

# ATTACHMENT B

Project Plans and Materials

*[Full Size Plans Available for Review at the Town Offices]*

6-UNITS RESIDENTIAL DEVELOPMENT

54 MONO ST., MAMMOTH LAKES, CA

Abbreviations							
&	AND	D.O.	DOOR OPENING	I.D.	INSIDE DIAMETER	SQ.	SQUARE
L	ANGLE	DR.	DOOR	INSUL.	INSULATION	S.ST.	STAINLESS STEEL
@	AT	DWR.	DRAWER	INT.	INTERIOR	STD.	STANDARD
⌒	CENTERLINE	D.S.	DOWNSPOUT			STL.	STEEL
∅	DIAMETER OF ROUND	DWG.	DRAWING	JT.	JOINT	STOR.	STORAGE
#	POUND OR NUMBER					STRL.	STRUCTURAL
(E)	EXISTING	E.	EXISTING	KIT.	KITCHEN	SYM.	SYMMETRICAL
(R)	RELOCATED	E.J.	EXPANSION JOINT	LAMINATE	LAM.		
(N)	NEW	EL.	ELEVATION	LAV.	LAVATORY	T.B.S.	TO BE SPECIFIED
		ELEC.	ELECTRICAL	LT.	LIGHT	TRD.	TREAD
		E.P.	ELECTRICAL			T.B.	TOWEL BAR
			PANELBOARD	MANU.	MANUFACTURER	T.C.	TOP OF CURB
A.F.F.	ABOVE FINISH FLOOR	EQ.	EQUAL	MAX.	MAXIMUM	TEL.	TELEPHONE
A.D.	AREA DRAIN	EQPT.	EQUIPMENT	M.C.	MEDICINE CABINET	TER.	TERRAZZO
ADJ.	ADJUSTABLE	EXST.	EXISTING	MECH.	MECHANICAL	T. & G.	TONGUE & GROOVE
AGGR.	AGGREGATE	EXP.	EXPANSION	MEMB.	MEMBRANE	THK.	THICK
AL.	ALUMINUM	EXT.	EXTERIOR	MET.	METAL	T.P.	TOP OF PAVEMENT
APPROX.	APPROXIMATE	F.F	FLOOR FINISH	MFR.	MANUFACTURER		
ARCH.	ARCHITECTURAL	FDN.	FOUNDATION	MIN.	MINIMUM	MIR.	MIRROR
ASB.	ASBESTOS	FIN.	FINISH	PL.	PLATE	MISC.	MISCELLANEOUS
ASPH.	ASPHALT	FL.	FLOOR	P.LAM.	PLASTIC LAMINATE	M.O.	MASONRY OPENING
		FLASH'G	FLASHING	PLAS.	PLASTER	MTD.	MOUNTED
BD.	BOARD	FLUOR.	FLUORESCENT	PLYWD.	PLYWOOD	MUL.	MULLION
BITUM.	BITUMINOUS			PR.	PAIR		
BLDG.	BUILDING	F.O.C.	FACE OF CONCRETE	PROV'D	PROVIDED	N.	NEW
BLKG.	BLOCKING	F.O.F.	FACE OF FINISH	PT.	POINT	N.I.C.	NOT IN CONTRACT
BM.	BEAM	F.O.S.	FACE OF STUDS	PTN.	PARTITION	NO./#	NUMBER
B.O.H.	BACK OF HOUSE	FPRF.	FIREPROOF			NOM.	NOMINAL
BOT.	BOTTOM	F.S.	FLOOR SINK	Q.T.	QUARRY TILE	N.T.S.	NOT TO SCALE
		FT.	FOOT OR FEET	QSR	QUICK SERVE	O.A.	OVERALL
CAB.	CABINET	FTG.	FOOTING		RESTAURANT	OBS.	OBSURE
CEM.	CEMENT	FURR.	FURRING	R/RAD.	RADIUS	O.C.	ON CENTER
CER.	CERAMIC	FUT.	FUTURE	R.D.	ROOF DRAIN	O.D.	OUTSIDE DIAMETER
C.I.	CAST IRON			REF.	REFERENCE	OFF.	OFFICE
CLG.	CEILING			REFR.	REFRIGERATOR	OPNG.	OPENING
CLKG.	CAULKING	G.A.	GAUGE	RGTR.	REGISTER	OPP.	OPPOSITE
CLO.	CLOSET	GALV.	GALVANIZED	REINF.	REINFORCED	PLBG.	PLUMBING
CLR.	CLEAR	GL.	GLASS	REQ'D	REQUIRED	T.P.D.	TOILET PAPER
C.O.	CASED OPENING	GR.	GRADE	RESIL.	RESILIENT		DISPENSER
COL.	COLUMN	GSM	GALVANIZED	RM.	ROOM	T.V.	TELEVISION
CONC.	CONCRETE		SHEET METAL	R.O.	ROUGH OPENING	T.W.	TOP OF WALL
CONN.	CONNECTION	GYP.	GYPSUM	RWD.	REDWOOD	TYP.	TYPICAL
CONSTR.	CONSTRUCTION	GYP. BD.	GYPSUM BOARD	R.W.L.	RAIN WATER LEADER	UNF.	UNFINISHED
CONT.	CONTINUOUS					U.O.N.	UNLESS
CTSK.	COUNTERSUNK						OTHERWISE NOTED
CNTR.	COUNTER	H.B.	HOSE BIBB	S.C	SOLID CORE	VERT	VERTICAL
CTR.	CENTER	H.C.	HOLLOW CORE	SCHED.	SCHEDULE		
		HCP	HANDICAP	S.D.	SOAP DISPENSER	W.	WEST
		HDWD.	HARDWOOD	S.D.	SECTION	W/	WITH
DBL.	DOUBLE	HDWE.	HARDWARE	SH.	SHELF	W.C.	WATER CLOSET
DEPT.	DEPARTMENT	H.M.	HOLLOW METAL	SHR.	SHOWER	WD.	WOOD
DET.	DETAIL	HORIZ.	HORIZONTAL	SHT.	SHEET	W/O	WITHOUT
DIA.	DIAMETER	HR.	HOUR	SIM.	SIMILAR	WP.	WATERPROOF
DIM.	DIMENSION	HGT.	HEIGHT	SL.	SLOPE	WSCT.	WAINSCOT
DISP.	DISPENSER			SPEC.	SPECIFICATION	WT.	WEIGHT
DN.	DOWN						

Symbols

6  
A8

TYPICAL REFERENCE

4  
A3

DETAIL IDENTIFICATION

3  
A3

SHEET WHERE DETAIL IS DRAWN

3  
A3

SECTION (BUILDING)

4  
A3

SECTION (WALL / DETAIL)

5  
A3

ELEVATION

9

REFERENCE NOTE

1

INTERIOR ELEVATIONS

5  
A3

ELEVATION IDENTIFICATION

3

SHEET WHERE ELEVATION IS DRAWN

#

WINDOW SYMBOL

D#

DOOR SYMBOL

2

REVISION, CLOUD

MATCH LINE, SHADED PORTION IS THE SIDE CONSIDERED

DATUM POINT

Project Directory

OWNER:  
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Project Narrative:

THIS PROPOSED 6-UNITS MULTI-FAMILY (3-STORY HEIGHT) RESIDENTIAL DEVELOPMENT IS LOCATED AT 54 MONO STREET, THE TOWN OF MAMMOTH LAKES. THE SURROUNDINGS ARE ALSO RESIDENTIAL DEVELOPMENTS. THE SITE HAS A GENTLE SLOPE AND SOME VEGETATIONS.

THE PROJECT IS CALLED FOR 100% DENSITY INCREASE UNDER THE TOWN DENSITY BONUS ORDINANCE SECTION 17.138.050 AS EMPLOYEE HOUSING. THE REQUESTED INCENTIVES ARE A REDUCTION OF 20% SETBACKS AT REAR AND SIDE YARDS, PLUS ONE GUEST PARKING REDUCTION AS WELL.

THE EXTERIOR MATERIALS ARE SPLIT-FACED CMU WALL, STUCCO, SLOPED SHINGLED ROOF AND CEMENT BOARD FINISHES. WINDOWS ARE DUAL GLAZED; ALL PLUMBING FIXTURES ARE PER CODE WITH WATER SAVING SUFFICIENT TYPES. THE COOLING AND HEATING AREA PROVIDED PER INDIVIDUAL UNIT NOT AS CENTRAL TYPE. THIS WILL MINIMIZE COOLING OR HEAT LOSS. THE LANDSCAPE IS OF THE CITY'S STANDARD. AN AREA OF SNOW STORAGE AT THE FRONT YARD IS ALSO PROVIDED, AND ANY ADDITIONAL HAIL-AWAY WILL BE EMPLOYED AS NEEDED.

THIS DEVELOPMENT HAS A PODIUM FOR THE RESIDENT'S PARKING, AND THE GUEST PARKING AND ADA PARKING ARE PARTIALLY COVERED. AN ADA UNIT IS ACCESSIBLE ON THE GROUND FLOOR. THE SITE IS FULLY ACCESSIBLE FROM THE STREET TO ALL ENTRIES.

THIS MULTI-FAMILY RESIDENTIAL DEVELOPMENT WILL BE A GOOD ADDITION TO THE HOUSING NEEDED IN THE CITY AND WILL ALSO HELP THE NEEDS OF THE OWNER'S EMPLOYEES.

Area Calculation

UNIT COUNT PER FLOOR/TYPE							
UNIT TYPE	1/F S.F.	2/F S.F.	3/F S.F.	QTY.	AREA PER UNIT S.F.	TOTAL S.F.	STORAGE (CU.SQ.FT.)
GARAGE							915
A-1 (1-BED)	326	758	—	1	1,084	1,084	
A-2 (1-BED)	—	—	702	1	702	702	
B (1-BED)	—	774	774	2	1,548	1,548	
C (3-BED)	—	1,426	1,426	2	2,852	2,852	
GRAND TOTAL	326	2,958	2,902	6		6,186	915

Sheet Index:

ARCHITECTURAL  
SHT T PROJECT DIRECTORY & DATA  
MAP, NOTES & SCOPE OF WORK  
A0.01 GENERAL NOTES  
A0.02 GENERAL NOTES & ENERGY NOTES  
A0.03 GENERAL NOTES & ENERGY NOTES  
A0.10 CAL GREEN NOTES  
A0.11 CAL GREEN NOTES  
A0.20 ADA DETAILS  
A1.01 EXISTING SITE PLAN  
A1.02 PROPOSED SITE PLAN  
A1.03 PROPOSED SITE PLAN W/ ACCESSIBLE ROUTE  
A1.10 TRASH ENCLOSURE FLOOR PLAN & ELEVATIONS  
A2.01 PROPOSED FIRST FLOOR & ROOF PLAN  
A2.02 PROPOSED SECOND & THIRD FLOOR PLAN  
A3.01 PROPOSED EAST & WEST BUILDING ELEVATIONS  
A3.02 PROPOSED NORTH & SOUTH BUILDING ELEVATIONS

CIVIL  
C-1 PRELIMINARY GRADING PLAN  
C-2 PRELIMINARY DRAINAGE PLAN

LANDSCAPE  
L-1 TITLE SHEET  
L-2 PRELIMINARY LANDSCAPE PLAN

PHOTOMETRIC  
E3.1 SITE PHOTOMETRY CALCULATION

Vicinity Map

N. T. S.

Project Description

DEVELOP A 6 UNIT HAVE A TWO 3-BEDROOMS AND FOUR 1-BEDROOM, GARAGE ON .25 ACRE SITE BY APPLYING THE TOWN DENSITY BONUS PROGRAM.

