the receiving waters from degradation and correct existing problems. BMPs include structural controls such as retention/detention basins, oilwater separators, which could be implemented in the overall design of the proposed drainage facilities for individual development sites.

BIOLOGICAL RESOURCES

- 5.9-2a: The project shall preserve existing native vegetation to the maximum extent feasible. Landscaping shall emphasize the use of native plants indigenous to the Jeffrey Pine-Fir Forest plant community. Whenever possible, native plants used on-site shall be selected for their replacement habitat value. Site designs shall be subject to the Design Review procedure of the Town.
- 5.9-2b: Landscape materials shall be used that allow for the protection and preservation of existing trees. Native plant species, preferably from seed or cuttings from local plants, shall be used where possible. The Landscape Plan shall be approved by the Planning Director prior to issuance of any construction permits.
- 5.9-2c: Irrigation, fertilization and other landscape management practices shall be designed to minimize effects on existing trees and other vegetation.
- 5.9-2d: To the extent possible, native vegetation shall be retained and protected during construction. A Revegetation Plan, prepared by a qualified Landscape Architect and approved by the Town of Mammoth Lakes, shall be completed prior to the commencement of the project, which will describe in detail the species of trees and shrubs that will be used, where they will be planted and in what numbers, and the methods of planting and maintenance, which will ensure successful growth. It shall include a monitoring program to follow the progress of new plantings and ensure replacement of unsuccessful plants. Landscaping with native species of trees and shrubs shall be undertaken to enhance wildlife use of cleared areas.
- 5.9-2e: Under AB3180, once mitigation plans designed to off-set habitat losses are approved and the specific areas where they will be located are identified, the proponent must provide a program to monitor their progress for a period of time (usually three to five years) deemed sufficient by the Planning Director to assure their successful development. Adequate security shall be deposited with the Town to ensure successful implementation of this measure.
- 5.9-2f: All construction activities, including movement and storage of vehicles and the storage of building and other materials, shall be confined to areas slated for development. Care shall be taken during construction to avoid damage to vegetation and habitats not directly involved in project construction. Any vegetation inadvertently damaged outside of the area slated for development shall be replaced on a one-to-one basis on- or off-site. Off-site replacement shall require the approval of the Town Planning Director.
- 5.9-2g: To prevent erosion and siltation into intermittent creeks, areas cleared of vegetation, fill or other materials shall be stabilized after clearing and grading. Hay bales, silt screens or similar devices shall be used to prevent siltation. To further protect the drainage system and prevent erosion, all grading and construction shall be completed during the summer months, or after October

15 of each year be in a condition to be stabilized within 48 hours should inclement weather threaten.

- A Forest Condition Survey shall be conducted by a professional forester and 5.9-2h: approved by the Town of Mammoth Lakes, prior to the commencement of each individual development project. All trees greater than 12-inches dbh (diameter at breast height (54 inches above ground)) and significant stands on each project site shall be mapped prior to issuance of grading permits or clearing. A registered forester or arborist shall then determine the age and condition of these trees and whether they should be retained or removed based upon health and visual significance of the trees, except for removal required by approved improvements. Once this determination is made, those trees shall be retained and integrated into the design of each project. A program of specific protection measures shall be prepared by the developer and approved by the Town prior to issuance of any construction permits (e.g., construction fencing, grading controls, grading design, etc.). Any trees removed unavoidable by each final project approval shall be in accordance with Town policies. Off-site replacement shall require approval by the Town's Planning Director.
- 5.9-2i: Slash generated from construction or thinning operations shall be hauled from the site concurrent with the operation to prevent a breeding site for IPS. Logs shall be removed from the site as soon as possible.
- 5.9-2j: Construction and site development, such as grading shall be prohibited within the dripline of retained trees. Equipment shall not be stored or driven under trees. Grading shall not cover the ground surface within the dripline of existing trees. Grading limits shall be clearly defined and protected.

PUBLIC SERVICES AND UTILITIES

- 5.10-1a: Each project shall contribute a fair share financial contribution for an emergency services facility (fire and police) to be located on the site of Fire Station No. 1 on Main Street.
- 5.10-1b: Access roads to all structures, and areas of use, shall comply with Mammoth Lakes Fire Protection District Ordinance 98-01.
- 5.10-1c: An approved water supply system capable of supplying required fire flow for fire protection purposes, as determined by the Fire District, shall be provided.
- 5.10-3: Developer Fees for commercial uses and foot for residential uses (condominiums).
- 5-10-4a: The project proponent shall contribute a fair share financial contribution in accordance with the Town's DIF Mitigation Program established under Resolution 98-06.
- 5.10-7: The project applicant shall pay the appropriate fees to the MCWD. All new wastewater conveyance facilities shall be located within public rights-of-way or utility easements.
- 5.10-8: The project applicant shall pay the appropriate fees to the MCWD. All new water conveyance facilities shall be installed within public rights-of-way or utility easements.
- 5.10-9: Prior to issuance of a building permit, the applicant shall provide an Integrated Solid Waste Management Plan (ISWMP) consistent with the Town's SRRE.

The plan shall address, at a minimum, the following measures: construction demolition; recycling; composting; source reduction programs; storage areas for collected recyclable materials, and disposal of hazardous waste materials used on-site.

CULTURAL RESOURCES

- 5.11-1e: In the event that a material or potential cultural significance is uncovered during grading activities on the project site, all grading in the area of the uncovered material shall cease and the project operator shall retain a professional archaeologist to evaluate the quality and significance of the material. Grading shall not continue in the area where a material of potential cultural significance is uncovered until resources have been completely removed by the archaeologist and recorded as appropriate.
- 5.11-2: If human remains are discovered, work shall cease, and an appropriate representative of Native American Indian Groups and the County Coroner shall both be informed and consulted.

