

# Attachment B

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

- All finished grades adjacent to structures shall be sloped away at a minimum slope of 2%. Slope to be generated from structure and sloping down (out) and away to diversion cobbles swale, ditches or approved retention basin.
- Any and all excavated soil shall be removed from Job Site or stored on Job Site must be stabilized with approved Hay wadde rolls or with Fiber rolls.
- Erosion and Sediment control measures as shown and noted on plans are meant to meet the intent of the California Regional Water Control Board-Lahontan Region, Resolution No. 6-94-026 requirements.
- Cut and Fill slopes shall not exceed a ratio of (2:1) two units horizontal to one unit vertical.

OUTDOOR WATER USE & LANDSCAPING

- New residential developments with aggregate landscape area equal to or greater than 500 sq. ft. shall comply with one of the following options:
- A local water efficient landscape ordinance of the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or
  - Projects with aggregate landscape area less than 2,500 sq. ft. may comply with MWELO's Appendix D Prescriptive Compliance Option.

WILDLAND URBAN INTERFACE REQUIREMENTS

- This project shall comply with the Wildland Urban Interface standards in the high hazard zone and must meet the required fire protection measures of California Residential Code Chapter R337.
- Construction to be completed following Fire & Life Safety review to guidelines in accordance with 2022 California Fire Code.
- An approved Spark arrester will be required for all Fireplaces, Barbeques, or other heaters in which solid or liquid fuels are used.
- Building address must be on a contrasting background, 4 inches in size, located in the vicinity of the Garage, and be readily visible and legible from the road serving the structure. Numbers shall contrast with background, be Arabic or Alphabetical letters a minimum of 4 inches tall with a minimum stroke of 1/2".
- Ignition-resistant material.** Ignition-resistant material shall be determined in accordance with the test procedures set forth in SFM Standard 125.3.6.c "Ignition-Resistant Material".
- Defensible Space: The existence or maintenance of any of the following conditions is prohibited:
  - Tree branches within 10 feet of a chimney outlet or stovepipe outlet;
  - Dead or dying tree branches adjacent to or overhanging a building;
  - Leaves, needles, or other dead vegetative growth on the roof of any structure;
  - Flammable vegetation or other combustible growth within 30 feet of an occupied dwelling or structure that prevents the creation of a firebreak;
  - Brush, flammable vegetation, or combustible vegetation located between 30 and 100 feet of an occupied dwelling or structure that prevents the creation of a Reduced Fuel Zone;
  - Brush or other flammable material within 10 feet of a propane tank.

COVERAGE ANALYSIS

TOTAL LOT AREA	100%	7,535 SQ.FT.
ALLOWABLE COVERED AREA	40%	3,014 SQ.FT.
PROPOSED HOUSE / UPPER AREA		1,094 SQ.FT.
PROPOSED GARAGE, FOYER / STAIRS AREA		972 SQ.FT.
PROPOSED PAVED DRIVE AREA (INSIDE THE 100.)		220 SQ.FT.
PROPOSED ENTRY PORCH AREA		53 SQ.FT.
ACTUAL COVERED TOTAL AREA	35.0%	2,649 SQ.FT.
SNOW STORAGE (530 x 75)		524.5 SQ.FT.

PROPOSED GARAGE FOYER/ STAIRS

GARAGE/SHOP AREA	=	744 SQ.FT.
STAIR #1/ENTRY AREA	=	296 SQ.FT.

PROPOSED MID FLOOR/ STAIRS

STAIR/MECH. AREA	=	263 SQ.FT.
CONDITIONED		

PROPOSED GROUND FLOOR/ STAIRS

CONDITIONED AREA	=	906 SQ.FT.
COVERED DECK/PORCH	=	239 SQ.FT.

PROPOSED UPPER FLOOR AREA

CONDITIONED AREA	=	946 SQ.FT.
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LEGAL DESCRIPTION

ASSESSOR PARCEL NUMBER: 031-063-008-000  
LOT- 8, TIMBER RIDGE ESTATES 1  
307 JOHN MUIR RD.  
MAMMOTH LAKES, CA. 93546

SCOPE OF WORK

- NEW CONSTRUCTION OF A 1,852 SQ. FT. CONDITIONED AREA, ASSOCIATED STAIRWAY AND MECHANICAL ROOM TYPICAL FOR A SINGLE FAMILY HOME, W/ 841 SQ.FT. ATTACHED GARAGE AND ENCLOSED STAIRWAY. ALSO DECK AND PORCH AREA AT GROUND AND SECOND FLOOR PLANS.

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OWNERS

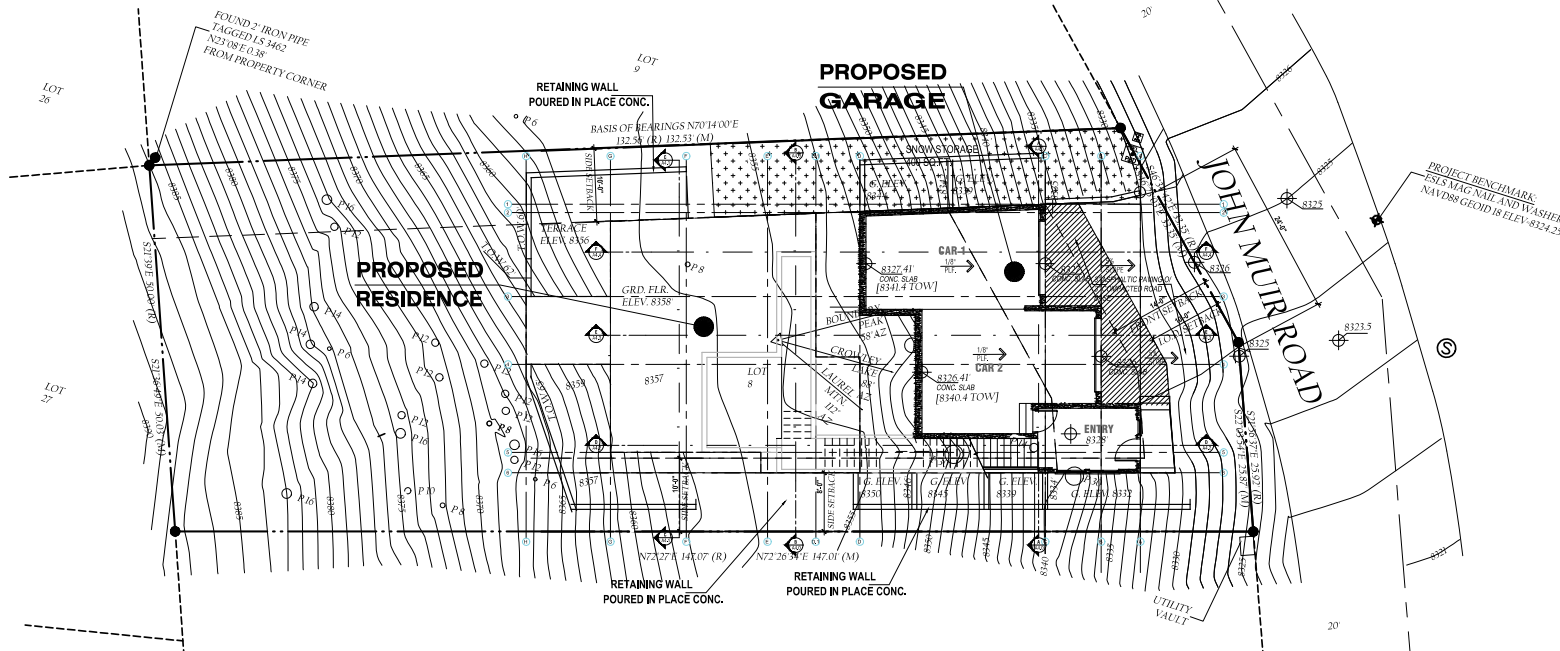
KAREN & MIKE GUTT  
6723 MURRAY AVE. SOUTH-WEST  
SEATTLE, WA. 98136  
PH. 206.605.9759

DESIGNER

DESIGN DIMENSION ASSOC., INC.  
CRAIG TATLEY/ PRINCIPAL, AIA, ASSOC.  
PO BOX 7193  
MAMMOTH LAKES, CA. 93546  
PH. 760.934.4348

CIVIL SURVEY

EASTERN SIERRA LAND SURVEYS  
GUY BEN  
19 SHANA CIRCLE  
CROWLEY LAKE, CA. 93546  
CL 760.914.2580



PROPOSED SITE PLAN (ROOF PLAN)

SCALE 1/8" = 1'-0"



GUTT FAMILY RESIDENCE

CLIENT NAME: KAREN & MIKE GUTT  
PH. 206.605.9759  
6723 MURRAY AVE. SOUTH-WEST  
SEATTLE, WA. 98136  
CONTACT ADDRESS:  
307 JOHN MUIR RD.  
MAMMOTH LAKES, CA. 93546