Legal Description

PARCEL 1 OF PARCEL MAP 36-158 IN THE TOWN OF MAMMOTH LAKES, COUNTY OF MONO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4 PAGE 73 OF PARCEL MAP, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Project Data

PROJECT ADDRESS: 54 MONO ST.  
MAMMOTH, CA 93546

APN#: 033-123-012-000

ZONING TYPE: RESIDENTIAL MULTI-FAMILY 1  
GENERAL PLAN LAND USE: HIGH DENSITY RESIDENTIAL 1

CONSTRUCTION TYPE: VB

BUILDING CODE: 2022- CBC, CRC, CMC, CEC, CPC, CGC

SITE AREA: 10,890 S.F. GROSS (0.25 ACRE)  
9,549 S.F. NET

1) FIRST FLOOR BUILDING: 2,885 S.F.; 30%  
2) COVERED PARKING: 885 S.F.; 9%  
3) OPENING DRIVEWAY: 2,228 S.F.; 23%  
4) TRASH ENCLOSURE: 63 S.F.; 1%  
5) WALKWAY: 614 S.F.; 6%  
LOT COVERAGE: 1+2+4/9,549= 0.4 (40%)

REQUIRED PROVIDED  
SNOW STORAGE AREA: 2,295 SF 1,502 SF (OWNER TO PROVIDE PICK-UP COMPANY)  
1,502/9,543=0.16 (16%)

LANDSCAPE AREA: 1,022/9,543 S.F.= 0.11 (11%)

HEIGHT LIMIT: REQUIRED PROVIDED  
35'-0" (MAX) ±33'-5"

SETBACK REQUIREMENTS:  
FRONT YARD 20'-0" 20'-0"  
SIDE YARD (NORTH) 10'-0" 10'-0"  
SIDE YARD (SOUTH) 10'-0" 8'-0"(20% REDUCED)  
REAR 10'-0" 8'-0"(20% REDUCED)

PROPOSED BUILDING AREA:  
FIRST FLOOR: 2,885 S.F.  
SECOND FLOOR: 3,129 S.F.  
THIRD FLOOR: 3,152 S.F.  
TOTAL: 9,166 S.F.

# OF UNITS PER BASED DENSITY PER TOWN DENSITY BONUS (WORKFORCE)  
12 UNITS/ACRES 2X BASED DENSITY  
(ALLOW 3 UNITS) (PROPOSED 6 UNITS)

PARKING SPACE REQUIRED:  
1-BEDROOM 1/UNIT 4 (4 UNITS)  
3-BEDROOM 2/UNIT 4 (2 UNITS)  
GUEST PARKING 2/4 UNITS 2 (1 REDUCTION PER TOWN DENSITY BONUS)  
TOTAL 10 SPACES (1 ADA INCL.)

EV PARKING REQUIRED PROVIDED  
1 1 (1 ADA)

PEGASUS ARCHITECTS

1717 PIERMONT DRIVE  
HACIENDA HEIGHTS, CA 91745  
TEL: 626.353.3796  
E: CHAK@PEGASUSARC.COM

PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT  
ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA  
CLIENT: MR. MORARI BIPIN

PROJECT DIRECTORY & DATA  
LEGAL DESCRIPTION, SHEET INDEX, VICINITY MAP, NOTES & SCOPE OF WORK

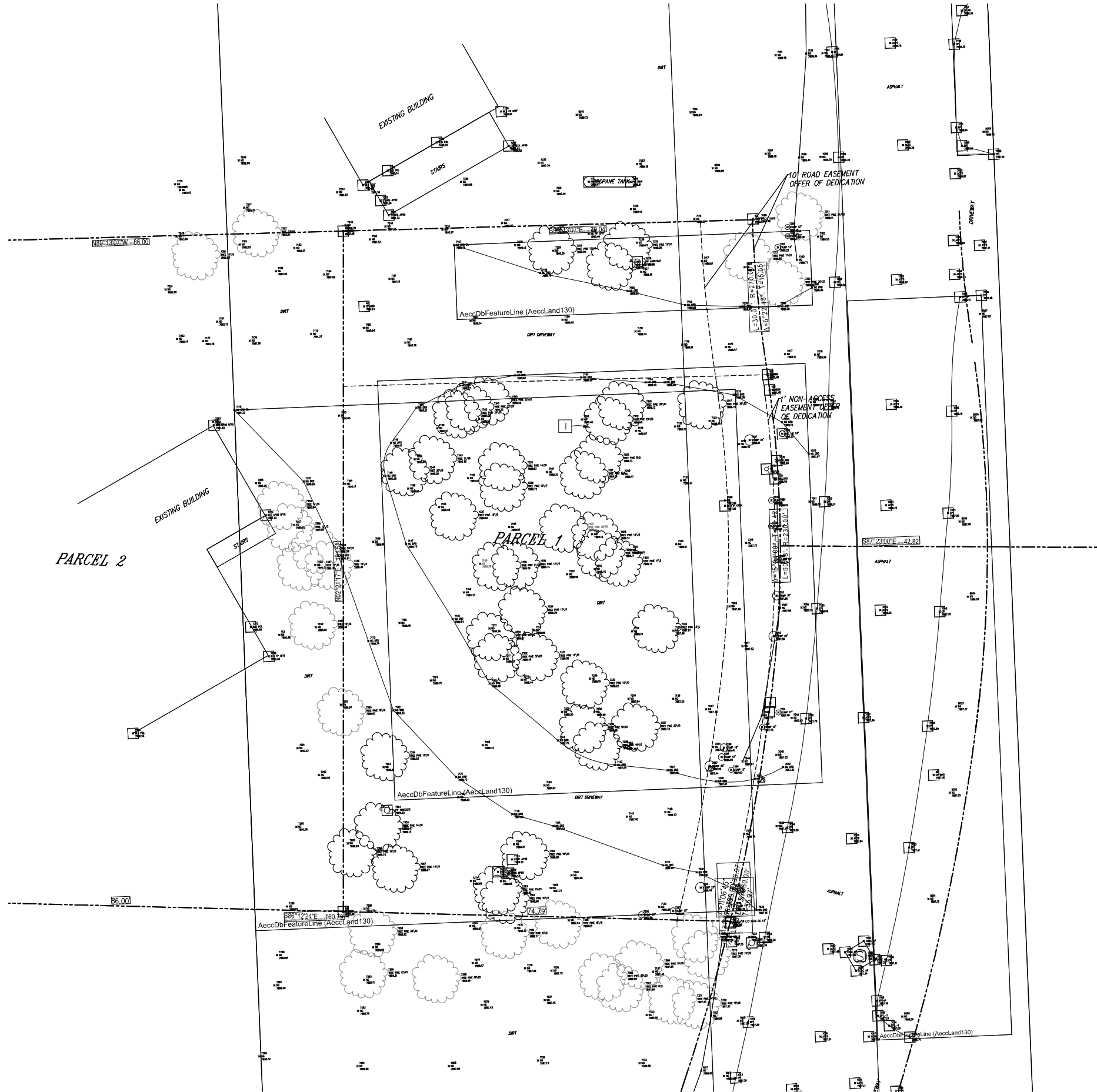
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PROJECT DIRECTORY & DATA  
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KEY MAP SEAL/STAMP

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DRAWN BY: TL/ZL  
SUPERVISED BY: TL  
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PLAN CHECK: -/-/-/-  
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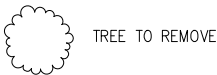
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FIRST CIP COMMENTS 02/19/2025  
SECOND CIP COMMENTS 06/12/2025  
DESIGN COMMITTEE COMMENTS 07/18/2025  
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Reference Notes

- 1 TREE TO DEMO WITHIN THE PROPERTY LINE  
2 -



SCALE: 1"=10'-0"



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EXISTING SITE PLAN

SHEET TITLE:

KEY MAP

SEAL/STAMP

JOB NO. -

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REVISIONS

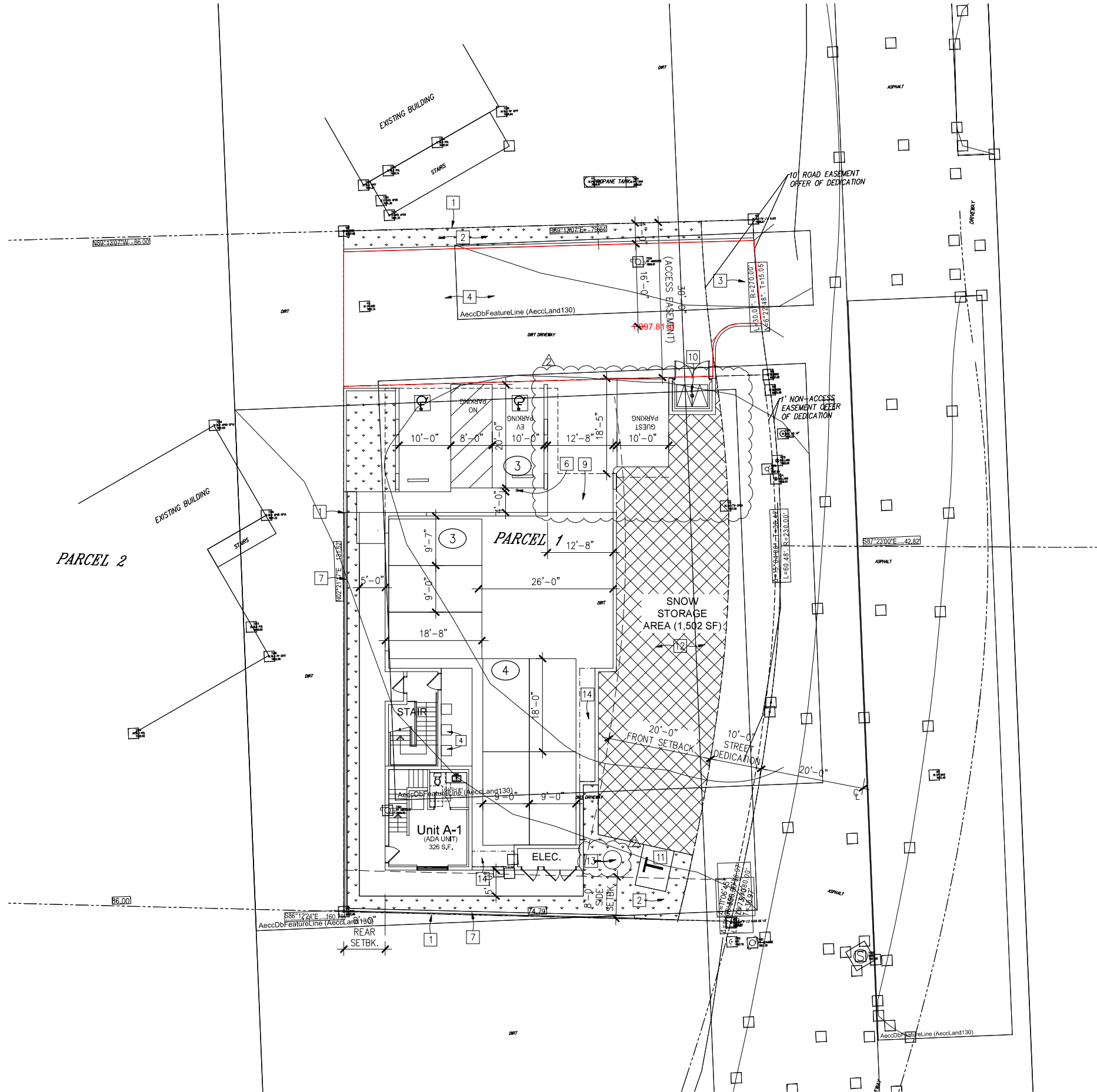
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2	SECOND CIP COMMENTS	06/12/2025
3	DESIGN COMMITTEE COMMENTS	07/18/2025
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Reference Notes

- 1 PROPERTY LINE
- 2 (N) LANDSCAPE
- 3 (N) DRIVE WAY
- 4 (N) ASPHALT PAVING
- 5 FIRE TURNAROUND
- 6 NOT IN USED
- 7 (N) 6'-0" HT. CMU SPLITFACE W/ 2" CONCRETE CAP FENCE WALL
- 8 NOT IN USED
- 9 (N) 4'-0" WIDE CONCRETE WALKWAY
- 10 (N) TRASH ENCLOSURE PER CITY STANDARD
- 11 (N) TRANSFORMER
- 12 (N) SNOW STORAGE AREA (1,792 SF)
- 13 (N) DRYWELL PER CIVIL PLAN
- 14 (N) STORAGE



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PROPOSED SITE PLAN

KEY MAP

SEAL/STAMP

JOB NO.