Attachment B







Attachment C April 10, 2024 PEDC Staff Report Packet



Town of Mammoth Lakes Planning and Economic Development Commission

Minutes of Regular Meeting

April 9, 2025, 9:00 a.m. 437 Old Mammoth Road, Suite Z, Mammoth Lakes

Members Present:	Commissioner Cynthia Fleming, Vice Chair Dawn Vereuck, Chair Michael Vanderhurst
Members Absent:	Commissioner Greg Eckert, Commissioner Lana Grand

1. CALL TO ORDER

The Chair called the meeting to order at 9:01 a.m. in the Council Chamber, 437 Old Mammoth Road, Suite Z, Mammoth Lakes.

2. <u>PLEDGE OF ALLEGIANCE</u>

John Urdi led the flag salute.

3. PUBLIC COMMENTS

Public Works Director Haislip Hayes gave an update regarding the 2024 Multi-Jurisdictional Hazard Mitigation Plan.

4. WORKSHOP

4.1 <u>Workshop with the Planning & Economic Development Commission</u> and Mammoth Lakes Chamber of Commerce Board of Directors.

Mammoth Lakes Chamber of Commerce Board Members Todd Roberts, Wyatt Simmons, John Urdi, Sonja Bush, Vice Chair Tom Parker, Chair Elect Luan Mendel, and Chair Alisa Mokler Harper were in attendance. Treasurer Kerry Peterson and General Counsel Bob Brumfield participated by Zoom.

Community and Economic Development Director Nolan Bobroff gave an update regarding the HousingNow! Program. There was discussion among members of the Commission, the Board, and staff.

There was discussion among members of the Commission, the Board, and staff regarding the agenda topics.

PUBLIC COMMENT:

Brent Truax spoke about the need for guidance to businesses and plan updates.

Liz Grans, Mono County Economic Development Director, said that they were developing a new work plan including stakeholder outreach and that she wanted to collaborate.

The Chair called a recess at 10:10 a.m. and the Commission reconvened at 10:15 a.m.

5. BUSINESS MATTERS

5.1 <u>Consideration of Major Design Review 25-001 requesting approval of</u> <u>a 10,461 square foot multipurpose building for housing airport safety</u> <u>operations equipment including the Aircraft Rescue and Firefighting</u> (ARFF) equipment and snow removal equipment located within the <u>Terminal Area Development Project site of the Mammoth Yosemite</u> <u>Airport property. The modified multipurpose building design is</u> <u>consistent with the 2022 Addendum to the Mammoth Yosemite</u> <u>Airport Terminal Area Development Project certified EIR (State</u> <u>Clearinghouse No. 2019100384).</u>

Applicant/ Property Owner: Sierra Waugh, Deputy Airport Manager / Town of Mammoth Lakes

Senior Planner Kim Cooke gave a presentation outlining the information in the staff report. There was discussion among members of the Commission and staff.

Moved by Vice Chair Dawn Vereuck Seconded by Commissioner Cynthia Fleming Adopt the attached Planning and Economic Development Commission Resolution, making the required CEQA and Municipal Code findings, and approve Design Review (DR) 25-001 with conditions as recommended by staff.

For (3): Commissioner Cynthia Fleming, Vice Chair Dawn Vereuck, and Chair Michael Vanderhurst

Absent (2): Commissioner Greg Eckert, and Commissioner Lana Grand

Carried (3 to 0)

5.2 <u>Consideration of Major Design Review 24-008 and Administrative</u> Permit 25-001, for the Mammoth Hospital North Wing Replacement project located in the Public/Quasi-Public (P/QP) zoning district. The project consists of construction of a 60,788 square foot hospital building to replace the existing acute care medical services building in compliance with California's seismic retrofitting requirements. The project is exempt from further environmental review pursuant to State CEQA Guidelines §15302(a).

<u>Applicant/ Property Owner: Mark Lind, COO for Mammoth Hospital /</u> <u>Southern Mono Healthcare District</u>

Senior Planner Kim Cooke gave a presentation outlining the information in the staff report. There was discussion among members of the Commission, the applicant team, and staff.

Moved by Vice Chair Dawn Vereuck Seconded by Commissioner Cynthia Fleming

Adopt the attached Planning and Economic Development Commission Resolution (the Resolution), making the required CEQA and Municipal Code findings, and approving Design Review 24-008 and Administrative Permit 25-001 with conditions as recommended by staff.

For (3): Commissioner Cynthia Fleming, Vice Chair Dawn Vereuck, and Chair Michael Vanderhurst

Absent (2): Commissioner Greg Eckert, and Commissioner Lana Grand

Carried (3 to 0)

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6. <u>CONSENT AGENDA</u>

Moved by Vice Chair Dawn Vereuck Seconded by Commissioner Cynthia Fleming

Approve the Consent Agenda.

For (3): Commissioner Cynthia Fleming, Vice Chair Dawn Vereuck, and Chair Michael Vanderhurst

Absent (2): Commissioner Greg Eckert, and Commissioner Lana Grand

Carried (3 to 0)

6.1 Approve the minutes of the regular meeting of March 18, 2025.

7. <u>COMMISSIONER REPORTS</u>

There were no reports given at this time.

8. DIRECTORS REPORT

Community and Economic Development Director Nolan Bobroff spoke about the interviews and appointment for Commissioner Eckert's vacancy. He reported that the Town Council unanimously voted to approve the Snowcreek DA and the second reading of the Clearwater Specific Plan amendment. He gave an update on construction in the community.

9. ADJOURNMENT

The Commission adjourned the meeting at 10:53 a.m.

Jamie Gray, Town Clerk