REVISIONS

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A1

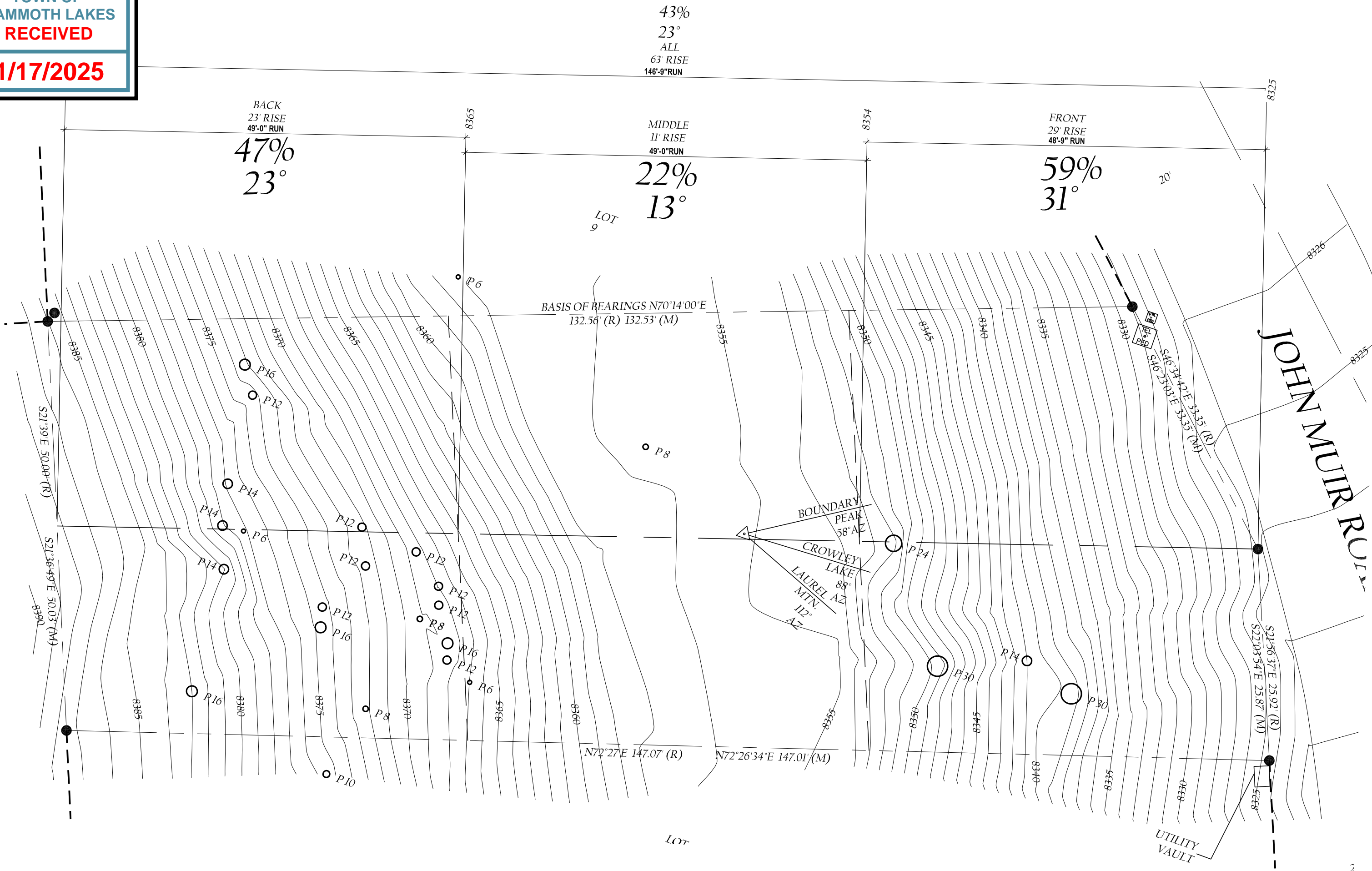


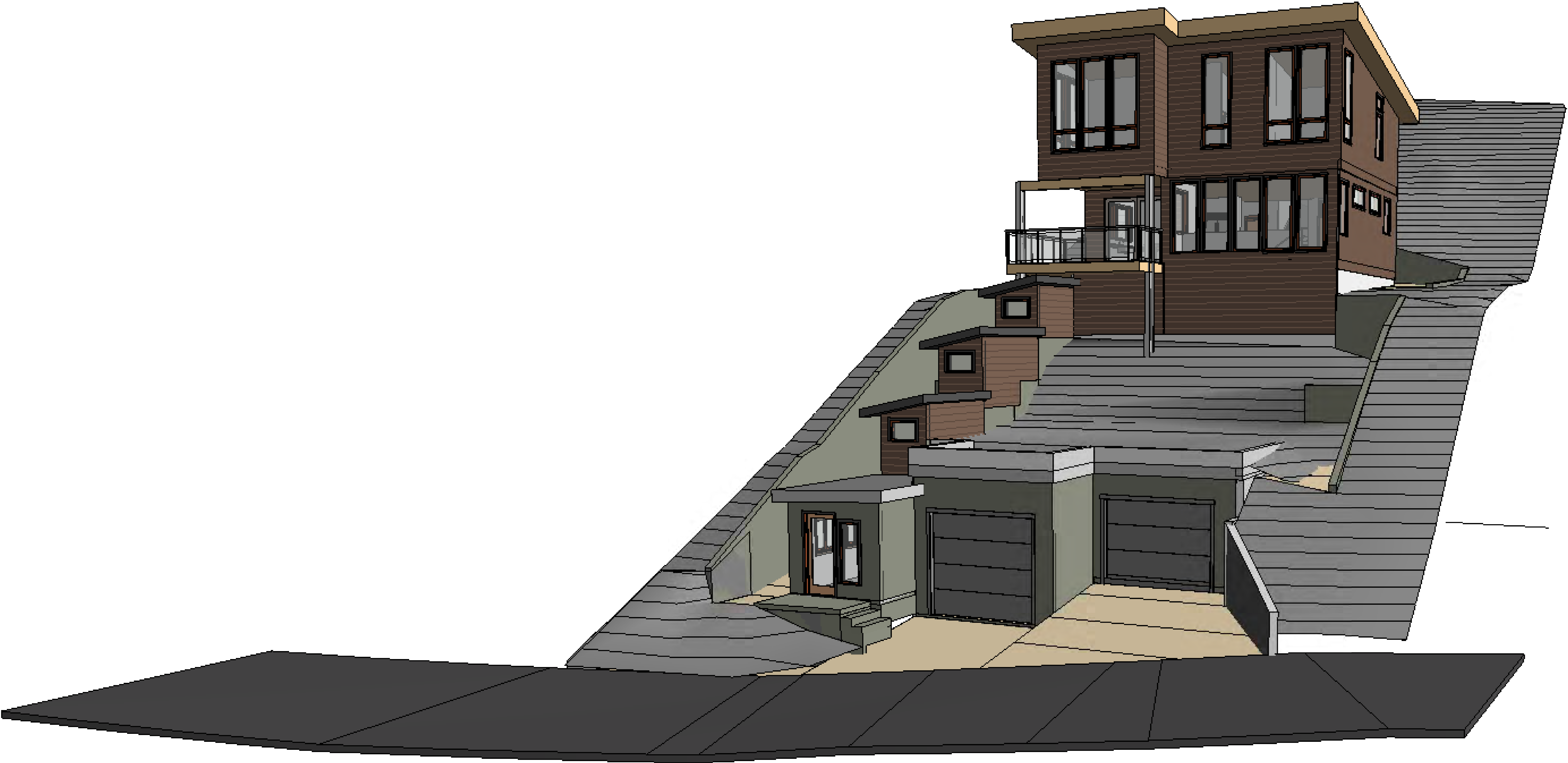
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PROPOSED SITE PLAN / ROOF PLAN