DRAWN BY:

SUPERVISED BY:

CHECKED BY:

PLAN CHECK

PERMIT SET

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REVISIONS

1 FIRST CIP COMMENTS

2 SECOND CIP COMMENTS

3 DESIGN COMMITTEE COMMENTS

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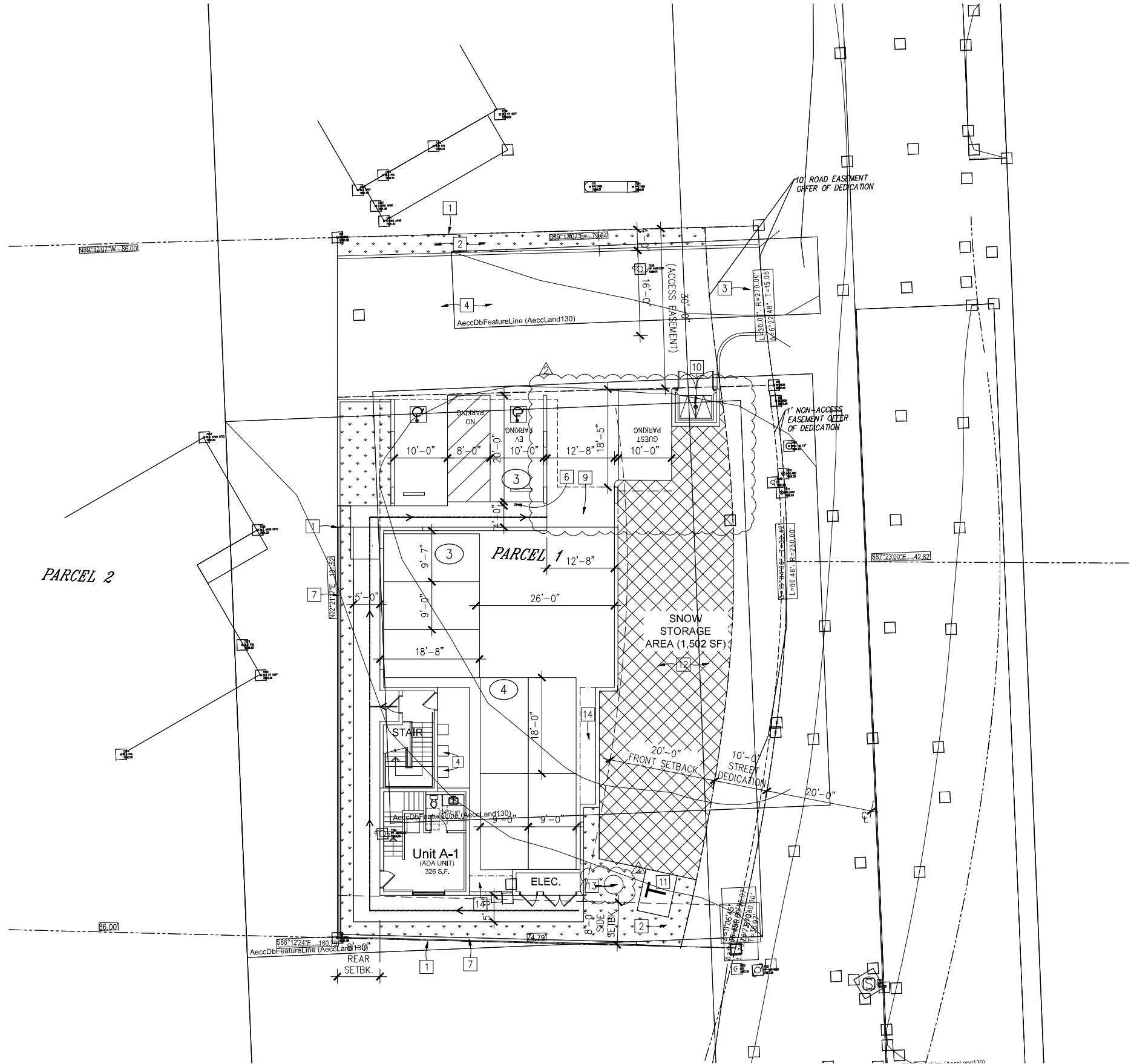
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Reference Notes

1 -

Symbol

← ACCESSIBLE PATH OF TRAVEL



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PROPOSED SITE PLAN  
W/  
ACCESSIBLE ROUTE

KEY MAP SEAL/STAMP

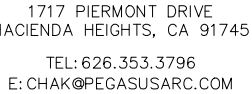
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PERMIT SET -/-/-/-  
BID SET -/-/-/-

REVISIONS		
1	FIRST CIP COMMENTS	02/19/2025
2	SECOND CIP COMMENTS	06/12/2025
3	DESIGN COMMITTEE COMMENTS	07/18/2025
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SHEET NO:

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OF SHEETS  
S H E E T



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PROPOSED  
TRASH ENCLOSURE  
PLAN & ELEVATIONS

**SHEET TITLE:**

KEY MAP SEAL/STAMP

JOB NO.	-
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SUPERVISED BY:	TL
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OF	SHEETS
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SCALE:  $3/8"=1'-0"$



SCALE:  $3/8" = 1'-0"$



SCALE:  $3/8" = 1' - 0"$



SCALE:  $3/8" = 1'-0"$

### Reference Notes (elevation)

- 1 CMU SPLIT FACE WALL FROM ANGELUS BLOCK OR MATCH EQ.  
COLOR: ONYX
- 2 FASCIA W/ PAINT FINISH OR EQ.  
COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- 3 ROOFING SHINGLE BY CERTAINTED LANDMARK CLIMATEFLEX  
COLOR: WEATHERED WOOD



SCALE: 3/8"=1'-0"

### Reference Notes (roof plan)

- 1 ROOFING SHINGLE BY CERTAINTEED LANDMARK  
CLIMATEFLEX  
COLOR: WEATHERED WOOD

## Reference Notes (plan)

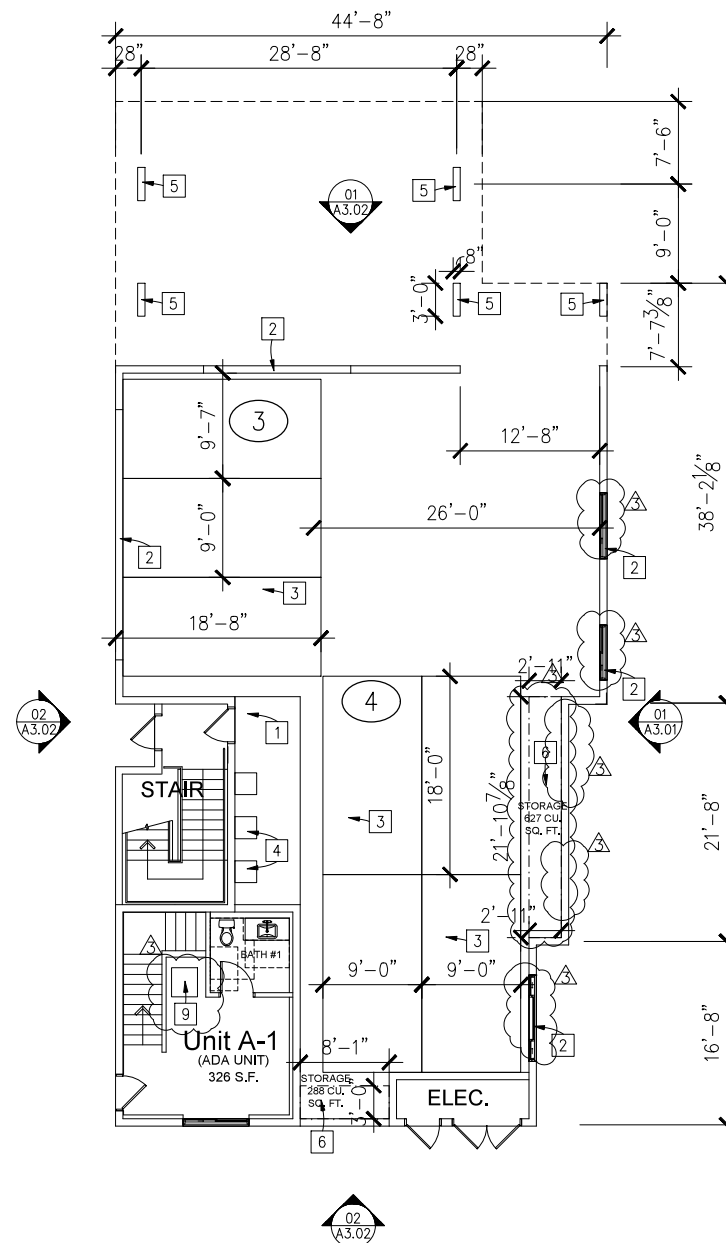
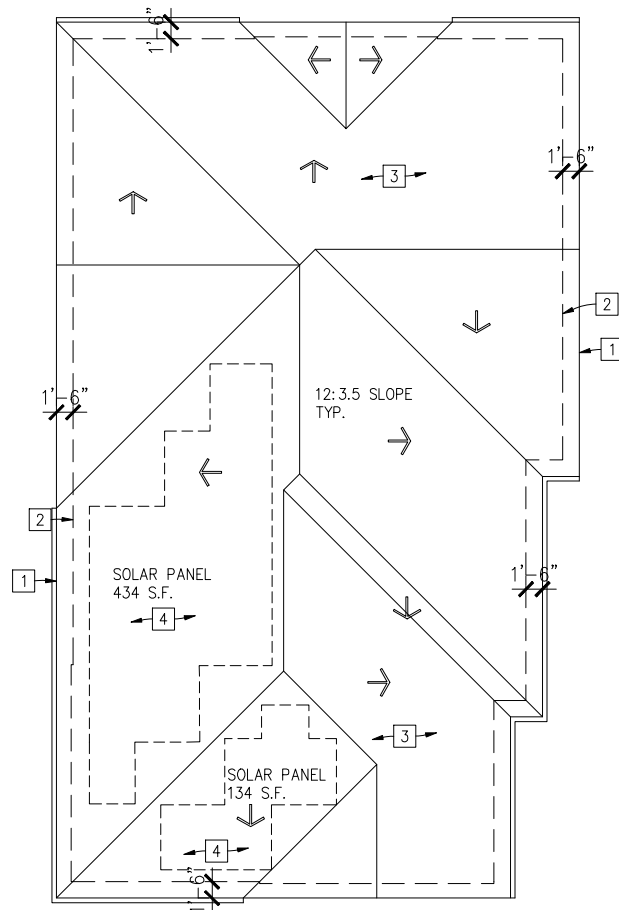
- 1 METAL GATE DOOR  
2 CURB  
3 TRASH  
4 ABOVE ROOF LINE



SCALE:  $3/8"=1'-0"$

- 1 ROOF LINE
- 2 BUILDING LINE
- 3 ROOF SHINGLE BY CERTAINTED LANDMARK CLIMATEFLEX  
COLOR: WEATHERED WOOD
- 4 SOLAR PANEL
- 5 NFA PLASTIC SLANT-BACK ROOF LOUVER STATIC  
VENT IN BLACK 13"x13", MODEL SLP 150BL

- 1 CONCRETE PAVING
- 2 WINDOW OPENING
- 3 PARKING
- 4 DOUBLE STACK CONDENSER UNITS
- 5 COLUMN
- 6 STORAGE



SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



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PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT

ADDRESS: 54 MONO ST.,  
MAMMOTH LAKES, CA

CLIENT: MR. MORARI BIPIN

PROPOSED  
FIRST FLOOR PLAN  
& ROOF PLAN

KEY MAP SEAL/STAMP

JOB NO.	-
DRAWN BY:	TL/ZL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	___/___/___
PERMIT SET	___/___/___
BID SET	___/___/___

[illegible]

SHEET NO:

**A2.01**

OF SHEETS

S H E E T

Reference Notes

- 1

ENTRY DOOR
- 2

REFRIGERATOR
- 3

GAS STOVE WITH OVER THE RANGE MICROWAVE
- 4

DISHWASHER
- 5

PLUMBING FIXTURES
- 6

SINK & FAUCET
- 7

SLIDING DOOR
- 8

SLIDING POCKET DOOR
- 9

WASHER AND DRYER COMBO
- 10

TANKLESS WATER HEATER
- 11

CLOSET
- 12

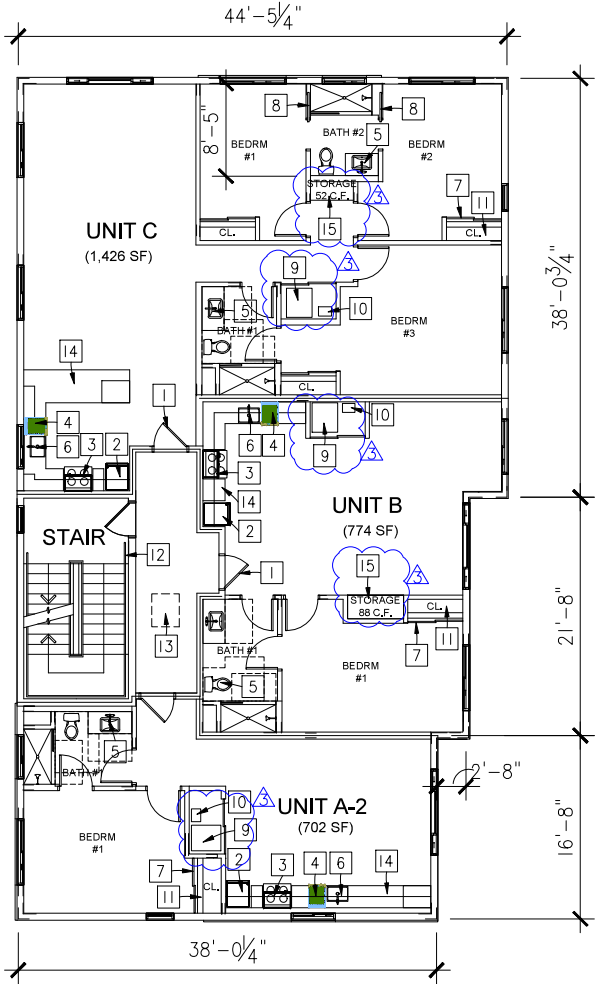
36" HT. HANDRAIL
- 13

ROOF HATCH ON THIRD FLOOR

- 14

KITCHEN COUNTER
- 15

CABINET



2 Proposed Third Floor Plan

SCALE: 1/8"=1'-0"

Reference Notes

- 1

ENTRY DOOR
- 2

REFRIGERATOR
- 3

GAS STOVE WITH OVER THE RANGE MICROWAVE
- 4

DISHWASHER
- 5

PLUMBING FIXTURES
- 6

SINK & FAUCET
- 7

SLIDING DOOR
- 8

SLIDING POCKET DOOR
- 9

WASHER AND DRYER COMBO
- 10

TANKLESS WATER HEATER
- 11

CLOSET
- 12

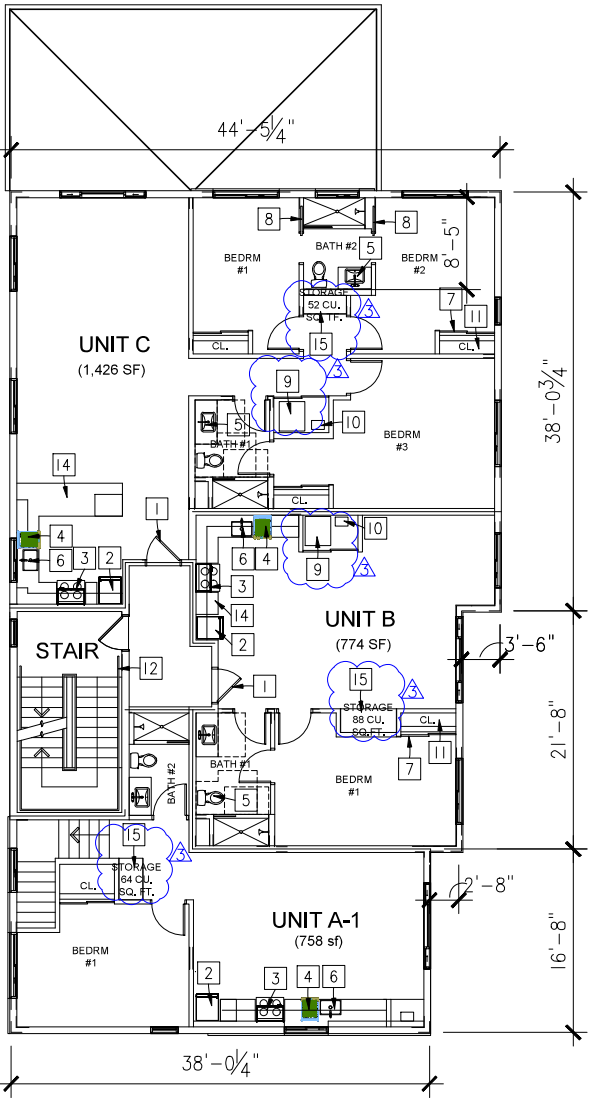
36" HT. HANDRAIL
- 13

ROOF HATCH ON THIRD FLOOR

- 14

KITCHEN COUNTER
- 15

CABINET



1 Proposed Second Floor Plan

SCALE: 1/8"=1'-0"

General Notes



1717 PIERMONT DRIVE  
HACIENDA HEIGHTS, CA 91745  
TEL: 626.353.3796  
E: CHAK@PEGASUSARC.COM

PROJECT: 6-UNITS RESIDENTIAL  
DEVELOPMENT  
ADDRESS: 54 MONO ST.,  
MAMMOTH LAKES, CA  
CLIENT: MR. MORARI BIPIN

PROPOSED  
SECOND & THIRD  
FLOOR PLAN

KEY MAP SEAL/STAMP

JOB NO. -  
DRAWN BY: TL/ZL  
SUPERVISED BY: TL  
CHECKED BY: TL  
PLAN CHECK -/-/-  
PERMIT SET -/-/-  
BID SET -/-/-

REVISIONS	
1	FIRST CIP COMMENTS 02/19/2025
2	SECOND CIP COMMENTS 06/12/2025
3	DESIGN COMMITTEE COMMENTS 07/18/2025

SHEET NO:

A2.02

OF SHEETS  
S H E E T



	Color Legend	General Note	Reference Notes
	<div><div></div> -</div>	<div>1. EXTERIOR WALLS SHALL COMPLY WITH CBC SECTION 705 FOR FIRE-RESISTANCE.</div> <div>2.</div>	<div><div>1</div> ROOFING SHINGLE BY CERTAINTED LANDMARK CLIMATEFLEX COLOR: WEATHERED WOOD</div> <div><div>2</div> SIDING BY NEWTECHWOOD ALL WEATER SIDING &amp; CLADDING COLOR: BRAZILIAN IPE (IP)</div> <div><div>3</div> LA HABRA STUCCO W/ PAINT FINISH OR EQ. SANTA BARBARA MISSION FINISH COLOR: SHERWIN WILLIAMS SW 7743 MOUNTAIN ROAD</div> <div><div>4</div> LA HABRA STUCCO W/ PAINT FINISH OR EQ. SANTA BARBARA MISSION FINISH COLOR: SHERWIN WILLIAMS SW 7023 REQUISITE GRAY</div> <div><div>5</div> FASCIA, WINDOW AND DOOR TRIM, &amp; FOAM MOULDING W/ PAINT FINISH OR EQ. COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE</div> <div><div>6</div> EXTERIOR WALL MOUNT LIGHT OR MATCH EQ. BRAND: LITHONIA SERIES: WDGE LED ARCHITECTURAL WALL LUMINAIRE TYPE: WDGE3 LED WALL MOUNT</div> <div><div>7</div> EXTERIOR METAL DOOR W/ PAINT FINISH COLOR: SHERWIN WILLIAM SW 7023 REQUISITE GRAY</div> <div><div>8</div> HORIZONTAL SLIDER ALUMINUM WINDOW BY MILGARD OR MATCH EQ. SERIES: A250 THERMALLY IMPROVED ALUMINUM EXTERIOR COLOR: CLEAR ANODIZED INTERIOR COLOR: CLEAR ANODIZED</div> <div><div>9</div> SINGLE HUNG ALUMINUM WINDOW BY MILGARD OR MATCH EQ. SERIES: A250 THERMALLY IMPROVED ALUMINUM EXTERIOR COLOR: CLEAR ANODIZED INTERIOR COLOR: CLEAR ANODIZED</div> <div><div>10</div> CMU SPLIT FACE WALL FROM ANGELUS BLOCK OR MATCH EQ. COLOR: ONYX</div> <div><div>11</div> METAL GATE W/ PAINT FINISH COLOR: BLACK</div> <div><div>12</div> METAL GUARDRAIL W/ PAINT FINISH COLOR: BLACK</div> <div><div>13</div> SNOW RAIL W/ PAINT FINISH COLOR: BLACK</div> <div><div>14</div> HEATED RAIN GUTTER W/ PAINT FINISH OR EQ. COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE</div> <div><div>15</div> WINDOW OPENING</div>