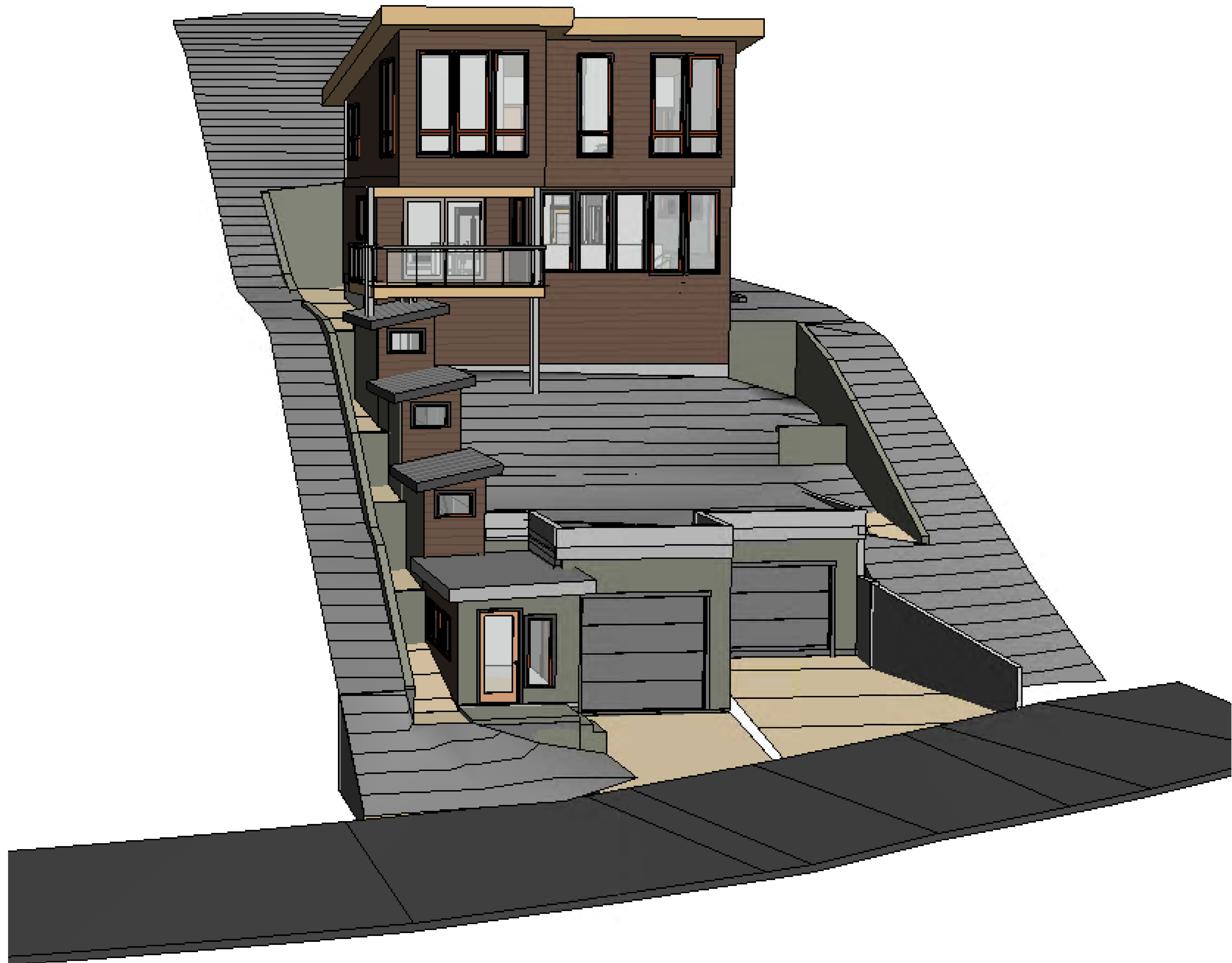
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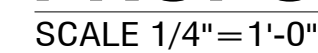






PROJECT ADDRESS:  
APN: 031-053-008-000

A5.A







# PROPOSED SOUTH GRADE PROFILE

# GUTT FAMILY RESIDENCE

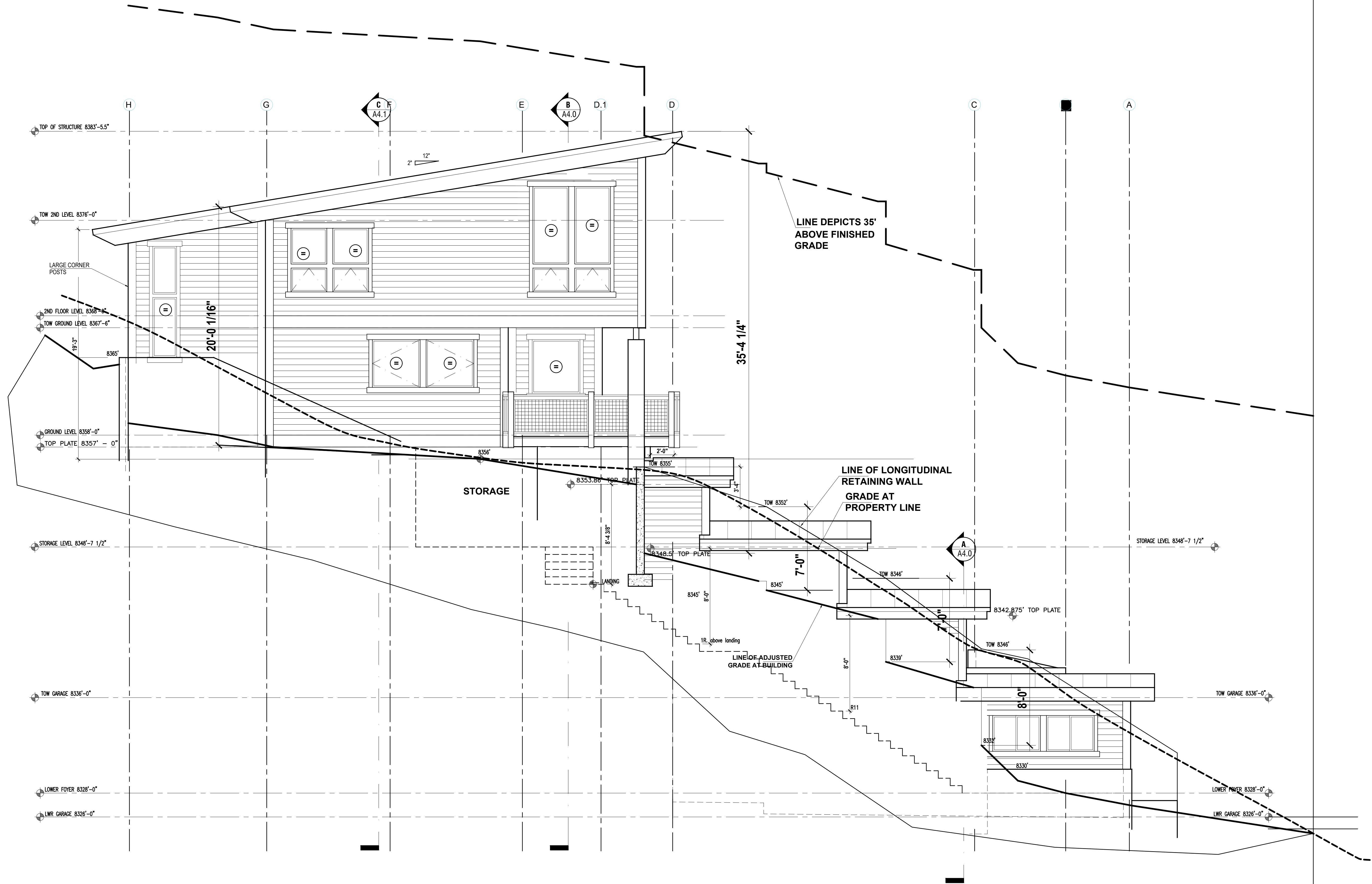
CONTACT ADDRESS:  
6723 MURRAY AVE. SOUTHWEST  
SEATTLE, WA. 98136  
PH: 206.605.9792

CLIENT NAME: KAREN & MIKE GUTT

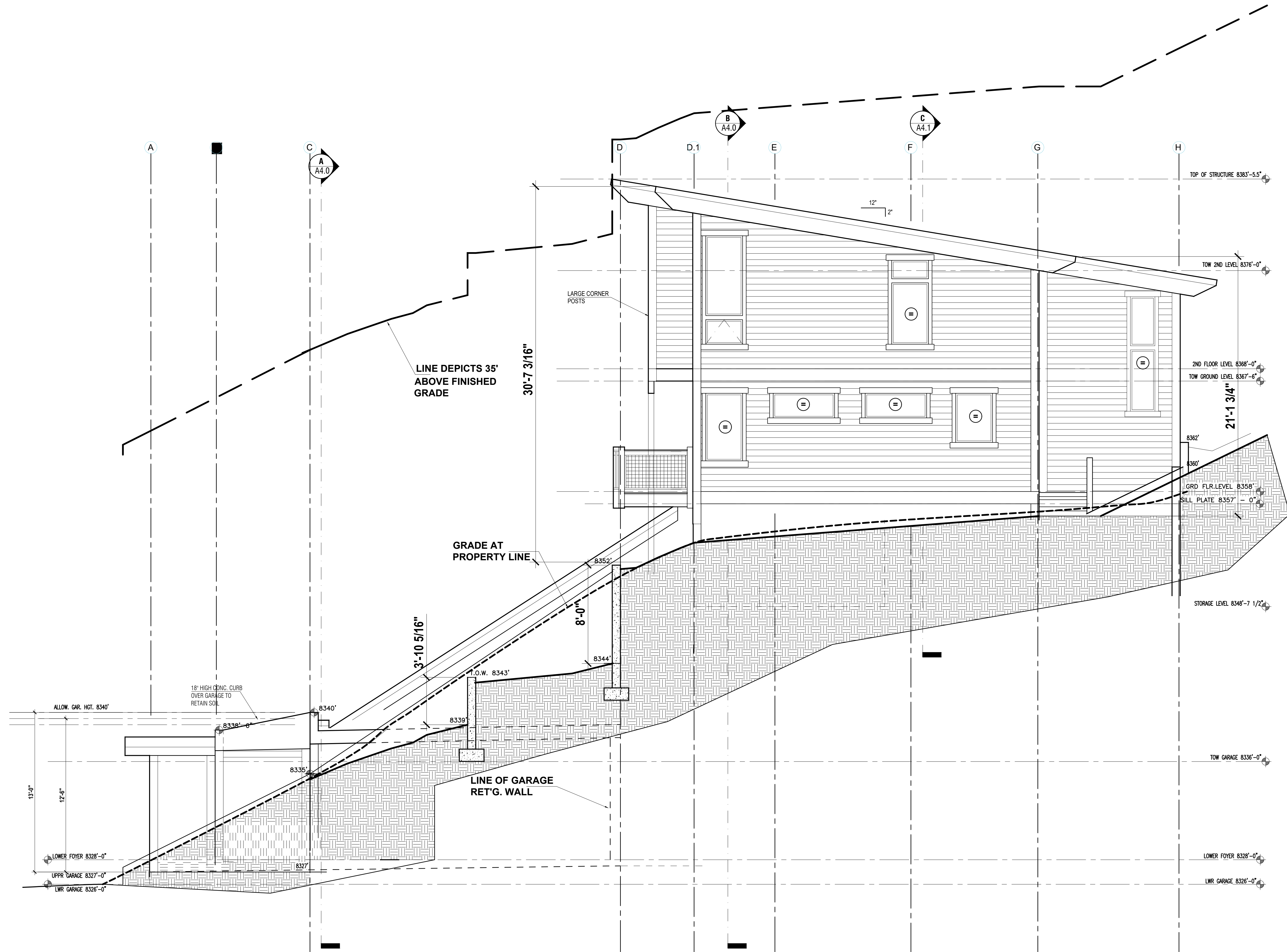
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307 JOHN MUJRRD.  
MAMMOTH LAKES, CA 93546  
APN: 031-053-008-000