2 West Elevation

SCALE: 1/8"=1'-0"



1 East Elevation

SCALE: 1/8"=1'-0"



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PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT

ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA

CLIENT: MR. MORARI BIPIN

PROPOSED  
SINGLE UNIT  
ELEVATIONS  
(BUILDING "A" & "AR")

KEY MAP

SEAL/STAMP

JOB NO. -

DRAWN BY: TL/ZL

SUPERVISED BY: TL

CHECKED BY: TL

PLAN CHECK -/-/-/-

PERMIT SET -/-/-/-

BID SET -/-/-/-

REVISIONS

1	FIRST CIP COMMENTS	02/19/2025
2	SECOND CIP COMMENTS	06/12/2025
3	DESIGN COMMITTEE COMMENTS	07/18/2025
4		
5		
6		
7		
8		

SHEET NO:

A3.01

OF SHEETS

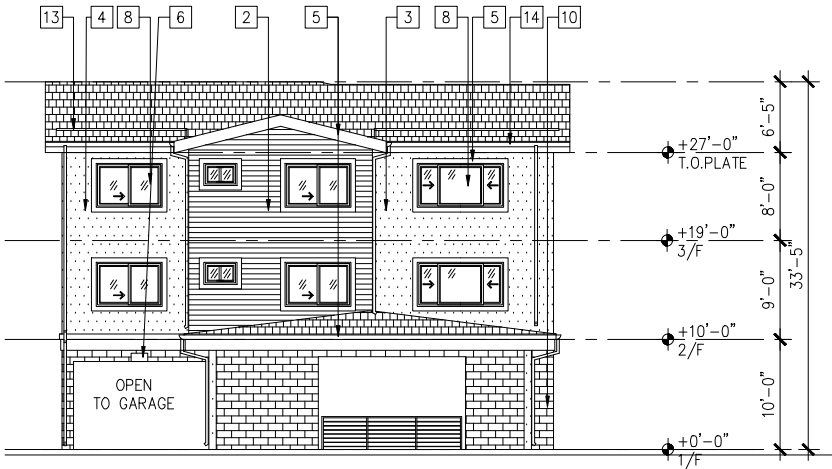
SHEET

	Color Legend	General Note	Reference Notes
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2 South Elevation

SCALE: 1/8"=1'-0"



1 North Elevation

SCALE: 1/8"=1'-0"



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PROPOSED  
SINGLE UNIT  
ELEVATIONS  
(BUILDING "A" & "AR")

KEY MAP SEAL/STAMP

JOB NO.	-
DRAWN BY:	TL/ZL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	___/___/___
PERMIT SET	___/___/___
BID SET	___/___/___
REVISIONS	
1 FIRST CIP COMMENTS	02/19/2025
2 SECOND CIP COMMENTS	06/12/2025
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4	
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SHEET NO:

A3.02  
OF SHEETS  
S H E E T

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	Color Legend	General Note	Reference Notes
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2	South Elevation	SCALE: 1/8"=1'-0"
1	North Elevation	SCALE: 1/8"=1'-0"

PEGASUS

ARCHITECTS

1717 PIERMONT DRIVE  
HACIENDA HEIGHTS, CA 91745  
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PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT

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ELEVATIONS  
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KEY MAP

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PLAN CHECK -/-/-/-

PERMIT SET -/-/-/-

BID SET -/-/-/-

REVISIONS

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2 SECOND CIP COMMENTS 06/12/2025

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14

SHEET NO:

A3.02

OF SHEETS

SHEET



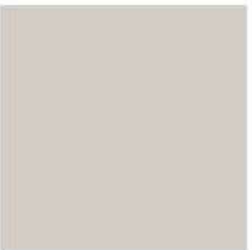


# PEGASUS ARCHITECTS

6-UNITS RESIDENTIAL DEVELOPMENT  
54 MONO ST., MAMMOTH LAKES, CA



SIDING BY NEWTECHWOOD ALL WEATHER SIDING  
& CLADDING  
COLOR: BRAZILIAN IPE (IP)



LA HABRA STUCCO W/ PAINT FINISH OR EQ.  
SANTA BARBARA MISSION FINISH  
SHERWIN-WILLIAMS, PAINT  
COLOR: SW 9165 GOSSAMER VEIL



LA HABRA STUCCO W/ PAINT FINISH OR EQ.  
SANTA BARBARA MISSION FINISH  
SHERWIN-WILLIAMS, PAINT  
COLOR: SW 9183 DARK CLOVE



ROOFING SHINGLE BY CERTAINTEED LANDMARK CLIMATEFLEX  
COLOR: WEATHERED WOOD



FASCIA, WINDOW AND DOOR TRIM & FOAM MOULDING  
W/ PAINT FINISH OR EQ.  
SHERWIN-WILLIAMS, PAINT  
COLOR: SW 9183 DARK CLOVE



EXTERIOR WALL MOUNT LIGHT OR MATCH EQ.  
BRAND: LITHONIA  
SERIES: WDGE LED ARCHITECTURAL WALL LUMINAIRE  
TYPE: WDGE3 LED WALL MOUNT



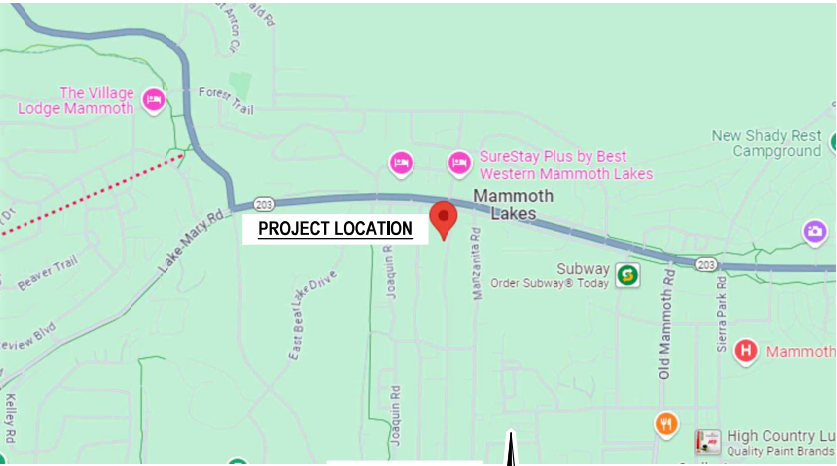
CMU SPLIT FACE WALL FROM ANGELUS BLOCK OR MATCH EQ.  
COLOR: MOSS



PEGASUS ARCHITECTS INC. • 4300 EDISON AVE • CHINO, CALIFORNIA 91710  
T: 909.465.4101 • F: 909.606.6839 • E: INFO@PEGASUSARC.COM • W: PEGASUSARC.COM

MONO STREET RESIDENCE  
PRELIMINARY GRADING PLAN

54 MONO ST MAMMOTH LAKES, CA 93546



VICINITY MAP  
SCALE 1" = 1000'



ABBREVIATIONS:

AC	ASPHALT CONCRETE
CF	CURB FACE
EX.	EXISTING
FF	FINISHED FLOOR
FL	FLOW LINE
GB	GRADE BREAK
MAX.	MAXIMUM
MIN.	MINIMUM
P.L.	PROPERTY LINE
PCC	PORTLAND CEMENT CONCRETE
RL	RIDGE LINE
RAW	RIGHT OF WAY
SD	STORM DRAIN

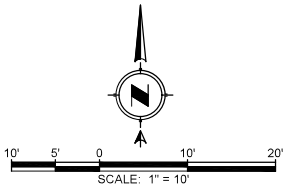
LEGEND:

	NEW PCC SIDEWALK
	NEW AC PAVEMENT
	RAW OR P.L.
	EASEMENT LINE
	SETBACK LINE

ESTIMATED EARTHWORK QUANTITIES	
CUT	17 CY
FILL	347 CY
IMPORT	330 CY
EXPORT	-

EARTHWORK QUANTITIES SHOWN ARE RAW ESTIMATES ONLY INTENDED FOR ESTABLISHING GOVERNING AGENCY FEES.

CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID PURPOSES AND ANY EXPORT OR IMPORT REQUIRED TO BALANCE THE SITE.



**BENCHMARK**  
VERTICAL DATUM WAS ESTABLISHED PER MONO COUNTY, CALIFORNIA NGS PT "CASA AZ MK", ELEVATION OF 7255.19', PER NAVD 88' ORTHOMETRIC HEIGHTS.

**BASIS OF BEARINGS**  
HORIZONTAL CONTROL WAS PER RECORD MONUMENTS ON PARCEL MAP 36-158 AND BOUNDARY SHOULD NOT BE USED FOR MAPPING PURPOSES, THE BASIS OF BEARING HELD IS THE WESTERLY LINE OF PARCEL 2; N02°21'28"E.



**Waber Consultants**  
INC  
PLANNING CIVIL ENGINEERING SURVEYING  
19210 S. VERMONT AVE., SUITE 115, GARDENA, CA 90248  
P (424) 344-2464 F (424) 372-1282

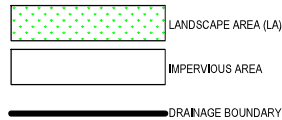


**PRELIMINARY GRADING PLAN**  
**MONO STREET RESIDENCE**  
54 MONO ST  
MAMMOTH LAKES, CA 93546

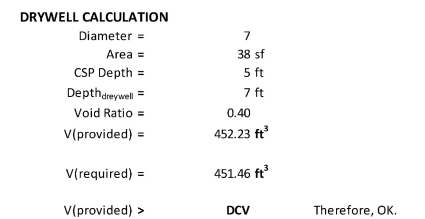
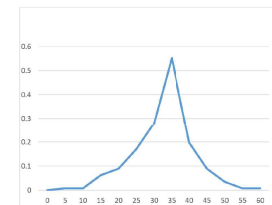
JOB NO. **24042**  
DATE: **5/16/2025**  
SHEET **1**  
OF 2 SHEETS



54 MONO ST MAMMOTH LAKES, CA 93546

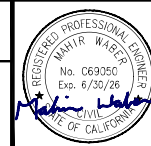


Hydrograph Interval	Duration	Q
0	0	0
1	5	0.01
2	10	0.01
3	15	0.06
4	20	0.09
5	25	0.17
6	30	0.28
7	35	0.55
8	40	0.20
9	45	0.09
10	50	0.03
11	55	0.01
12	60	0.01



**BASIS OF BEARINGS**

HORIZONTAL CONTROL WAS PER RECORD MONUMENTS ON PARCEL MAP 36-158 AND BOUNDARY SHOULD NOT BE USED FOR MAPPING PURPOSES. THE BASIS OF BEARING HELD IS THE WESTERLY LINE OF PARCEL 2: N02°21'26"E.