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A5.B



**PROPOSED SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**PROPOSED NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

**PROPOSED  
NORTH  
RETAINING WALLS**

**GUTT FAMILY RESIDENCE**

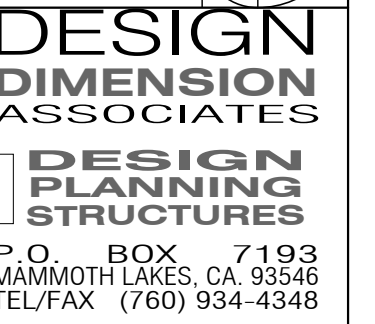
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CONTACT ADDRESS:  
PROJECT ADDRESS:  
APN: 031-053-008-000  
PH: 206 605 9759  
6723 MURRAY AVE. SOUTHWEST  
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307 JOHN MURPHY  
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**REVISIONS**

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A5.C





# PROPOSED NORTH GRADE PROFILE

**GUTT FAMILY RESIDENCE**

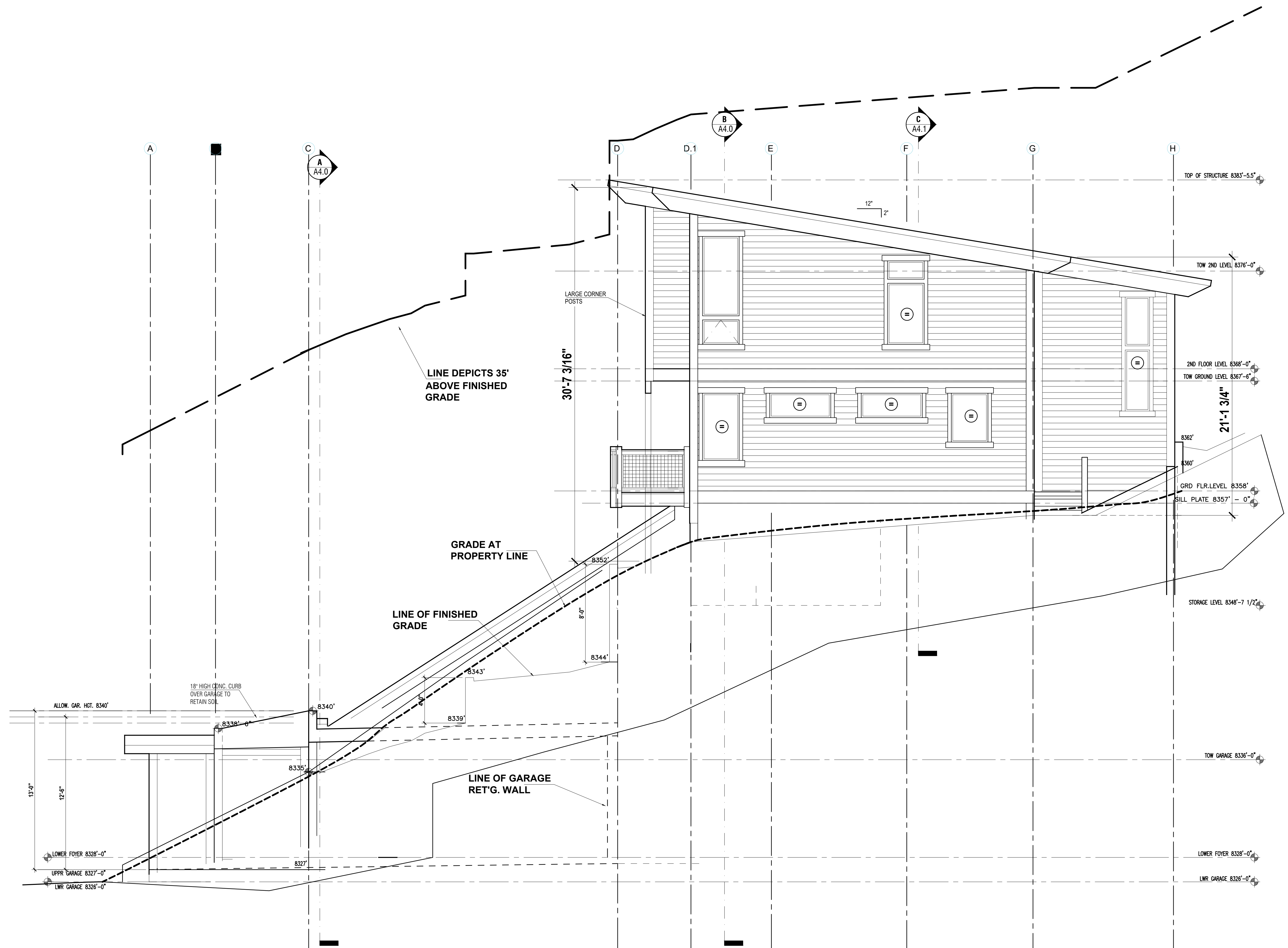
CLIENT NAME: KAREN & MIKE GU/I  
CONTACT ADDRESS:  
6723 MURRAY AVE. SOUTHWEST  
SEATTLE, WA. 98136  
PR: 206.005.9747

PROJECT ADDRESS:  
MAMMOTH LAKES, CA 93546  
APN: 031-053-008-000

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## A5.D



## PROPOSED NORTH ELEVATION

SCALE 1/4"=1'-0"

PROPOSED GARAGE  
GROUND FLOOR PLAN

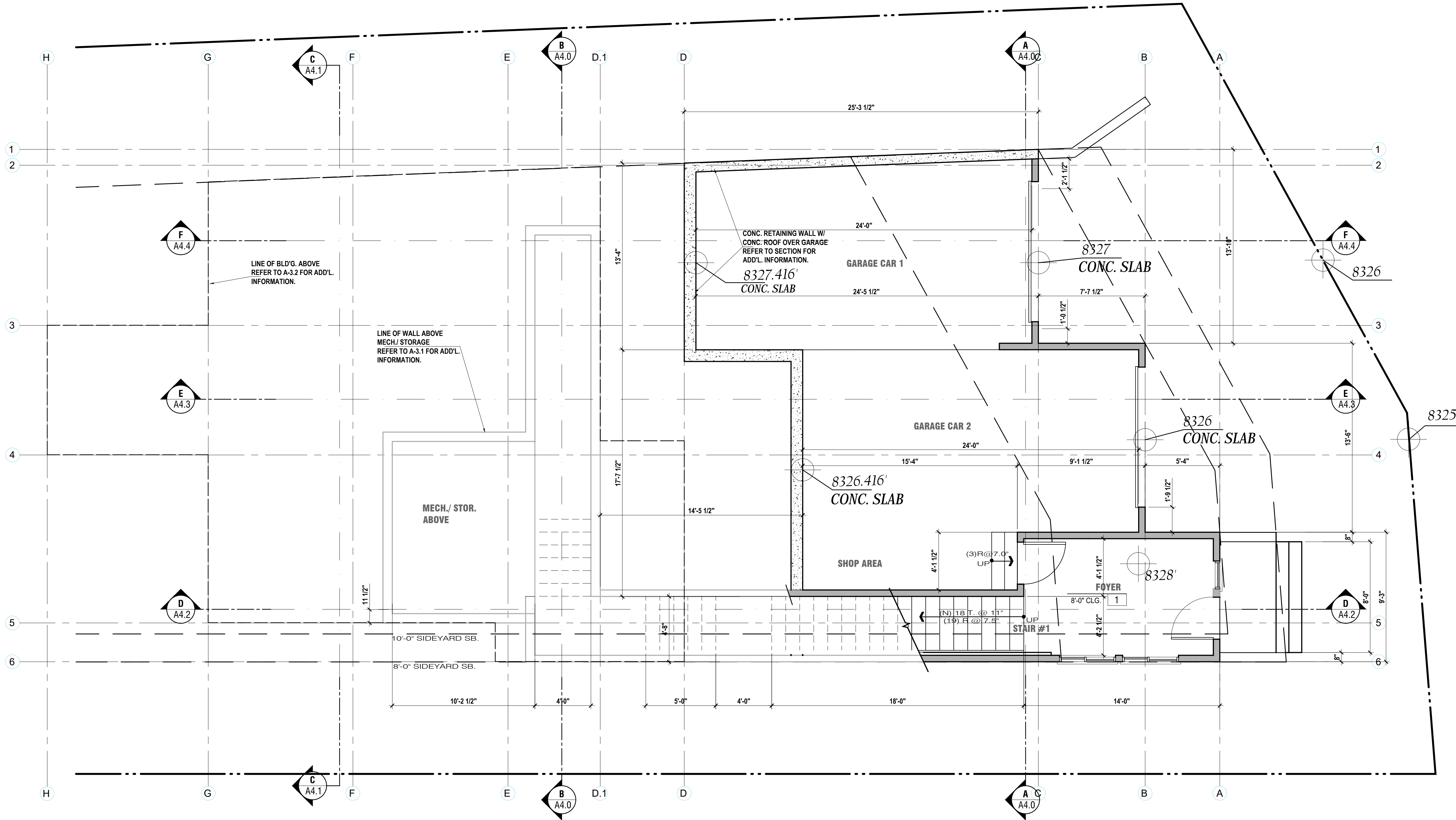
GUTT FAMILY RESIDENCE

CLIENT NAME: KAREN & MIKE GUTT  
CONTACT ADDRESS:  
PROJECT ADDRESS:  
APN: 031-053-008-000  
PH: 206 605 9759  
6723 MURRAY AVE, SOUTHWEST  
SEATTLE, WA 98136  
307 JOHN MURPHY  
MAMMOTH LAKES, CA 93546

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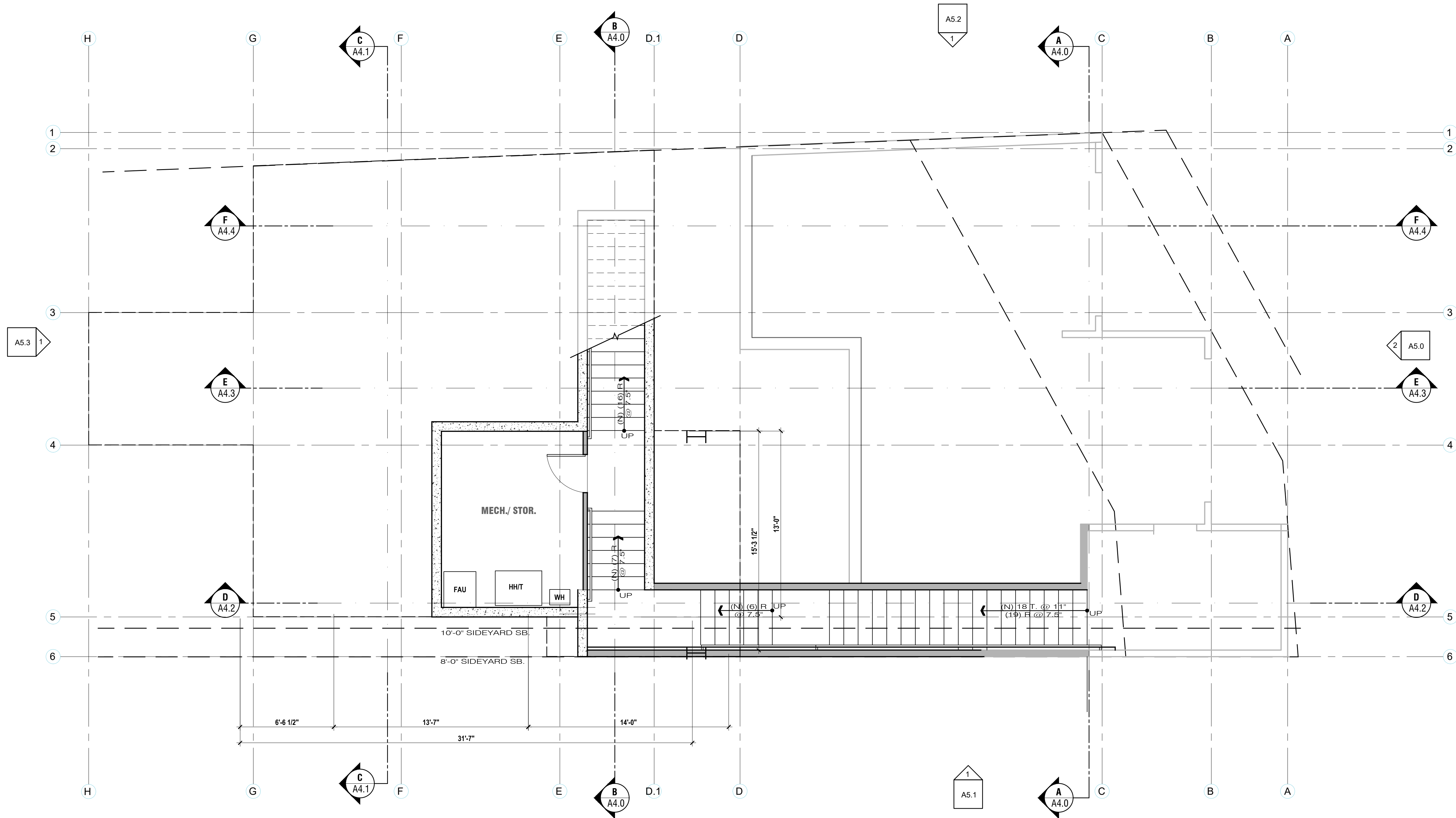


PROPOSED GARAGE FLOOR PLAN

SCALE 1/4" = 1'-0"

Area Calcs

GARAGE/SHOP AREA = 744 SQ.FT.  
STAIR #1/ENTRY AREA = 296 SQ.FT.  
SEMI-CONDITIONED



**PROPOSED MID FLOOR PLAN**  
SCALE 1/4" = 1'-0"  
**Area Calcs**  
STAIR #1/MECH. AREA = 263 SQ.FT.  
SEMI- CONDITIONED

**PROPOSED STAIR #1  
MIDDLE FLOOR PLAN**

**GUTT FAMILY RESIDENCE**  
CLIENT NAME: KAREN & MIKE GUTT  
CONTACT ADDRESS: 6723 MURRAY AVE, SOUTHWEST  
SEATTLE, WA 98136  
PROJECT ADDRESS: 307 JOHN MURPHY  
APN: 031-053-008-000  
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MAMMOTH LAKES, CA 93546

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Submittal documents for deferred submittal items such as **ROOF TRUSSES or STRUCTURAL STEEL and SPECIAL INSPECTIONS** shall be submitted to, or by the architect or engineer of record. Who shall review them and forward them, to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with design of the building. The deferred submittal items shall not be installed until their design, and submittal documents have been approved by the building official.

A.) Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.

- B.) Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

All egress windows may exceed the following dimensions: Clear operable area of 5.7 sq. ft. Clear width of 20" min. and Clear Height of 24" min. Not to exceed 44" above finished floor CRC, R-310.

A.) Shall have a MINIMUM height of 42"

B.) Openings between railings shall be less than 4". The triangular openings formed by the riser, tread, and bottom element of a guardrail at a stair shall be less than 4".

A.) Handrails are required on each side of stairways. Stairways less than 44" wide at stairways serving one dwelling unit may have one handrail (if not open on both sides).

C.) Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.

D.) The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from walls shall have at least 1-1/2" between the wall and the handrail.

Ends of the handrails shall be returned or shall have rounded terminations or bends.

**Attic ventilation** openings shall be covered with corrosion-resistant metal mesh with mesh openings of 1/4" in dimension. Section 1505.3. Provide not less than 1 square foot vented area for every 150 square feet of attic area.

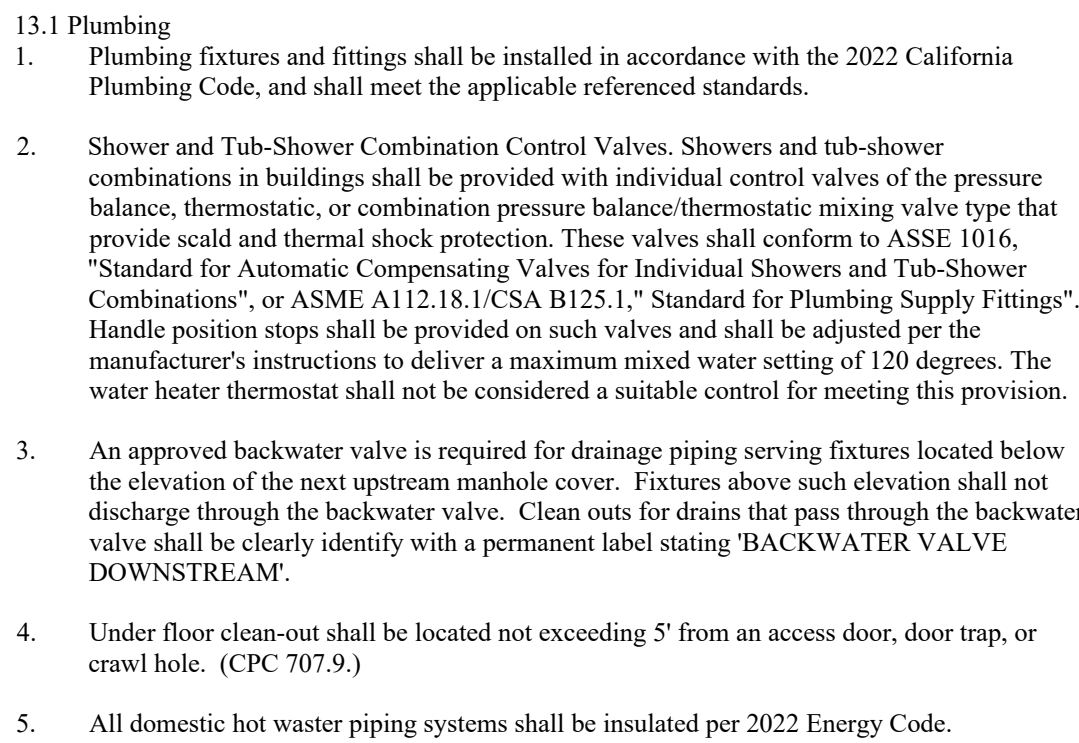
**Anchor Bolt Requirements**  
The nominal anchor bolt diameter shall be 5/8" (for Seismic Zone 4 only). Note: This will require a minimum distance from the ends of sill plates to be 4- 3/8" (and a maximum of 12").  
Plate washers (minimum size of 3" x 3" x .0299") shall be used on each anchor bolt. Where hold-downs require anchors for embedment, the hold down anchors must be secured in place prior to foundation inspection.