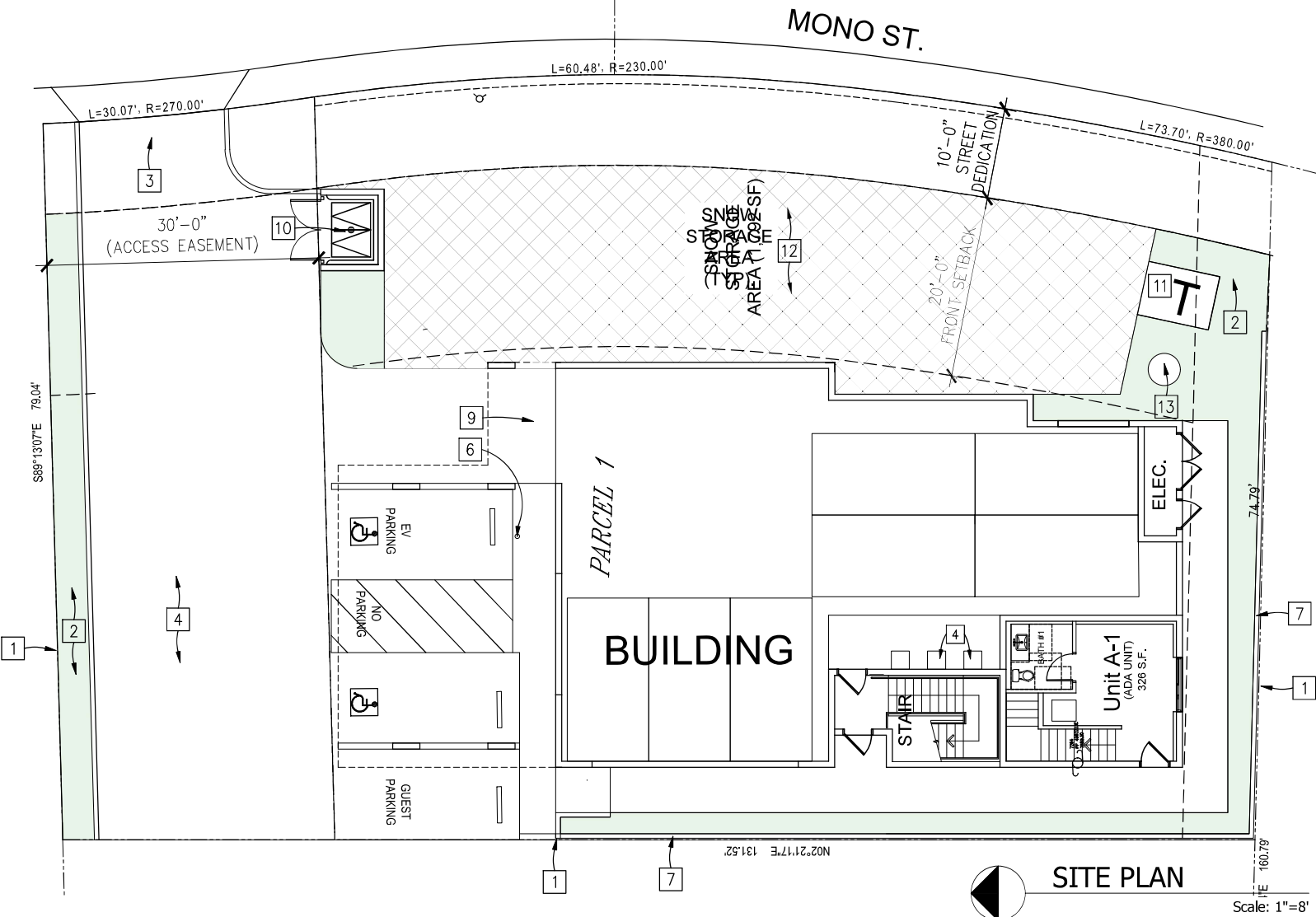
**Waber Consultants**  
PLANNING CIVIL ENGINEERING SURVEYING  
19210 S. VERMONT AVE., SUITE 115, GARDENA, CA 90248  
P (424) 344-2464 F (562) 372-3282

JOB NO. **24042**  
 DATE: **5/16/2025**  
 SHEET **2**  
 OF 2 SHEETS

ARCHITECTURAL LANDSCAPE PLANS

6-UNITS RESIDENTIAL DEVELOPMENT

54 MONO ST.,  
MAMMOTH LAKES, CA 93546



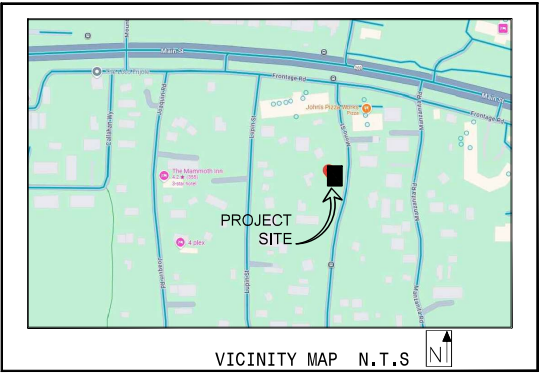
SITE PLAN  
Scale: 1"=8'

**MAINTENANCE RESPONSIBILITY**  
All improvements to be maintained by  
developer/property owner.

RECOMMENDED MINIMUM LANDSCAPE MAINTENANCE SCHEDULE												
WEEKLY TASKS												
<ul style="list-style-type: none"><li>Check all irrigation equipment and adjust/ align as required.</li><li>Remove landscape debris.</li><li>Inspect all landscape areas for pests/ pathogens.</li><li>Weed all shrub/ groundcover areas as needed.</li><li>Remove landscape debris.</li><li>Aerating and dethatching turf areas.</li><li>Repair planting well and/ or grade around plants to eliminate runoff.</li><li>Perform corrective pruning to eliminate hazards and damage to plant after 2nd Year of Growth.</li></ul>												
MINIMUM RECOMMENDED YEARLY MAINTENANCE SCHEDULE												
Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Adjust Irrigation Schedule	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Inspect Tree Staking	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Flush Drip Valves			✓			✓			✓			✓
Add Mulch (Maintain 3" Layer)			✓			✓			✓			✓
Fertilization: Reference to Agronomical Soils report on these plans		✓			✓			✓			✓	

Reference Notes

- 1 PROPERTY LINE
- 2 (N) LANDSCAPE
- 3 (N) DRIVE WAY
- 4 (N) ASPHALT PAVING
- 5 FIRE TURNAROUND
- 6 NOT IN USED
- 7 (N) 6'-0" HT. CMU SPLITFACE W/ 2" CONCRETE CAP FENCE WALL
- 8 NOT IN USED
- 9 (N) 4'-0" WIDE CONCRETE WALKWAY
- 10 (N) TRASH ENCLOSURE PER CITY STANDARD
- 11 (N) TRANSFORMER
- 12 (N) SNOW STORAGE AREA (1,792 SF)
- 13 (N) DRYWELL PER CIVIL PLAN



TOTAL LANDSCAPE AREA = 869 s.f.

SHEET INDEX

L-1	TITLE SHEET
L-2	PLANTING PLAN
L-3	IRRIGATION PLAN
L-4	IRRIGATION DETAILS

Project Directory

OWNER:  
MR.MORARI BIPIN  
54 MONO ST.,  
MAMMOTH LAKES, CA

ARCHITECT:  
C.F. LAU, A.I.A.  
PEGASUS ARCHITECTS  
4300 EDISON AVE.,  
CHINO, CA 91710  
TEL: (909) 465.4101

CIVIL:  
BLUE ENGINEERING & CONSULTANTS  
MARTIN GONZALEZ  
9320 BASELINE RD., SUITE D  
RANCHO CUCAMONGA, CA 91710  
TEL: (909) 970-5654

LANDSCAPE ARCHITECT:  
PHILMAY LANDSCAPE ARCHITECT  
ROSALIO SERNA  
2532 WALLACE AVENUE  
FULLERTON, CA 92831  
TEL: (909) 373-1959

Scope Of Work

NEW CONSTRUCTION OF A 6-UNITS RESIDENTIAL APARTMENTS

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

- (1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- (2) The landscape design and water use calculations for the property located at 54 Mono St., Mammoth, CA
- (3) (provide street address or parcel number(s)) were prepared by me or under my supervision.
- (4) The landscape design and water use calculations for the identified property comply with the requirements of the City of Mammoth Water Efficient Landscape Ordinance (Municipal Code Chapter 13.18) and the City of Mammoth Water Efficient Landscape Guidelines.
- (5) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of Mammoth Water Efficient Landscape Guidelines.

PHIL MAY 06-18-2025  
Print Name Date  
Signature License Number  
1937 W/ 9 TH. STREET UPLAND, CA 91786  
Address

(909) 373-1959  
Telephone  
Landscape Design Professional's Stamp

pmay@philmaydesign.com  
E-mail Address



REVISIONS	BY



PHIL MAY  
LANDSCAPE  
ARCHITECTURE

2532 Wallace Ave.  
Fullerton, CA 92831

Phone:909 373 1959

pmay@philmaydesign.com  
www.philmaydesign.com



COVER SHEET

6-UNITS RESIDENTIAL  
DEVELOPMENT  
54 MONO ST.,  
MAMMOTH LAKES, CA

DRAWN  
R.S.

CHECKED  
R.S.

DATE  
06-18-2025

L-1

OF 4 SHEETS

JOB NO.

24089



PLANTING NOTES

- Contractor is to review plans, verify site conditions and plant quantities prior to installation. Contractor shall take sole responsibility for any cost incurred due to damage of existing utilities. Plant material quantities are listed for the convenience of the Contractor. Actual number of symbols shall have priority over quantity designated. Conflicts between the Owner and these plans or within these plans shall be brought to the attention of the Landscape Architect prior to landscape installation. Any deviation(s) from the plans or specifications will require written approval from the Owner and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- The Contractor shall maintain a qualified supervisor on the site at all times during construction through completion of pick-up work.
- The Contractor shall receive site graded within 0.10 foot of finish grade. Commencement of work indicates Contractor's acceptance of existing grades and conditions. Final grades shall be adjusted by Contractor as directed by Owner's representative. All grading shall be completed prior to commencement of planting operation.
- The Contractor shall furnish and pay for all container grown trees, shrubs, vines, seeded/sodded turf, hydromulches, and flatted groundcovers. The Contractor shall also be responsible for and pay for planting, staking, and guarantee of all plant materials. See planting details for planting and staking/guying requirements.
- The Landscape Architect and/or Owner shall approve plant material placement by Contractor prior to installation.
- Contractor shall follow the soil's report recommendations, and shall uniformly broadcast amendments over planting areas only. Landscape Contractor to attain Agronomical Soils report after all major grading has been completed.
- The planting pits for trees shall be dug twice the diameter of the root ball and two inches shallower than the rootball. Planting pits for shrubs and perennials shall be dug twice the original root ball width, and one-and-a-half times as deep as the rootball. Planting pits for groundcovers shall be dug one-and-a-half times the original root ball size in all directions.
- Provide root barriers to all new trees planted within five(5) feet of paved areas. The root barrier shall be installed per manufacture specifications. For trees planted in square or circular tree wells; the root barrier shall be install around entire perimeter edge of the well planter.
- Provide jute netting on all slopes 4:1 or greater.
- The Landscape Contractor shall maintain all planted areas shown on the plans, including (but not limited to) watering, pruning, edging, and mowing, for a period of thirty (30) days after completion of project and acceptance by Owner.
- The Landscape Contractor shall warranty and replace any plant material that shows signs of lack of vigor or other unhealthful appearance within ninety (90) days of completion of contract. Trees that have been topped or otherwise improperly pruned by the Contractor shall be removed and replaced by the Contractor at no cost to the Owner.

Linear Style Planting with DeepRoot Barriers

Determine the correct number of panels to be used. Depending upon the actual planting plan and the number of trees involved the length of linear barrier will vary, but as a general rule of thumb take the anticipated mature canopy diameter of the tree and add 2 feet (61cm). This will be the number of feet necessary for a Linear style planting application. (See chart below.)