A.I.T.C. Certificate of Compliance for glued laminated wood members shall be given to the building inspector prior to installation. Section 2304.

In kitchens and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12" by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).

1. All work shall conform to the latest edition of 2022 California Building Code (CBC) and/or 2022 California Residential Code (CRC), 2022 California Plumbing Code (CPC), 2022 California Mechanical Code (CMC), 2022 California Electrical Code (CEC), 2022 California Energy Code (CEC), 2022 California Green Building Standards Code (CGBC) & 2022 California Fire Code (CFC).
2. Combination Smoke / Carbon Monoxide Detectors to be supplied/placed @ all bedrooms, corridors leading to bedrooms, above top of stairs and at least one at every level. They should be hardwired to a primary power source and be supported by battery lead wire to audible alarm system (CRC R313.1).
  - a. Smoke detectors to be hard wired to primary power source and must be equipped with battery back-up. Detectors to be wired together so as to sound alarm system that is audible in all areas of the dwelling.
  - b. Lpg detectors to be hard wired to primary power source and must be equipped with battery back up; as well as commonly wired to other detectors so as to sound alarm system that is audible in all areas of the dwelling.
3. Use 1-layer 5/8" type "X" Gyp. Bd. @ Garage walls & Ceiling. All joints to be taped and sealed, paint finish. Provide for occupation separation as installed per 2019 CBC requirements.
4. All interior walls to be 2x4, U.N.O.
5. All exterior walls to be 2x6, U.N.O.
6. All dimensions on plans override actual scale, contractor to contact Designer prior to any changes or deviations from plan.
7. Any new wood construction or framing required per plan shall meet or exceed any requirements of 2019 CBC.
8. Any doors that have glazing are required to be tempered glass.
9. Any windows or glazing with in 2'-0" from the end of door swing to be tempered.
10. All egress windows may exceed the following dimensions: Clear openable area of 5.7 sq.ft. Clear width of 20" min, and a Clear Height of 24" min. Not to exceed 44" above finished floor per CRC R310.2
11. All LPG appliances to be directly vented to roof or exterior termination addressing all requirements per Mfr. specifications.
12. Provide LPG Sensor/Alarm @ all appliances and lowest point of floor area, and provide @ subfloor, wire to audible alarm system.
13. Proposed Water Heater, NAVIEN Flash Boiler NPE-150 S2, 15K- 150K BTU/Hr, 96% eff. LPG Fired, conform to 2022 CBC requirements. Contractor to provide drain from appliance to exterior of building via PVC piping. Title water supply to be connected to House plumbing system. Refer to Note 24 calculations on sheet T-1.
14. Proposed House heating to be provided by YORK TG9S LATITUDE, LPG fired 80,000 btu/hr, 95.5% AFUE. Refer to CEC Title -24 report and Calculations provided on Sheet T-1.
15. House to be provided with Code required Panasonic FV-10 Heat Recovery Unit. Located in Laundry room Ceiling with Mfr. ducting from exterior make up air to unit, then from unit to exterior.
16. All windows at exterior to be Aluminum tempered, dual pane, thermally broken .30 U-factor max.
17. All new glazing shall be installed with labels which shall remain in place for inspection.
18. Provided all required LPG drains, venting per Mfr. @ Mechanical appliances, to allow protection for equipment at their specific locations and brought to exterior via Class b vent for exhaust or PVC for liquid.
19. Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas (CRC R702.4.2)
20. The residence shall have address numbers placed in a position that is plainly legible from the street or road fronting the property. Numbers shall contrast with background be Arabic or alphabetical letters and a minimum of 4" high with a minimum stroke of 1/2" (CRC R319.1).
21. Per practice through Design Dimension suggests Gas and Carbon Monoxide detectors need to be verified/installed throughout the residence per CRC R314.3, etc. Liquid Propane Gas sensors need to be located in the lowest point of the residence and lowest point of any under floor crawl space and connected to an audible alarm within the living area(s). Carbon monoxide detectors (or combo smoke/monoxide detectors) are needed within 20' of combustion appliances including, Natural gas, Propane, woodstoves, etc., in close proximity to the bedrooms. Carbon monoxide alarms to be "listed" as complying with UL 2034 and UL 2075. CRC R315.3
22. All exterior Glue Laminated Beams to be protected from elements with roof cover and treated with a minimum of Semi-Transparent oil based stain.
23. All exterior mounted vents for Bathroom fans, Kitchen hoods, clothes dryer, to be protected with a metal back draft damper that is fit into the wall mounted Gl, ICBO approved protected appropriate device. The vent termination should be water tight and painted to match exterior.
24. Where valley flashing is installed, the flashing shall not be less than .019-inch, 26 gauge galvanized steel or match color of drip edge metal corrosion-resistant metal installed over not less than one layer of minimum 72 pound mineral- surfaced non-perforated cap sheet complying with ASTM D 3909, at least 36" wide running the full length of the valley.
25. Site information provided by owner
26. All wood exposed to weather shall be of preservative-treated per CRC R317.1. Further, connectors for pressure treated or fire retardant treated wood to be drip-tipped zinc coated galvanized steel, stainless steel, silicon bronze or copper. Coating types shall be per manufacturer recommendations or as a minimum can be mechanically deposited zinc-coated galvanized steel. CRC R317.3
27. All adhesives, sealants, caulking, paints and coatings shall not exceed the limits specified in CGBC Section 4.504.2.1.
28. At the time of final inspection, an Operation and Maintenance manual shall be provided to the building occupant or owner describing (CGBCS Section 4.410)
29. At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all ducts and other air related distribution component methods shall be covered with tape, plastic, sheet metal or other methods acceptable to reduce the amount of dust or debris which may collect in the system.
30. All exterior windows and exterior doors to be dual glazed with "owner approved" color. Windows are to be of a Alum. thermally broken manufactured frame. All exterior doors to be dual pane tempered glass. Refer to plans to verify windows that are to be tempered.
31. Instantaneous water heaters or "Flash Boilers" with an input rating greater than 6.8 kBTU/hr shall have isolation valves on both the cold-water supply and the hot water pipe leaving the water heater, and hose bibbs or other fittings on each valve for flushing the water heater when the valves are closed. (110.3(c)(7) California Energy Code.



SCALE 1/4"=1'-0"

CONDITIONED AREA	=	906 SQ.FT.
COVERED DECK/PORCH	=	239 SQ.FT.



CLIENT NAME: KAREN & MIKE GUTT  
CONTACT ADDRESS:  
6723 MURRAY AVE. SOUTHWEST  
SEATTLE, WA 98136  
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MAMMOTH LAKES, CA 93546  
PROJECT ADDRESS:  
APN: 031-053-008-000  
PH: 206.605.9759