A. Dig the trench to the depth based upon the particular barrier chosen.

B. Install the barrier. When using DeepRoot Linear Barriers simply pull the appropriate number of panels out of the box (they come preassembled) and separate the joinder at the correct length. When installing DeepRoot Universal Barriers in a linear fashion you will need to join the appropriate number of panels together.

C. Next place the barrier in the trench with the vertical ribs facing toward the tree and align in a straight fashion. It is helpful to place the barrier against the hardscape. Use the hardscape as a guide and backfill against the barriers to promote a clean smooth fit to the hardscape. Be sure to keep the barrier's double top edge at least 1/2" (13mm) above grade to ensure roots do not grow over the top.

D. Plant the tree(s). The Linear style offers a more expansive rooting growth area, however adverse soil and drainage conditions may exist in the actual planting area. Take steps to ensure healthy growth of the tree at planting. Consult with a local Arborist for planting tips and recommendations.

E. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborGard® Tree Trunk Protectors which is placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents.

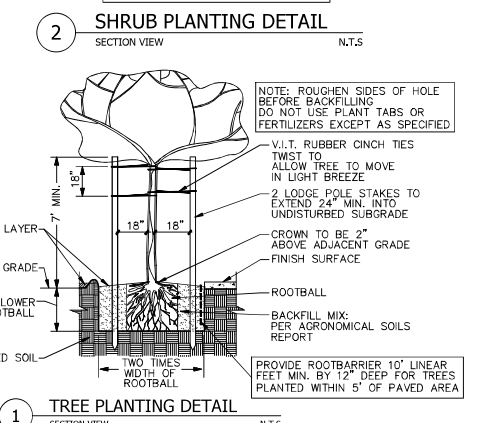
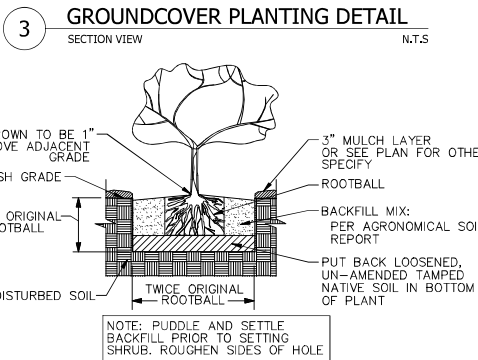
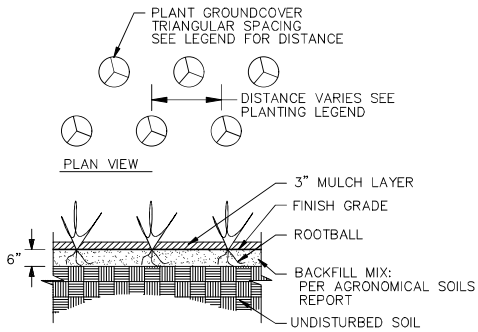
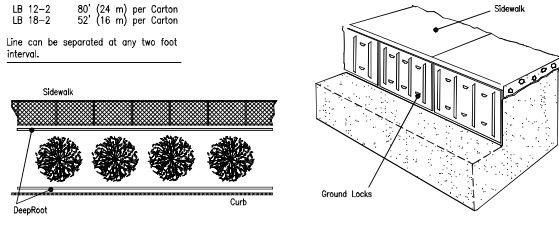
For additional information please consult the 16 page DeepRoot Product Selection and Installation Guidelines.

For information regarding distributors please call: 1 800 ILV ROOT (458.7688). For help with difficult drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT TEK (766.8835).

For a simple formula to determine the quantity of panels required for a Linear application use:  
Estimated Diameter of the Tree Canopy at Maturity + 2' (61cm) = Length of Barrier per Side.

As little as one side of the tree may need barrier for root direction as there may be no hardscape elsewhere requiring protection.	For One Side of Tree Expected Tree Canopy at Maturity	Number of Feet of Linear Barrier (LB 12 or LB 18)	Optional Universal Barrier (UB) in number of Panels
Note: Linear Barriers (LB 12-2 and LB 18-2) are packaged in 2' (61cm) long panels with pre-attached flexible joinders ready to pull out of the carton and install in one continuous line of up to:	12' (3.6m) Diameter	+2' (61cm) = 14' (4.2m)	7 Panels
	18' (5.5m) Diameter	+2' (61cm) = 20' (6.1m)	10 Panels
	24' (7.3m) Diameter	+2' (61cm) = 26' (7.9m)	13 Panels

NOTE: ROOT BARRIERS SHALL BE 12" DEEP MAX. & LINEAR APPLICATION ONLY.



NOTES

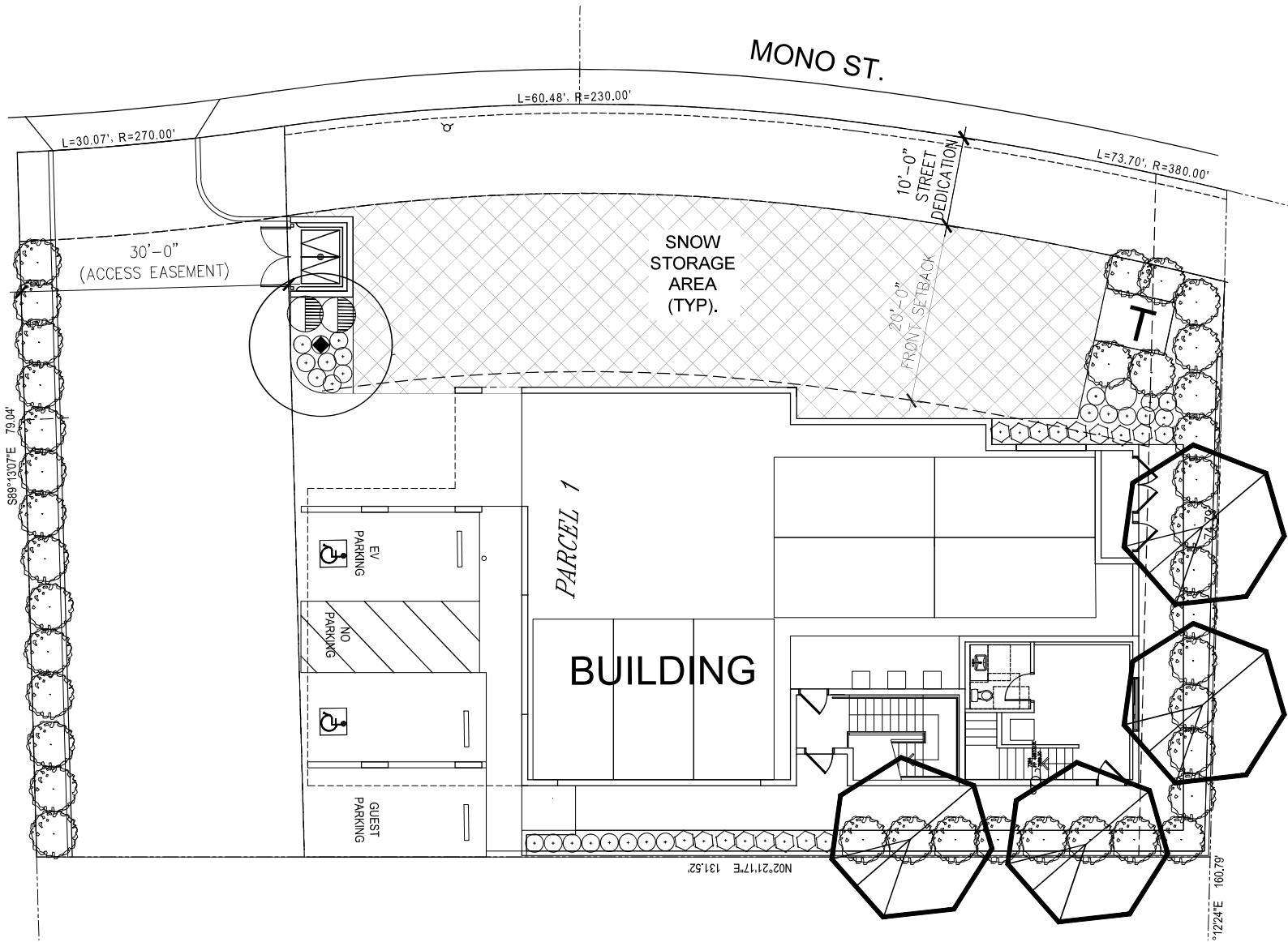
- A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated."
- A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project".
- For soil amendments see 'Planting Notes', #7.

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	REMARKS
	Ginkgo Biloba 'Fastigiata'	Maidenhair Tree	24" box	4	L	Standard trunk
	Betula pendula	White Birch	24" box	1	L	Standard trunk
	Berberis thunbergii	Japanese Barberry	24" box	2	L	
	Photinia Fraseri	Red Tip Photinia	5 gal	38	M	
	Sesleria autumnalis	Moor Grass	1 gal	25	L	
	Hemerocallis Hybrids	Daylily	1 gal	36	L	

MULCH INSTALLATION  
After all planting and irrigation operations are complete, cover all exposed landscape areas with 3" layer of SPEC Mulch as made by Recycled Wood Products (877-476-9797), or equal

NOTE:  
INSTALL ROOT BARRIERS TO ALL PROPOSED TREES PLANTED WITHIN FIVE(5) FEET ALONG ANY HARDSCAPE SURFACE; NOT AROUND THE TREE ROOT BALL, SEE DETAIL SHEET L-4



REVISIONS	BY

**PHIL MAY**  
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www.philmaydesign.com



**PLANTING PLAN**

6-UNITS RESIDENTIAL  
DEVELOPMENT  
54 MONO ST.,  
MAMMOTH LAKES, CA

DRAWN R.S.
CHECKED R.S.
DATE 06-18-2025

**L-2**

OF 4 SHEETS

JOB NO.  
24089

UNDERGROUND SERVICE ALERT

CALL TOLL FREE  
**811**

AT LEAST TWO DAYS  
BEFORE YOU DIG

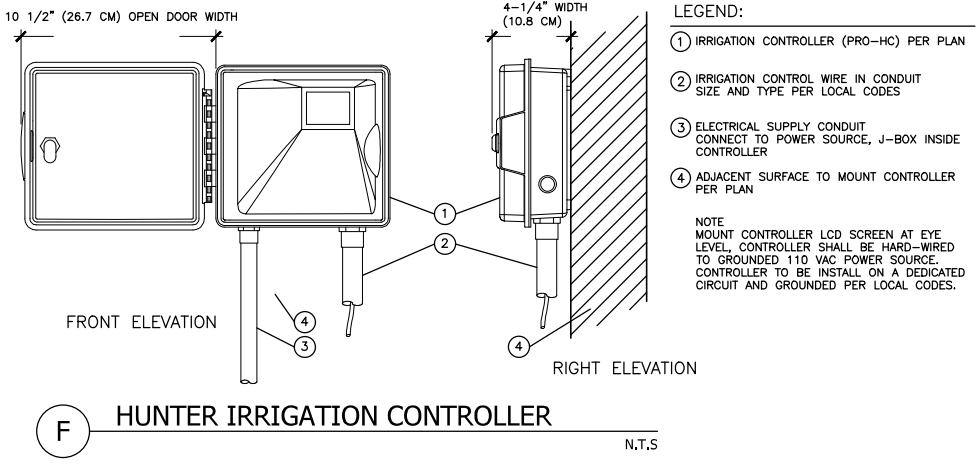
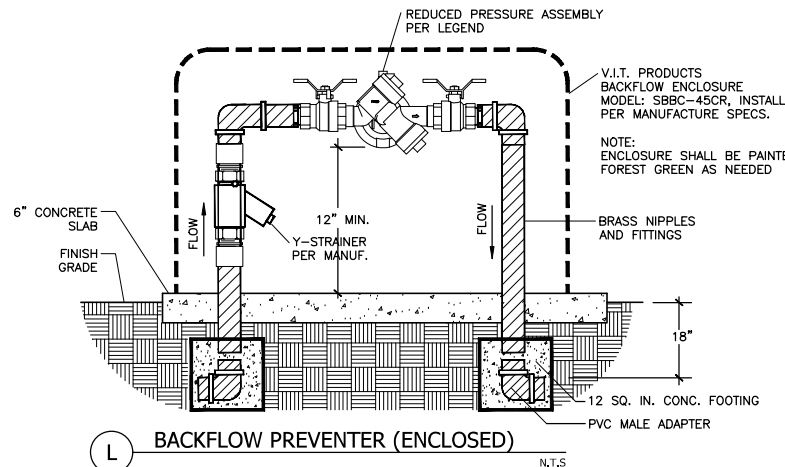
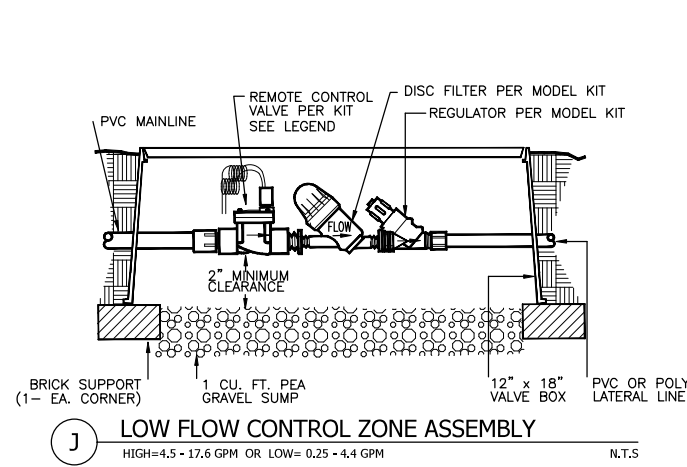
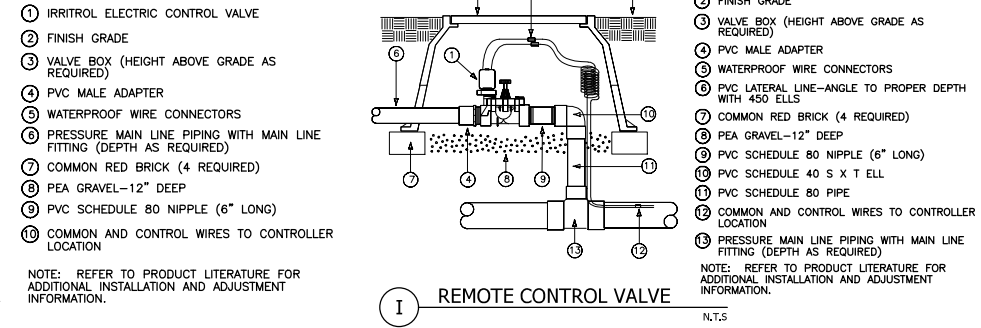
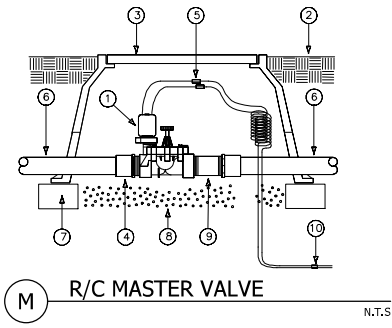
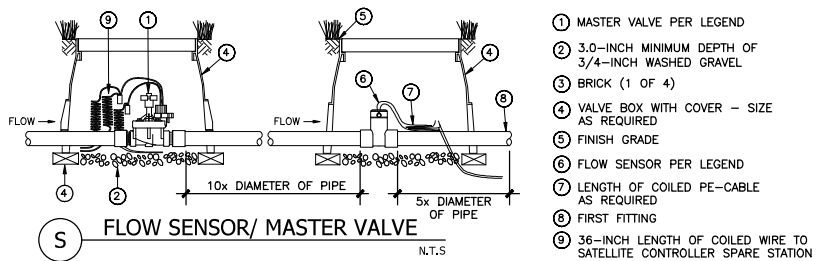
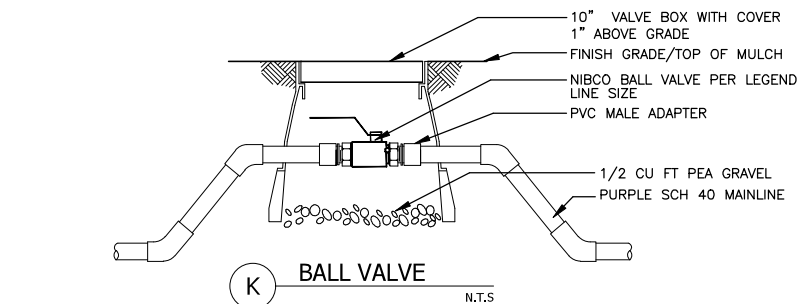
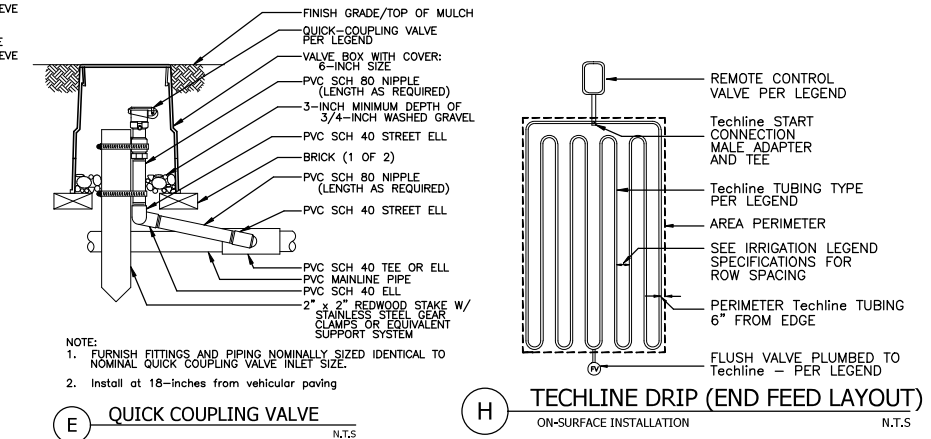
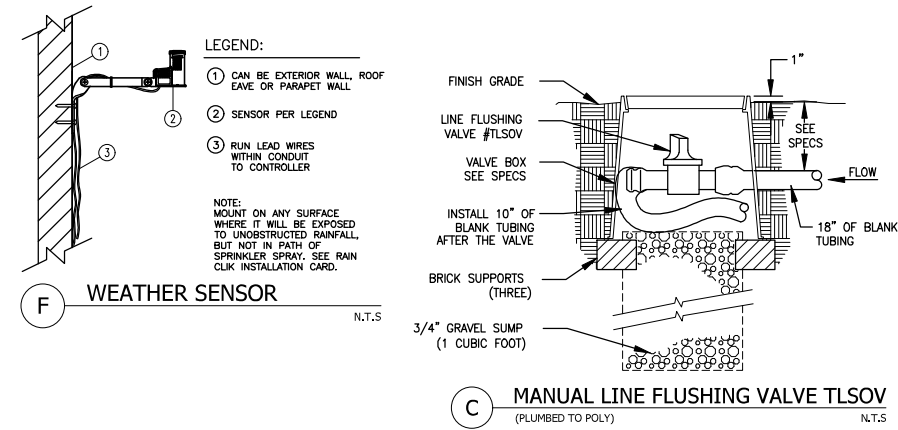
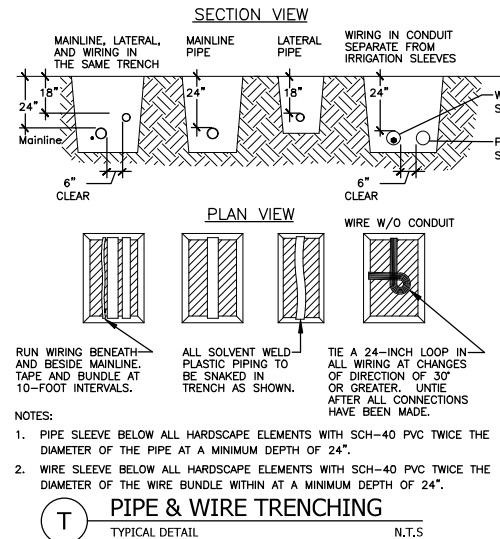
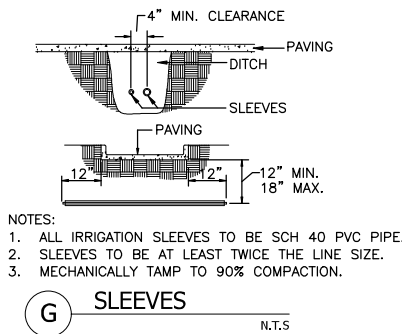
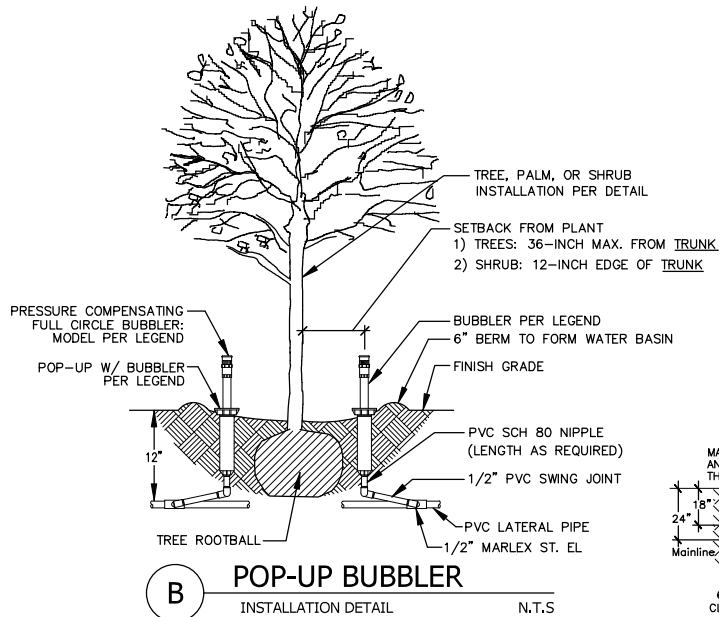
NOTE: "I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the planting design plan."

*Phil May*  
Phil May, Landscape Architect

**06-18-2025**  
Date







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# IRRIGATION DETAILS

6-UNITS RESIDENTIAL DEVELOPMENT  
54 MONO ST.,  
MAMMOTH LAKES, CA

DRAWN: R.S.  
CHECKED: R.S.  
DATE: 06-18-2025

**L-4**

C/P 4 SHEETS

JOB NO. 24089