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SHEET	

## A3.2



PROPOSED RESIDENCE  
SITE ROOF PLAN

GUTT FAMILY RESIDENCE

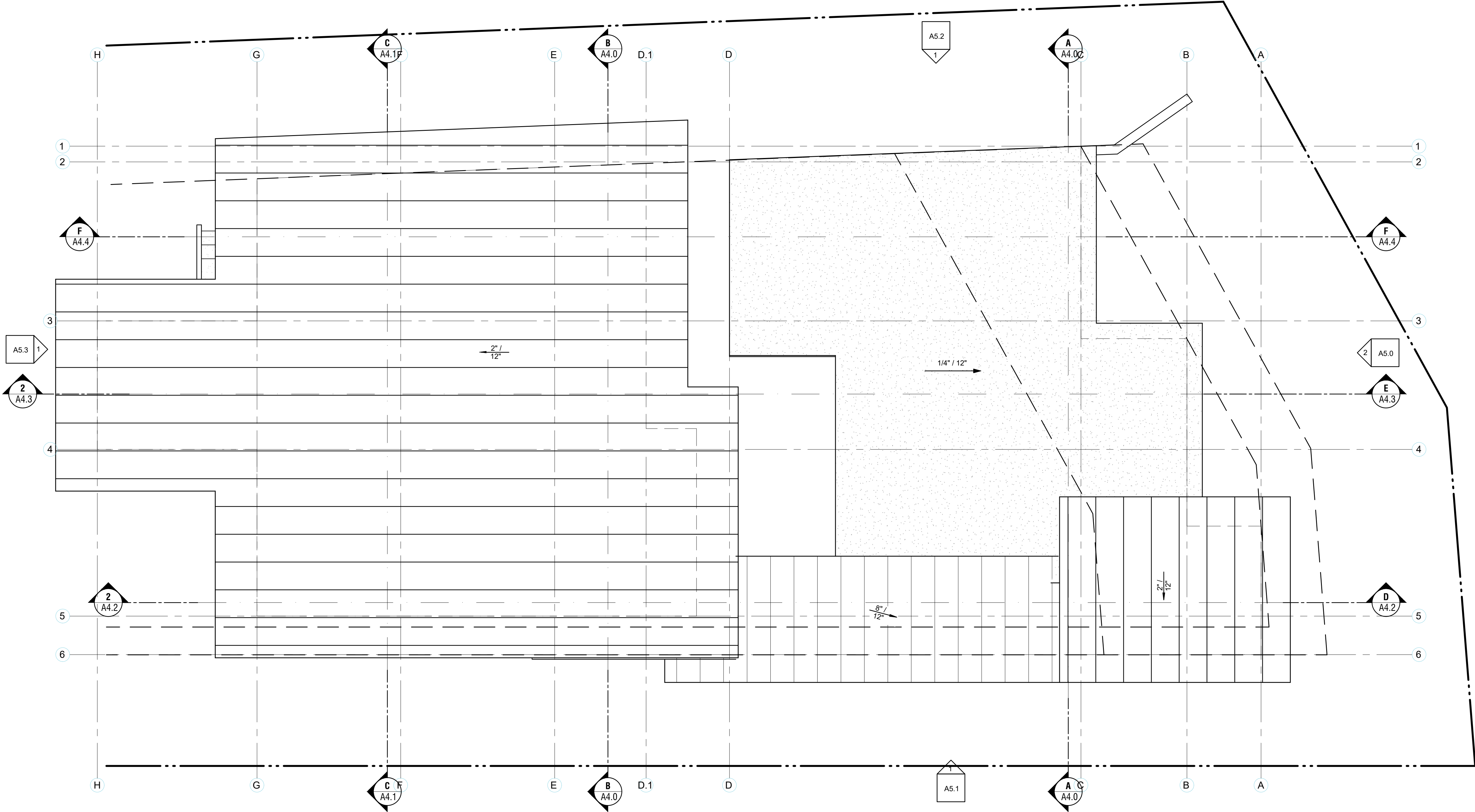
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A3.4



PROPOSED ROOF PLAN  
SCALE 1/4" = 1'-0"



CALIFORNIA BUILDING CODE SPECIFICS REQUIRED per PLAN

Submittal documents for deferred submittal items such as **ROOF TRUSSES** or **STRUCTURAL STEEL** and **SPECIAL INSPECTIONS** shall be submitted to, or by the architect or engineer of record. Who shall review them and forward them, to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with design of the building. The deferred submittal items shall not be installed until their design, and submittal documents have been approved by the building official.

**Glazing** in the following locations should be of safety glazing material in accordance with section R308 (See exceptions):

- A.) Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- B.) Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

All egress windows may exceed the following dimensions: Clear openable area of 5.7 sq. ft. Clear width of 20" min. and Clear Height of 24" min. Not to exceed 44" above finished floor CRC, R-310.

**Guardrails**

- A.) Shall have a MINIMUM height of 42"
- B.) Openings between railings shall be less than 4". The triangular openings formed by the riser, tread, and bottom element of a guardrail at a stair shall be less than 4".

**Handrails**

- A.) Handrails are required on each side of stairways. Stairways less than 44" wide at stairways serving one dwelling unit may have one handrail (if not open on both sides).
- B.) Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.
- C.) The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from walls shall have at least 1-1/2" between the wall and the handrail.
- D.) Ends of the handrails shall be returned or shall have rounded terminations or bends.

**Attic ventilation** openings shall be covered with corrosion-resistant metal mesh with mesh openings of 1/4" in dimension. Section 1505.3. Provide not less than 1 square foot vented area for every 150 square feet of attic area.

Note: Provide 15# felt underlayment for the compo roof.

**Anchor Bolt Requirements**

The nominal anchor bolt diameter shall be 5/8" (for Seismic Zone 4 only). Note: This will require a minimum distance from the ends of sill plates to be 4- 3/8" (and a maximum of 12"). Plate washers (minimum size of 3" x 3" x .0299") shall be used on each anchor bolt. Where hold-downs require anchors for embedment, the hold down anchors must be secured in place prior to foundation inspection.

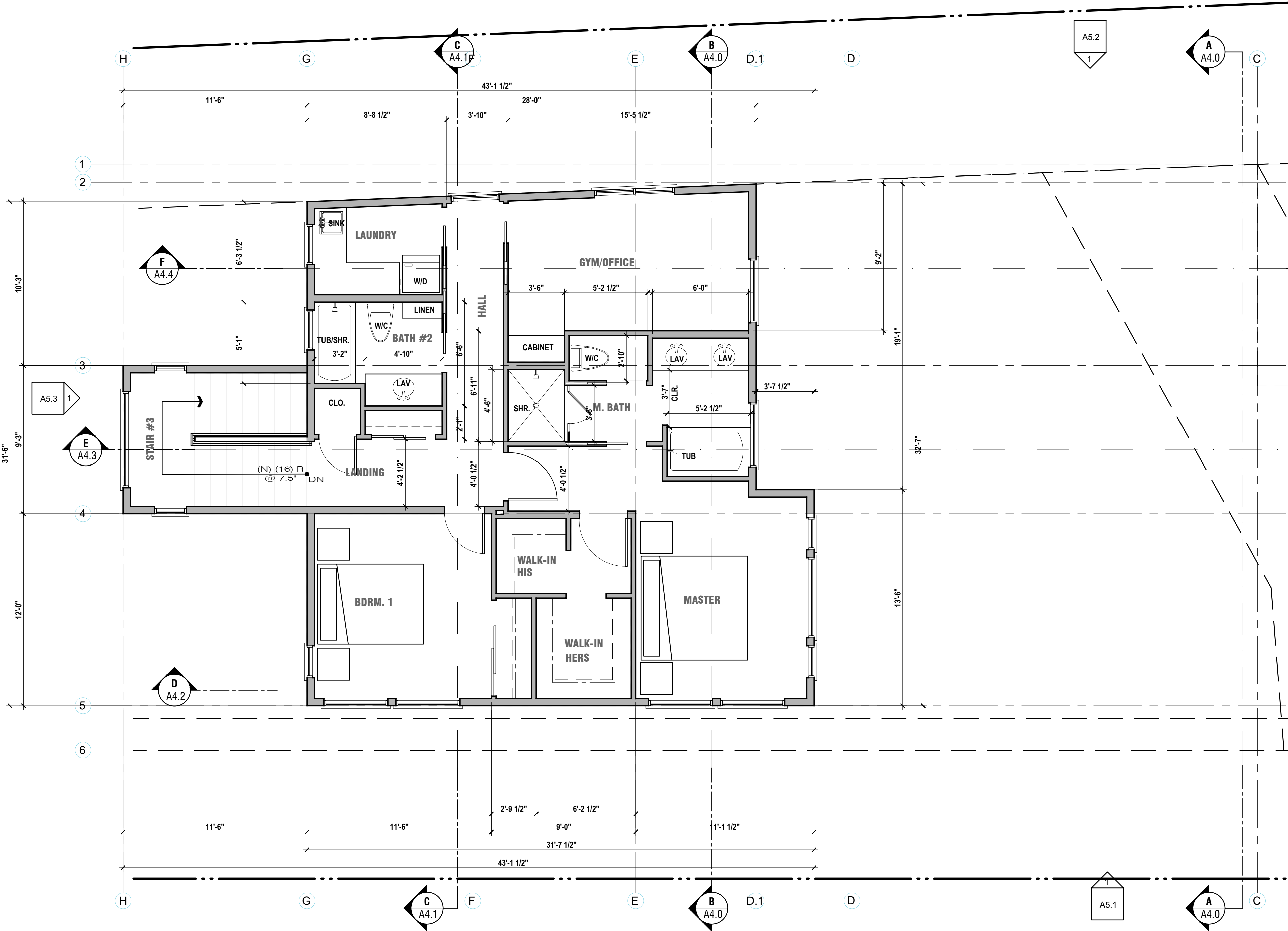
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In kitchens and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12" by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).

**NOTES:**

- All work shall conform to the latest edition of 2022 California Building Code (CBC) and/or 2022 California Residential Code (CRC), 2022 California Plumbing Code (CPC), 2022 California Mechanical Code (CMC), 2022 California Electrical Code (CEC), 2022 California Energy Code CEnC), 2022 California Green Building Standards Code (CGBC) & 2022 California Fire Code (CFC).
- Combination Smoke / Carbon Monoxide Detectors to be supplied/placed @ all bedrooms, corridors leading to bedrooms, above top of stairs and at least one at every level. They should be hardwired to a primary power source and be supported by battery back up,wire to audible alarm system (CRC R315.1).
  - Smoke detectors to be hard wired to primary power source and must be equipped with battery back-up. Detectors to be wired together so as to sound alarm system that is audible in all areas of the dwelling.
  - Lpg detectors to be hard wired to primary power source and must be equipped with battery back up; as well as commonly wired to other detectors so as to sound alarm system that is audible in all areas of the dwelling.
- Use 1- layer 5/8" type "X" Gyp. Bd. @ Garage walls & Ceiling. All joints to be taped and sealed, paint finish. Provides for occupancy separation as installed per 2019 CBC requirements.
- All interior walls to be 2x4, U.N.O.
- All exterior walls to be 2x6, U.N.O.
- All dimensions on plans override actual scale, contractor to contact Designer prior to any changes or deviations from plan.
- Any new wood construction or framing required per plan shall meet or exceed any requirements of 2019 CBC.
- Any doors that have glazing are required to be tempered glass.
- Any windows or glazing with in 2'-0" from end of door swing to be tempered.
- All egress windows may exceed the following dimensions: Clear openable area of 5.7 sq.ft. Clear width of 20" min. and a Clear Height of 24" min. Not to exceed 44" above finished floor per CRC R310.2
- All LPG appliances to be directly vented to roof or exterior termination addressing all requirements per Mfr. specifications.
- Provide LPG Sensor/Alarm @ all appliances and lowest point of floor area, and provide @ subfloor, wire to audible alarm system.
- Proposed Water Heater, NAVIEN Flash Boiler NPE-150 S2, 15K- 150K BTU/Hr. 96% eff. LPG Fired, conform to 2022 CBC requirements. Contractor to provide drain from appliance to exterior of building via PVC piping. New appliance supply to be connected to House plumbing system. Refer to Title 24 calculations on sheet T-1.
- Proposed House heating to be provided by YORK TG9S LATITUDE, LPG fired 80,000 btu/hr, 95.5% AFUE. Refer to CEC Title -24 report and Calculations provided on Sht. T-1.
- House to be provided with Code required Panasonic FV-10 Heat Recovery Unit. Located in Laundry room Ceiling with Mfr. ducting from exterior make up air to unit, then from unit to exterior.
- All windows at exterior to be Aluminum tempered, dual pane, thermally broken .30 U-factor max.
- All new glazing shall be installed with labels which shall remain in place for inspection.
- Provided all required LPG drains, venting per Mfr. @ Mechanical appliances, to allow protection for equipment at their specific locations and brought to exterior via Class b vent for exhaust or PVC for liquid.
- Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas (CRC R702.4.2)
- The residence shall have address numbers placed in a position that is plainly legible fromthe street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and a minimum of 4" high with a minimum stroke of 1/8" (CRC R319.1).
- Per practice through Design Dimension suggests Gas and Carbon Monoxide detectors need to be verified/installed throughout the residence per CRC R314.3, etc. Liquid Propane Gas sensors need to be located in the lowest point of the residence and lowest point of any under floor crawl space and connected to an audible alarm within the living area(s).Carbon monoxide detectors (or combo smoke/monoxide detectors) are needed within 20' of combustion appliances including, Natural gas, Propane, woodstoves, etc., in close proximity to the bedrooms. Carbon monoxide alarms to be "listed" as complying with UL 2034 and UL 2075. CRC R315.3
- All exterior Glue Laminated Beams to be protected from elements with roof cover and treated with a minimum of Semi-Transparent oil based stain.
- All exterior mounted vents for Bathroom fans, Kitchen hoods, clothes dryer, to be protected with a metal back draft damper that is fit into the wall mounted GI., ICBO approved protected appropriate device. The vent termination should be water tight and painted to match exterior.
- Where valley flashing is installed, the flashing shall not be less than .019-inch, 26 gage galvanized sheet or match color of drip edge metal corrosion-resistant metal installed over not less than one layer of minimum 72 pound mineral- surfaced non-perforated cap sheet complying with ASTM D 3909, at least 36" wide running the full length of the valley.
- Site information provided by owner
- All wood exposed to weather shall be of preservative-treated per CRC R317.1. Further, connectors for pressure treated or fire retardant treated wood are hot-dipped zinc coated galvanized steel, stainless steel, silicon bronze or copper. Coating types shall be per manufacturer recommendations or as a minimum can be mechanically deposited zinc-coated galvanized steel. CRC R317.3
- All adhesives, sealants, caulking, paints and coatings shall not exceed the limits specified in CGBC Section 4.504.2.1.
- At the time of final inspection, an Operation and Maintenance manual shall be provided to the building occupant or owner describing (CGBSC Section 4.410)
- At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all ducts and other air related distribution component methods shall be covered with tape, plastic, sheet metal or other methods acceptable to reduce the amount of dust or debris which may collect in the system.
- All exterior windows and exterior doors to be dual glazed with "owner approved" color. Windows are to be of a Alum. thermally broken manufactured frame. All exterior doors to be dual pane tempered glass. Refer to plans to verify windows that are to be tempered.
- Instantaneous water heaters or "Flash Boilers" with an input rating greater than 6.8 kBtu/hr shall have isolation valves on both the cold-water supply and the hot water pipe leaving the water heater, and hose bibbs or other fittings on each valve for flushing the water heater when the valves are closed. (110.3(c)(7)) California Energy Code.



13.1 Plumbing

- Plumbing fixtures and fittings shall be installed in accordance with the 2022 California Plumbing Code, and shall meet the applicable referenced standards.
- Shower and Tub-Shower Combination Control Valves. Showers and tub-shower combinations in buildings shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection. These valves shall conform to ASSE 1016, "Standard for Automatic Compensating Valves for Individual Showers and Tub-Shower Combinations", or ASME A112.18.1/CSA B125.1," Standard for Plumbing Supply Fittings". Handle position stops shall be provided on such valves and shall be adjusted per the manufacturer's instructions to deliver a maximum mixed water setting of 120 degrees. The water heater thermostat shall not be considered a suitable control for meeting this provision.
- An approved backwater valve is required for drainage piping serving fixtures located below the elevation of the next upstream manhole cover. Fixtures above such elevation shall not discharge through the backwater valve. Clean outs for drains that pass through the backwater valve shall be clearly identify with a permanent label stating "BACKWATER VALVE DOWNSTREAM".
- Under floor clean-out shall be located not exceeding 5' from an access door, door trap, or crawl hole. (CPC 707.9.)
- All domestic hot waster piping systems shall be insulated per 2022 Energy Code.

**PROPOSED UPPER FLOOR PLAN**

SCALE 1/4"=1'-0"

**Area Calcs**

CONDITIONED AREA = 946 SQ.FT.



**GUTT FAMILY RESIDENCE**

CLIENT NAME: KAREN & MIKE GUTT  
CONTACT ADDRESS: 6723 MURRAY AVE, SOUTHWEST SEATTLE, WA. 98136  
PROJECT ADDRESS: 307 JOHN MURPHY, MAMMOTH LAKES, CA 93546  
PH: 206 605 9759

**REVISIONS**

APRIL 2024  
SCALE: AS SHOWN  
DRAWN: CWT/RJB  
PRINTED: 1.15.25  
SHEET

A3.3

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DESIGN PLANNING STRUCTURES  
P.O. BOX 7193  
MAMMOTH LAKES, CA 93546  
TEL/FAX (760) 934-4348

**PROPOSED HOUSE  
UPPER FLOOR PLAN**





ABBREVIATIONS

AC. ACRES  
ELEV. ELEVATION  
SQ. FT. SQUARE FEET  
UTIL. UTILITY

LEGEND

PROPERTY LINE  
ADJACENT PROPERTY LINE  
CONTOUR (1' INTERVAL)  
SPOT ELEVATION  
AC PAVEMENT AND EDGE OF PAVEMENT  
SEWER MANHOLE  
UTILITY PEDESTAL  
TELECOM PEDESTAL  
TREE, TRUNK SIZE AND TYPE  
P - PINE  
STM - STUMP

RECORD INFORMATION

FOUND REBAR AND CAP, STAMPED LS 4587, NO REF.  
ACCEPTED, OR AS NOTED  
(R) RECORD INFORMATION PER MAP BOOK 2, PAGE 22  
(M) MEASURED PER FIELD SURVEY

SITE INFORMATION

LOT 8, TIMBER RIDGE ESTATES NO. 2  
MB 2/22  
7,535+ SQ. FT., 0.17+ AC.

I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THIS MAP REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION IN JUNE, 2022. RECORD INFORMATION IS FROM MB 2/22. THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

GUYRIEN L.S. 7724 LIC. EXP. 12/31/2023

BOUNDARY AND TOPOGRAPHIC SURVEY  
LOT 8, TIMBER RIDGE ESTATES NO. 2

PREPARED FOR: KAREN GUTT

Eastern Sierra Land Surveys, inc.  
10 Shasta Circle  
Grass Valley, CA 95946

Date:	6/20/22	Sheet	1
Job No.	22-021	Of	1
Drawing	22-021 B+T		
Scale	1"=40'		
Draftsman	GJR		
Check	GJR		
Sheet			